



AGENDA

City of Salmon Arm Regular Council Meeting

Monday, March 28, 2022
1:00 p.m.

[Public Session Begins at 2:30 p.m.]
Council Chambers of City Hall
500 – 2 Avenue NE
Salmon Arm, BC

Page #	Item #	Description
	1.	CALL TO ORDER
1 - 2	2.	IN-CAMERA SESSION
	3.	ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY <i>We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.</i>
	4.	ADOPTION OF AGENDA
	5.	DISCLOSURE OF INTEREST
3 - 16	6.	CONFIRMATION OF MINUTES 1. Regular Council Meeting Minutes of March 14, 2022
17 - 22	7.	COMMITTEE REPORTS 1. Development and Planning Services Committee Meeting Minutes of March 21, 2022
23 - 26		2. Court of Revision for the 2022 73 Avenue Water Main Extension Parcel Tax Assessments Meeting Minutes of March 14, 2022
27 - 30		3. Court of Revision for the 2022 Transportation Parcel Tax Assessments Meeting Minutes of March 14, 2022
31 - 34		4. Court of Revision for the 2022 Water and Sewer Frontage Assessments Meeting Minutes of March 14, 2022
35 - 38		5. Shuswap Regional Airport Operations Committee Meeting Minutes of March 16, 2022
39 - 42		6. Social Impact Advisory Committee Meeting Minutes of March 18, 2022
43 - 46		7. Downtown Parking Commission Meeting Minutes of March 15, 2022

8. **COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE**
9. **STAFF REPORTS**
 - 47 – 48 1. General Manager, Shuswap Recreation Society – Proposed placement of storage and sun shading
 - 49 – 52 2. Operations Manager, Shuswap Recreation Society – Recreation Centre Roof
 - 53 – 58 3. Chief Financial Officer – 2022/2023 Revised RCMP Funding (2022 Budget)
 - 59 – 62 4. Fire Chief – 2022 Community Resiliency Investment – Endorsement Request
10. **INTRODUCTION OF BYLAWS**
 - 63 – 82 1. City of Salmon Arm Zoning Amendment Bylaw No. 4492 [ZON-1228; Wild Blue Developments Ltd./Franklin Engineering Ltd.; 2220 10 Street SW; R-1 and A-2 to R-8] – first and second readings
 - 83 – 94 2. City of Salmon Arm Zoning Amendment Bylaw No. 4498 [ZON-1232; Dieleman, P. & J.; 6500 1 Avenue NW; A-2 to A-3] – first and second readings
 - 95 – 106 3. City of Salmon Arm Zoning Amendment Bylaw No. 4506 [ZON-1235; Bickle, J. & J.; 1241 25 Avenue SW; R-1 and R-9 to R-8] – first and second readings
 - 107-116 4. City of Salmon Arm Fee for Service Amendment Bylaw No. 4522 [Parking Rates] – first, second and third readings
11. **RECONSIDERATION OF BYLAWS**
 - 117-142 1. City of Salmon Arm Zoning Amendment Bylaw No. 4493 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4 – Final Reading
 - 143-158 2. City of Salmon Arm Zoning Amendment Bylaw No. 4494 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8] – Final Reading
12. **CORRESPONDENCE**
 - 159-160 1. Informational Correspondence
13. **NEW BUSINESS**
14. **PRESENTATIONS / DELEGATIONS**
15. **COUNCIL STATEMENTS**
16. **SALMON ARM SECONDARY YOUTH COUNCIL**
17. **NOTICE OF MOTION**
18. **UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS**
19. **OTHER BUSINESS**

20. QUESTION AND ANSWER PERIOD**7:00 p.m.**

Page #	Item #	Description
	21.	DISCLOSURE OF INTEREST
	22.	HEARINGS
161-192	1.	Development Permit Application No. DP-438 [McGregor, D./Elidoros, B.; 1910 11 Avenue NE; 15 Unit - High Density Residential]
193-204	2.	Development Variance Permit Application No. VP-551 [Marshall, R. & N.; 1920 2 Avenue SE; Setback requirements]
205-218	3.	Development Variance Permit Application No. VP-543 [0191711 BC Ltd./Dorward, C.; 4191 Auto Road SE; Servicing requirements]
	23.	STATUTORY PUBLIC HEARINGS
	24.	RECONSIDERATION OF BYLAWS
	25.	QUESTION AND ANSWER PERIOD
219-220	26.	ADJOURNMENT

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Item 2.

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

- a) THAT: pursuant to Section 90(1) (c) labour relations or other employee relations and (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; of the Community Charter, Council move In-Camera.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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Item 6.1

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Lavery

Seconded: Councillor Flynn

THAT: the Regular Council Meeting Minutes of March 14, 2022, be adopted as circulated.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

REGULAR COUNCIL

Minutes of a Regular Meeting of Council of the City of Salmon Arm held in the Council Chambers of City Hall 500 – 2 Avenue NE and by electronic means, at 1:30 p.m. and reconvened at 2:30 p.m. on Monday, March 14, 2022.

PRESENT:

Mayor A. Harrison
Councillor T. Lavery (participated remotely)
Councillor S. Lindgren (participated remotely)
Councillor L. Wallace Richmond
Councillor K. Flynn
Councillor C. Eliason (participated remotely)
Councillor D. Cannon

Chief Administrative Officer E. Jackson
Director of Engineering and Public Works R. Niewenhuizen
Director of Development Services K. Pearson
Director of Corporate Services S. Wood
Chief Financial Officer C. Van de Cappelle
Recorder B. Puddifant (participated remotely)

ABSENT:

1. CALL TO ORDER

Mayor Harrison called the meeting to order at 1:30 p.m.

2. IN-CAMERA SESSION

0092-2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

THAT: pursuant to Section 90(1) (c) labour relations or other employee relations and (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 1:30 p.m.

Council returned to Regular Session at 2:23 p.m.

Council recessed until 2:30 p.m.

3. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."

4. REVIEW OF AGENDA

Addition to Item 22.2 – B. Hall – email dated March 11, 2022 – DP-437 [TSL Developments Ltd.; 700 30 Street NE; Form and Character.

Addition to Item 23.1 – F. & M. Sivertz – email dated March 11, 2022 – ZON-1229 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]

Addition to Item 23.1 – N. & S. Sartorius – email dated March 14, 2022 – ZON-1229 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]

Addition to Item 23.2 – S. Keskinen – email dated March 11, 2022 – ZON-1230 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]

5. DISCLOSURE OF INTEREST

6. CONFIRMATION OF MINUTES

1. Regular Council Meeting Minutes of February 28, 2022

0093-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Regular Council Meeting Minutes of February 28, 2022, be adopted as circulated.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS

1. Development and Planning Services Committee Meeting Minutes of March 7, 2022

0094-2022

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee Meeting Minutes of March 7, 2022, be received as information.

CARRIED UNANIMOUSLY

2. Greenways Liaison Committee Meeting Minutes of January 27, 2022

0095-2022

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: the Greenways Liaison Committee Meeting Minutes of January 27, 2022, be received as information.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS - continued

3. Social Impact Advisory Committee Meeting Minutes of February 18, 2022

0096-2022 Moved: Councillor Wallace Richmond
 Seconded: Councillor Eliason
 THAT: the Social Impact Advisory Committee Meeting Minutes of February 18, 2022, be received as information.

CARRIED UNANIMOUSLY

4. Active Transportation Task Force Meeting Minutes of March 7, 2022

0097-2022 Moved: Mayor Harrison
 Seconded: Councillor Lavery
 THAT: the Active Transportation Task Force Meeting Minutes of March 7, 2022, be received as information.

CARRIED UNANIMOUSLY

8. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE

Board in Brief – February 2022 – Received as information.

9. STAFF REPORTS

1. Director of Engineering & Public Works – Trojan UV PLC Upgrade – Water Plant

0098-2022 Moved: Councillor Wallace Richmond
 Seconded: Councillor Cannon
 THAT: Council approve the purchase of two (2) new replacement PLC's from Ramtech Environmental for the Trojan Swift 24 UV Reactors at the Water Plant. The quote includes materials, programming, configuration and testing of the new PLCs as well as travel and labour for a total price of \$23,155.40 plus applicable taxes;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of the material and to authorize sole sourcing of same to the provincial distributor of this product, Centrix Control Solutions.

CARRIED UNANIMOUSLY

Councillor Flynn left the meeting at 2:37 p.m. and returned at 2:39 p.m.

2. Director of Engineering & Public Works – Building Canada – Public Transportation – Active Transportation Fund

0099-2022 Moved: Councillor Lavery
 Seconded: Councillor Wallace Richmond
 THAT: The 2022 Budget contained in the 2022 – 2026 Financial Plan Bylaw be amended to increase the scope and budget of the 16 Avenue NE (16 St – 10 Ave)

9. STAFF REPORTS - continued2. Director of Engineering & Public Works - Building Canada - Public Transportation - Active Transportation Fund - continued

Sidewalk Upgrade to Multi-use path project budget in the amount of \$395,000.00 to be funded from the following source:

- \$360,000.00 Building Canada Active Transportation Fund Grant
- \$40,000.00 Cenotaph Intersection (Budget \$40,000.00)

AND THAT: Council authorize submission of a grant application under the Building Canada - Public Transportation, Active Transportation Fund for the 16 Avenue NE (6 Avenue- 20 Street NE) Sidewalk Upgrade to Multi-use path project, estimated cost \$605,000.00 plus taxes.

CARRIED UNANIMOUSLY

3. Director of Development Services - RFP - City of Salmon Arm Active Transportation Network Plan

Received as information.

10. INTRODUCTION OF BYLAWS11. RECONSIDERATION OF BYLAWS1. City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 [Parking Charges and Rates] - Final Reading

0100-2022

Moved: Councillor Lavery

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 be read a final time.

CARRIED UNANIMOUSLY

2. City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 [Curbside Collection Fees] - Final Reading

0101-2022

Moved: Councillor Eliason

Seconded: Councillor Flynn

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 be read a final time.

CARRIED UNANIMOUSLY

11. RECONSIDERATION OF BYLAWS - continued

3. City of Salmon Arm Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8] – Final Reading

0102-2022

Moved: Councillor Lindgren

Seconded: Councillor Cannon

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4489 be read a final time.

CARRIED UNANIMOUSLY

Councillor Cannon left the meeting at 2:58 p.m. and returned at 3:00 p.m.

12. CORRESPONDENCE

1. Informational Correspondence

9. T. Kutschker, Director/Curator, Salmon Arm Arts Centre – letter dated March 9, 2022 – Letter of Support for Salmon Arm Pride Project

0103-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: Council provide a letter of support to the Salmon Arm Arts Centre for their BC Direct Access funding application for the Salmon Arm Pride Project.

CARRIED UNANIMOUSLY

7. M. Vroom, Shuswap Vintage Car Club – email dated March 8, 2022 – Shuswap Vintage Car Club car show

0104-2022

Moved: Councillor Lindgren

Seconded: Councillor Cannon

THAT: Council authorize the Shuswap Vintage Car Club to host a car show at Marine Peace Park on July 9, 2022 subject to confirmation of adequate liability insurance and adherence to the Public Health Officer's guidelines.

CARRIED UNANIMOUSLY

8. M. Brock, Girl Guide Leader & District Commissioner – letter dated March 8, 2022 – Roadside Clean-up

0105-2022

Moved: Councillor Lindgren

Seconded: Councillor Cannon

THAT: Council authorize the Girl Guides to conduct a roadside clean-up fundraiser and will provide a nominal fee based on distance covered to be funded from the Road Allowances Maintenance Budget, and materials needed, subject to confirmation of adequate liability insurance and in consultation with the Manager of Roads & Parks.

CARRIED UNANIMOUSLY

12. CORRESPONDENCE - continued

1. Informational Correspondence - continued

10. J. McEwan, Salmon Arm Fall Fair Manager – letter dated March 7, 2022 – Noise Bylaw Extension Request

0106-2022

Moved: Councillor Cannon
Seconded: Councillor Lindgren
THAT: Council authorize the extension of the Noise Bylaw for the Salmon Arm and Shuswap Lake Agricultural Association for the Canada Day CountryFest to 1:00 a.m. on July 2, 2022.

CARRIED UNANIMOUSLY

11. G. Nichols, PhD Candidate, Department of Population Medicine, Ontario Veterinary College, University of Guelph – email dated March 8, 2022 – Request to conduct tick research at two sites in Salmon Arm

0107-2022

Moved: Councillor Wallace Richmond
Seconded: Councillor Cannon
THAT: Council authorize the Department of Population Medicine, Ontario Veterinary College, University of Guelph, to conduct research at designated areas at Little Mountain Park and Gayle Creek Loop.

CARRIED UNANIMOUSLY

13. NEW BUSINESS

15. COUNCIL STATEMENTS

1. Councillor Wallace Richmond – Shuswap Family Centre – Endorsement as recipient of SILGAS's 50/50 proceeds

0108-2022

Moved: Councillor Wallace Richmond
Seconded: Councillor Eliason
THAT: Council endorse the Shuswap Family Centre as the recipient of the 2022 SILGA 50/50 proceeds.

CARRIED UNANIMOUSLY

19. OTHER BUSINESS

1. Tennis Club Loan Deferral Request

The following Motion was released from the In-Camera Council Meeting of December 13, 2021:

0122-2020 (ic)

Moved: Councillor Eliason
Seconded: Councillor Cannon

19. OTHER BUSINESS - continued

1. Tennis Club Loan Deferral Request - continued

THAT: Council authorize a two (2) year deferral of loan payments as requested by the Salmon Arm Tennis Club effective January 2022 to December 2023.

CARRIED UNANIMOUSLY

The Meeting recessed at 3:19 p.m.

The Meeting reconvened at 3:30 p.m.

14. PRESENTATIONS

1. J. Broadwell, Manager, Ron Langridge, President and Althea Mongerson, Community and Membership Coordinator, Downtown Salmon Arm - Annual Update

Ron Langridge, President, Jennifer Broadwell, Manager, and Althea Mongerson, Community and Membership Coordinator, Downtown Salmon Arm provided the financial statements and 2021 Highlights of Downtown Salmon Arm. They were available to answer questions from Council.

i. Chief Financial Officer - Business Improvement Area - 2022 Annual Budget and 2020 Revenue & Expense Statement - continued

0109-2022

Moved: Councillor Flynn

Seconded: Councillor Cannon

THAT: Council approve the Business Improvement Area 2022 Budget and 2021 Financial Statements as presented.

CARRIED UNANIMOUSLY

16. SALMON ARM SECONDARY YOUTH COUNCIL

17. NOTICE OF MOTION

18. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS

20. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

2. IN-CAMERA SESSION – continued

0110-2022

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: pursuant to Section 90(1) of the Community Charter, (c) labour relations or other employee relations and (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 4:12 p.m.

Council returned to Regular Session at 4:55 p.m.

The Meeting recessed until 7:00 p.m.

PRESENT:

Mayor A. Harrison

Councillor T. Lavery (participated remotely)

Councillor S. Lindgren (participated remotely)

Councillor L. Wallace Richmond (participated remotely)

Councillor C. Eliason (participated remotely)

Councillor D. Cannon (participated remotely)

Councillor K. Flynn

Chief Administrative Officer E. Jackson

Director of Engineering and Public Works R. Niewenhuizen

Director of Development Services K. Pearson

Director of Corporate Services S. Wood

Recorder B. Puddifant

ABSENT:

21. DISCLOSURE OF INTEREST

22. HEARINGS

1. Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; Setback requirements]

0111-2022

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:

1. Section 36.11.1 – Front Parcel Line Setback – reduce the minimum building setback from 6.0m to 4.5m to facilitate construction of an accessory building (detached garage).

22. HEARINGS - continued

1. Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; Setback requirements] - continued

The Director of Development Services explained the proposed Development Variance Permit Application.

A. Walus, the applicant, was available to answer questions from Council.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Hearing was closed at 7:11 p.m. and following comments from Council the Motion was:

CARRIED UNANIMOUSLY

2. Development Permit Application No. DP-437 [TSL Developments Ltd.; 700 30 Street NE; Form and Character

0112-2022

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: Development Permit No. DP-437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-437 vary Zoning Bylaw No. 2303 as follows:

1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-437 be withheld subject to receipt of an estimate and Irrevocable Letter of Credit (in the amount of 125% of the estimate) for landscaping.

The Director of Development Services explained the proposed Development Variance Permit Application.

Submissions were called for at this time.

B. Hall – email dated March 11, 2022 – DP-437

Following three calls for submissions and questions from Council, the Hearing was closed at 7:16 p.m. and following comments from Council the Motion was:

CARRIED UNANIMOUSLY

2. HEARINGS - continued

3. Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character

0113-2022

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: Development Permit No. DP-439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481 Except Plans H401 and EPP70085 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Rear Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;
2. Section 17.9.3 – Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Rem Lot 14 on the drawings attached as Appendix 6 to the staff report dated February 24, 2022.

The Director of Development Services explained the proposed Development Variance Permit Application.

B. Laird, Bremmvic Holdings Ltd., the applicant, outlined the application and was available to answer questions from Council.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Hearing was closed at 7:22 p.m. and following comments from Council the Motion was:

CARRIED UNANIMOUSLY

23. STATUTORY PUBLIC HEARINGS

1. Zoning Amendment Application No. ZON-1229 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]

The Director of Development Services explained the proposed Zoning Amendment Application.

F. & M. Sivertz – email dated March 11, 2022 – ZON-1229

N. & S. Sartorius – email dated March 14, 2022 – ZON-1229

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:27 p.m. followed by comments from Council and the next item ensued.

2. Zoning Amendment Application No. ZON-1230 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

Submissions were called for at this time.

S. Keskinen – email dated March 11, 2022 – ZON-1230

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:29 p.m. followed by comments from Council.

24. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Zoning Amendment Bylaw No. 4493 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4] – Third Reading

0114-2022

Moved: Councillor Cannon

Seconded: Councillor Lindgren

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4493 be read a third time.

CARRIED UNANIMOUSLY

24. RECONSIDERATION OF BYLAWS - continued

2. City of Salmon Arm Zoning Amendment Bylaw No. 4494 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]

0115-2022 Moved: Councillor Lindgren
 Seconded: Councillor Eliason
 THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4494 be read a third time.

CARRIED UNANIMOUSLY

25. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

26. ADJOURNMENT

0116-2022 Moved: Councillor Flynn
 Seconded: Councillor Lindgren
 THAT: the Regular Council Meeting of March 14, 2022, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:31 p.m.

CERTIFIED CORRECT:

CORPORATE OFFICER

Adopted by Council the day of , 2022.

MAYOR

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Item 7.1

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Cannon

Seconded: Councillor Wallace Richmond

THAT: the Development and Planning Services Committee Meeting Minutes of March 21, 2022 be received as information.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

DEVELOPMENT AND PLANNING SERVICES COMMITTEE

Minutes of a Meeting of the Development and Planning Services Committee of the City of Salmon Arm held in Council Chambers, City Hall, 500 – 2 Avenue NE, Salmon Arm, BC, and by electronic means on Monday, March 21, 2022.

PRESENT:

Mayor A. Harrison
Councillor T. Lavery (participated remotely)
Councillor L. Wallace Richmond (participated remotely)
Councillor C. Eliason (participated remotely)
Councillor D. Cannon

Chief Administrative Officer E. Jackson
Director of Engineering & Public Works R. Niewenhuizen
Director of Development Services K. Pearson
Director of Corporate Services S. Wood
Recorder B. Puddifant

ABSENT:

Councillor K. Flynn
Councillor S. Lindgren

1. CALL TO ORDER

Mayor Harrison called the meeting to order at 8:00 a.m.

2. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together".

3. REVIEW OF THE AGENDA

4. DISCLOSURE OF INTEREST

5. REPORTS

1. Development Permit Application No. DP-438 [McGregor, D./Elidoros, B.; 1910 11 Avenue NE; 15 Unit – High Density Residential]

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that Development Permit No. DP-438 be authorized for issuance for Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510 Except Plans 14376, 24326 and KAP48014 in accordance with the drawings shown on Appendix 3 to the Staff Report dated March 15, 2022;

5. REPORTS - continued

1. Development Permit Application No. DP-438 [McGregor, D./Elidoros, B.; 1910 11 Avenue NE; 15 Unit - High Density Residential] - continued

AND THAT: Development Permit No. DP-438 include the following variance to Zoning Bylaw No. 2303:

1. Section 10.9.1 - decrease the minimum front parcel line setback from 5.0 metres (16.4 feet) to 3.0 metres (9.8 feet) for proposed building/unit 01, as shown on Appendix 3 to the Staff Report dated March 15, 2022;

AND THAT: Development Permit No. DP-438 allow for the placement of fencing along the eastern and southern parcel lines to a maximum height of 8.0 feet (2.4 metres);

AND FURTHER THAT: issuance of Development Permit No. DP-438 be withheld subject to the following:

1. Receipt of an Irrevocable Letter of Credit in the amount of 125% of a landscaper's estimate for completion of the landscaping plan.

B. Elidoros and D. McGregor, the applicants, were available to answer questions from the Committee.

CARRIED UNANIMOUSLY

2. Development Variance Permit Application No. VP-551 [Marshall, R. & N.; 1920 2 Avenue SE; Setback requirements]

Moved: Councillor Lavery

Seconded: Councillor Wallace Richmond

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-551 be authorized for issuance for Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17865 to vary Zoning Bylaw No. 2303 as follows:

1. Section 4.15.1 - Front Parcel Line Setback reduction from 6.0 metres to 5.3 metres to facilitate construction of a swimming pool on this property.

R. Marshall, the applicant, outlined the application was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

3. Development Variance Permit Application No. VP-543 [0191711 BC Ltd./Dorward, C.; 4191 Auto Road SE; Servicing requirements]

Moved: Councillor Cannon

Seconded: Councillor Eliason

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-543 be authorized for issuance for Lot 1, Section 6, Township 10, Range 9, W6M, KDYD, Plan KAP78168 which will vary all provisions of the Subdivision and Development Servicing Bylaw No.

5. REPORTS - continued

3. Development Variance Permit Application No. VP-543 [0191711 BC Ltd./Dorward, C.; 4191 Auto Road SE; Servicing requirements] - continued

4163 for the development of an *accessory building* as permitted under the M-1 – General Industrial Zone regulations.

Amendment:

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-543 be authorized for issuance subject to:

1. a 50% reduction for the water main requirement; and
2. reducing the fire hydrant installation requirement from two hydrants to one fire hydrant.

CARRIED UNANIMOUSLY

Motion as Amended:

CARRIED UNANIMOUSLY

4. Zoning Amendment Application No. ZON-1228 [Wild Blue Developments Ltd./Franklin Engineering Ltd.; 2220 10 Street SW; R-1 and A-2 to R-8]

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan KAP57942 from R-1 (Single Family Residential Zone) and A-2 (Rural Holding Zone) to R-8 (Residential Suite Zone).

CARRIED UNANIMOUSLY

5. Zoning Amendment Application No. ZON-1232 [Dieleman, P. & J.; 6500 1 Avenue NW; A-2 to A-3]

Moved: Councillor Lavery

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Remainder Lot B, Section 17, Township 20, Range 10, W6M, KDYD, Plan EPP96461, Except Plan EPP115380 from A-2 (Rural Holding Zone) to A-3 (Small Holding Zone).

5. REPORTS - continued

5. Zoning Amendment Application No. ZON-1232 [Dieleman, P. & J.; 6500 1 Avenue NW; A-2 and A-3] - continued

P. Dieleman, the applicant, outlined the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

Councillor Wallace Richmond declared a conflict as her son is employed by the applicant and left the meeting at 8:37 a.m.

6. Zoning Amendment Application No. ZON-1235 [Bickle, J. & J.; 1241 25 Avenue SW; R-1 and R-9 to R-8]

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan EPP88045 from R-1 (Single Family Residential Zone) and R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone).

CARRIED UNANIMOUSLY

Councillor Wallace Richmond returned to the meeting at 8:41 a.m.

6. FOR INFORMATION

7. CORRESPONDENCE

8. IN-CAMERA

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: the Development and Planning Services Committee move In-Camera pursuant to Section 90(1) (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality.

CARRIED UNANIMOUSLY

The Development and Planning Services Committee moved In-Camera at 8:42 am. and returned to Regular Session at 9:26 a.m.

9. ADJOURNMENT

Moved: Councillor Lavery

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee meeting of March 21, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 9:27 a.m.

Mayor Alan Harrison
Chair

Minutes received as information by Council at their Regular Meeting of , 2022.

Item 7.2

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the Court of Revision for the 2022 73 Avenue Water Main Extension Parcel Tax Assessments Meeting Minutes of March 14, 2022 be approved.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

**CITY OF SALMON ARM COURT OF REVISION
2022 73 AVENUE WATER MAIN
EXTENSION PARCEL TAX ASSESSMENTS**

Minutes of the Court of Revision for the 2022 73 Avenue Water Main Extension Parcel Assessments held in the Council Chambers, at 7:00 p.m. on Monday, March 14, 2022.

PRESENT:

Mayor A. Harrison
Councillor D. Cannon (participated remotely)
Councillor C. Eliason (participated remotely)
Councillor K. Flynn
Councillor S. Lindgren (participated remotely)
Councillor T. Lavery (participated remotely)
Councillor L. Wallace Richmond (participated remotely)

Chief Administrative Officer E. Jackson
Director of Engineering & Public Works R. Niewenhuizen
Director of Corporate Services S. Wood
Director of Development Services K. Pearson
Chief Financial Officer C. Van de Cappelle
Recorder B. Puddifant

1. CALL TO ORDER

Mayor Harrison called the meeting to order at 7:00 p.m.

2. ADMINISTRATION OF OATHS

The oaths for Members of the Court of Revision, as required pursuant to the provisions of Section 204 of the Community Charter, were administered by the Corporate Officer.

3. COURT OF REVISION FOR 2022 73 AVENUE WATER MAIN EXTENSION - APPEALS

The Chief Financial Officer addressed the Court advising that no appeals had been received.

Mayor Harrison called for input from the public.

4. AUTHENTICATION OF 2022 73 AVENUE WATER MAIN EXTENSION PARCEL TAX ASSESSMENT ROLL

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: this 73 Avenue Water Main Extension Parcel Tax Assessment Roll, comprised of 6 parcels, is hereby confirmed by the Court of Revision of the City of Salmon Arm, and, except as may be amended on further appeal, is hereby certified to be the "73 Avenue Water Main Extension Parcel Tax Assessment Roll."

CARRIED UNANIMOUSLY

5. ADJOURNMENT

Moved: Councillor Cannon

Seconded: Councillor Lavery

THAT: the 2022 73 Avenue Water Main Extension Parcel Tax Court of Revision be
adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:03 p.m.

CERTIFIED CORRECT:

CORPORATE OFFICER

MAYOR

Received as information by Council
on the day of , 2022.

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Item 7.3

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Flynn

Seconded: Councillor Lavery

THAT: the Court of Revision for the 2022 Transportation Parcel Tax Assessments Meeting Minutes of March 14, 2022 be approved.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM COURT OF REVISION **2022 TRANSPORTATION PARCEL TAX ASSESSMENTS**

Minutes of the Court of Revision for the 2022 Transportation Parcel Tax Rolls held in the Council Chambers of City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, at 7:00 p.m. on Monday, March 14, 2022.

PRESENT:

Mayor A. Harrison
Councillor D. Cannon (participated remotely)
Councillor C. Eliason (participated remotely)
Councillor K. Flynn
Councillor S. Lindgren (participated remotely)
Councillor T. Lavery (participated remotely)
Councillor L. Wallace Richmond (participated remotely)

Chief Administrative Officer E. Jackson
Director of Engineering & Public Works R. Niewenhuizen
Director of Corporate Services S. Wood
Director of Development Services K. Pearson
Chief Financial Officer C. Van de Cappelle
Recorder B. Puddifant

1. **CALL TO ORDER**

Mayor Harrison called the meeting to order at 7:03 p.m.

2. **ADMINISTRATION OF OATHS**

The oaths for Members of the Court of Revision, as required pursuant to the provisions of Section 204 of the Community Charter, were administered by the Corporate Officer.

3. **COURT OF REVISION FOR TRANSPORTATION PARCEL TAX - APPEALS**

The Chief Financial Officer addressed the Court advising that no appeals had been received.

Mayor Harrison called for input from the public.

4. **AUTHENTICATION OF 2022 TRANSPORTATION PARCEL TAX ASSESSMENT ROLL**

Moved: Councillor Lindgren

Seconded: Councillor Cannon

THAT: this Transportation Parcel Tax Assessment Roll, comprised of 8,640 parcels, is hereby confirmed by the Court of Revision of the City of Salmon Arm and, except as may be amended on further appeal, is hereby certified to be the "Transportation Parcel Tax Assessment Roll".

CARRIED UNANIMOUSLY

5. ADJOURNMENT

Moved: Councillor Lindgren

Seconded: Councillor Wallace Richmond

THAT: the 2022 Transportation Parcel Tax Court of Revision be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:05 p.m.

CERTIFIED CORRECT:

CORPORATE OFFICER

MAYOR

Received as information by Council
on the day of , 2022.

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Item 7.4

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Court of Revision for the 2022 Water and Sewer Frontage Assessments Meeting Minutes of March 14, 2022 be approved.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

**CITY OF SALMON ARM COURT OF REVISION
2022 WATER AND SEWER FRONTAGE ASSESSMENTS**

Minutes of the Court of Revision for the 2022 Water and Sewer Frontage Tax Rolls held in the Council Chambers of City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, at 7:00 p.m. on Monday, March 14, 2022.

PRESENT:

Mayor A. Harrison
Councillor D. Cannon (participated remotely)
Councillor C. Eliason (participated remotely)
Councillor K. Flynn
Councillor S. Lindgren (participated remotely)
Councillor T. Lavery (participated remotely)
Councillor L. Wallace Richmond (participated remotely)

Chief Administrative Officer E. Jackson
Director of Engineering & Public Works R. Niewenhuizen
Director of Corporate Services S. Wood
Director of Development Services K. Pearson
Chief Financial Officer C. Van de Cappelle
Recorder B. Puddifant

1. CALL TO ORDER

Mayor Harrison called the meeting to order at 7:05 p.m.

2. ADMINISTRATION OF OATHS

The oaths for Members of the Court of Revision, as required pursuant to the provisions of Section 204 of the Community Charter, were administered by the Corporate Officer.

3. COURT OF REVISION FOR WATER AND SEWER - APPEALS

The Chief Financial Officer addressed the Court advising that no appeals had been received.

Mayor Harrison called for input from the public.

4. AUTHENTICATION OF 2022 WATER AND SEWER FRONTAGE TAX ASSESSMENT ROLL

Moved: Councillor Flynn

Seconded: Councillor Wallace Richmond

THAT: this frontage tax assessment roll, comprised of 7,365 properties for water and 6,412 for sewer, and representing a total taxable frontage of 709,984 feet for water and 495,120 feet for sewer, is hereby confirmed by the Court of Revision of the City of Salmon Arm and, except as may be amended on further appeal, is hereby certified to be the frontage tax assessment roll for Water and Sewer.

CARRIED UNANIMOUSLY

5. ADJOURNMENT

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: the 2022 Water and Sewer Frontage Tax Court of Revision be
adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:07 p.m.

CERTIFIED CORRECT:

CORPORATE OFFICER

MAYOR

Received as information by Council
on the day of 2022.

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Item 7.5

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: the Shuswap Regional Airport Operations Committee Meeting Minutes of March 16, 2022 be received as information.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

Minutes of the **Shuswap Regional Airport Operations Committee Meeting** held in Council Chambers at City Hall, Salmon Arm, BC on **Wednesday, March 16, 2022 at 3:00 p.m.**

PRESENT:

<p>Chad Eliason Keith Watson Terry Rysz John McDermott Gord Newnes John Hansen Doug Pearce Darin Gerow Robert Niewenhuizen</p>	<p>Councillor, City of Salmon Arm, Chair Airport Manager Mayor, District of Sicamous Lakeland Ultralights Hangar Owner Hangar Owner Salmon Arm Flying Club City staff, Manager of Roads & Parks City staff, Director of Engineering & Public Works</p>
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ABSENT:

<p>Mark Olson Jeremy Neufeld</p>	<p>Hangar Owner RAP Attack</p>
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GUESTS:

The meeting was called to order at 3:00 p.m. chaired by Chad Eliason

1. **Introductions and Welcome**
2. **Acknowledgement of Traditional Territory**
We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.
3. **Approval of Agenda and Additional Items**

Moved: John McDermott
Seconded: Terry Rysz
THAT: The Shuswap Regional Airport Operations Committee Meeting Agenda of March 16, 2022, be approved as circulated.

CARRIED UNANIMOUSLY

4. **Approval of Minutes of November 17, 2021 Shuswap Regional Airport Operations Committee Meeting**

Moved: John McDermott
Seconded: Terry Rysz
THAT: the minutes of the Shuswap Regional Airport Operations Committee Meeting of November 17, 2021 be approved as circulated.

CARRIED UNANIMOUSLY

5. Approval of Minutes of November 9, 2021 Shuswap Regional Airport Safety Committee Meeting

Moved: John Mc Dermott

Seconded: Keith Watson

THAT: the minutes of the Shuswap Regional Airport Safety Committee Meeting of November 9, 2021 be approved as circulated.

CARRIED UNANIMOUSLY

6. Airport Managers Update

- Snow removal contractor did a good job this winter. Good communication with the pilots
- New beacon installed and working (turned off)
- Fuel tanks cleaned. Received certificate, now in compliance
- Letter of intent to decertify airport submitted to Transport Canada. Not expecting a response until early June as per TC Inspector. R. Niewenhuizen to contact TC to see if we can get a response sooner
- Need to submit flight supplement changes with hazards/changes to Nav Canada
- K. Watson working with consultant to find a way to maintaining Instrument Flight Rules (IFR) for approach on Runway 14. If the airport is decertified the IFR approaches will be moved into a restricted category and non-commercial pilots will not be able to use this approach.
- **Airport appreciation day**- cancelled this year, next one 2023

7. Old Business/Arising from minutes

- a) Table Top Exercise – update
- b) Taxiway Charlie update

8. New Business

- a) Airport de-certification – update
 - a. Letter submitted to TC on February 9, 2022
 - b. Correspondence from TC indicated that they would not provide a response until June
- b) 2022 Airport Meeting Calendar
- c) Shuswap Trail Alliance proposal to lease
 - a. STA would like to lease old flight fuels site w/containment area and fence. The purpose is to store vehicles and trailer,
 - b. Committee discussed pro/cons felt that this was not the best use for the location,
 - c. This location has a constructed containment area and would be beneficial during forest fire season for a temporary fuel loading site (rap attack helicopters, etc),

8. New Business - continued

- d. Concerned that there has been a concerted effort to remove sea-cans, trailers, etc. from the airport over the years,
- e. The proposal was not supported by the committee.

9. Other Business &/or Roundtable Updates

- a) Airport Lease rate increase
 - a. Gord Newnes brought up topic
 - b. General discussion regarding Lease and Land rentals at Airport
 - c. Insurance on Land rentals managed by Hanger Group 1999
 - d. Lease rates increased by slightly less than CPI in 2022
 - e. Land rental rate are being reviewed for increase

10. Next meeting – Wednesday, June 15, 2022**11. Adjournment**

Moved: Gord Newnes

Seconded: John McDermott

THAT: the Shuswap Regional Airport Operations Committee Meeting of March 16, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 3:30 p.m.

Robert Niewenhuizen, ASCT
Director of Engineering & Public Works

Minutes received as information by Council
on the day of , 2021.

Item 7.6

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: the Social Impact Advisory Committee Meeting Minutes of March 18, 2022 be received as information.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

Minutes of the **Social Impact Advisory Committee** meeting held electronically on **Friday, March 18, 2022**, at 10:00 a.m.

PRESENT:

Councillor Louise Wallace Richmond	City of Salmon Arm, Chair
Dawn Dunlop	Canadian Mental Health Association
Paige Hilland	Shuswap Area Family Emergency (SAFE) Society
Kristy Smith	Okanagan Regional Library
Kim Sinclair	Aspiral Youth Partners
Jo-Anne Crawford	Shuswap Association for Community Living
Jen Gamble	Shuswap Immigrant Services
Chiara Dentry	Seniors Resource Centre
Tim Gibson	Shuswap Children's Association
David Parmenter	Interior Health Association-Mental Health
Erin Jackson	City of Salmon Arm
B. Puddifant	City of Salmon Arm, Recorder

ABSENT:

Gudrun Malmqvist	Okanagan College Shuswap Family Centre
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GUESTS:

The meeting was called to order at 10:01 a.m.

1. **Introductions**
2. **Acknowledgement of Traditional Territory**
We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.
3. **Presentations**
4. **Approval of Agenda and Additional Items**

Moved: Kristy Smith
Seconded: Kim Sinclair
THAT: the Social Impact Advisory Committee Meeting Agenda of March 18, 2022, be approved as circulated.

CARRIED UNANIMOUSLY

5. Approval of Minutes of February 18, 2022 Social Impact Advisory Committee Meeting

Moved: Kristy Smith

Seconded: Paige Hilland

THAT: the minutes of the Social Impact Advisory Committee Meeting of February 18, 2022 be approved as circulated.

CARRIED UNANIMOUSLY

6. Old Business/Arising from minutes**a) & c) New Intake for Poverty Reduction Planning & Action – Update and SPARCBC – Update**

Erin Jackson confirmed that the Poverty Reduction Planning & Action grant application has been submitted by the City and received by the Province. The Province has reviewed the City's submission and requested clarification on some points. Erin Jackson will provide the requested information and is anticipating that the grant application will be successful.

b) Terms of Reference Update –

Chiara Dentry has been named as the representative for the Seniors Resource Centre.

d) Community Response Protocol –

Jen Gamble provided an update on the implementation of the Community Response Protocol targeting racism and hate. Shuswap Immigrant Services is looking into the best ways to integrate and promote the use of the protocol in the community as well as using an online reporting tool.

7. New Business**a) Diversity, Equity and Inclusion - Discussion**

Dawn Dunlop proposed organizing a group outside of the Committee to meet and collaborate on practices, policies and education within the community. Dawn Dunlop will act as the coordinator for this information group and will reach out to the service providers.

b) ATTF Community Engagement – Urban Systems

Councillor Wallace Richmond outlined the mandate of the Active Transportation Task Force. Paige Hilland, the Committee representative on the ATTF, outlined the upcoming consultation with Urban Systems who are developing an Active Transportation Network plan and wanting to engage with a diverse group of service providers to help in determining specific community needs.

8. Other Business &/or Roundtable Updates

9. Next meeting – tentatively Thursday, April 21, 2022 at 10:00 a.m.

10. Adjournment

Moved: Jo-Anne Crawford

Seconded: Kim Sinclair

THAT: the Social Impact Advisory Committee Meeting of March 18, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 10:47 a.m.

Councillor Louise Wallace Richmond, Chair

Minutes received as information by Council at their Regular Meeting of
, 2022.

Item 7.7

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: the Downtown Parking Commission Meeting Minutes of March 15, 2022 be received as information.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

Minutes of the Downtown Parking Commission Meeting held by electronic means on Tuesday, March 15, 2022.

PRESENT:

Chad Eliason	Councillor, City of Salmon Arm
Bill Laird	Member at Large
Vic Hamilton	Member at Large, Chair
Gerald Foreman	DSA Representative
Vera Chomyshen	DSA Representative
Jenn Wilson	Resource Personnel, City Engineer
Sam Darlington	Resource Personnel, City Bylaw Officer
Robert Niewenhuizen	Resource Personnel, Director of Engineering & Public Works, Recorder

ABSENT:

Regan Ready	Member at Large
Cathy Ingebrigston	Member at Large
Morgen Matheson	DSA Representative
Jacquie Gaudreau	DSA Representative

GUEST:

Kevin Pearson	Resource Personnel, Director of Development Services
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The meeting was called to order at 8:00 a.m. by Chad Eliason.

1. INTRODUCTIONS AND WELCOME

2. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.

3. PRESENTATIONS:

None

4. APPROVAL / CHANGES / ADDITIONS TO AGENDA

Moved: Gerald Foreman

Seconded: Bill Laird

THAT: the Downtown Parking Commission Meeting Agenda of March 15, 2022 be approved as circulated.

CARRIED UNANIMOUSLY

5. APPROVAL OF MINUTES FROM FEBRUARY 15, 2022

Moved: Gerald Foreman

Seconded: Bill Laird

THAT: the Downtown Parking Commission Meeting Minutes of February 15, 2022 be adopted.

CARRIED UNANIMOUSLY

6. OLD BUSINESS ARISING FROM MINUTES

- a) Temporary Sidewalk Cafes on Alexander Street
- Discussion regarding Downtown Salmon Arm's request for two temporary street café locations on Alexander Street; Weekends (opening in spring) and Stillfood Bistro. These street café locations would utilize two parking stalls each from 4:00 p.m. to 10:00 p.m. from May 1 to October 31, 2022.

Moved: Bill Laird

Seconded: Vic Hamilton

THAT: the Commission supports Downtown Salmon Arm's request for Stillfood Bistro and Weekends to have removable street café areas from 4:30 p.m to 10:00 p.m. from May 1 to October 31 subject to City staff approval of the design, layout and "structures" being used to delineate the street café area and that all safety factors are addressed.

CARRIED

Gerald Foreman Opposed

7. NEW BUSINESS

8. OTHER BUSINESS

- Meeting dates and times were discussed; it was determined to maintain the current schedule.

9. NEXT MEETING – Tuesday, April 26, 2022

The next meeting of the Downtown Parking Commission will be Tuesday, April 26, 2022.
The Chairperson will be Bill Laird.

10. ADJOURNMENT

Moved: Gerald Foreman

Seconded: Vic Hamilton

THAT: the Downtown Parking Commission Meeting of March 15, 2022 be
adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:35 a.m.



Rob Niewenhuizen

Minutes received as information by Council
at their Regular Meeting of , 2022.

Item 9.1

CITY OF SALMON ARM

Date: March 28, 2022

General Manager, Shuswap Recreation Centre –
Pickleball request

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council

FROM: Darby Boyd, General Manager, Shuswap Recreation Society

PREPARED BY: Darby Boyd

DATE: March 2, 2022

SUBJECT: **Proposed placement of storage and sun shading**

RECOMMENDATION:

THAT: The Salmon arm Pickleball Club be permitted to place a storage locker and sun shading at the Klahani Park Pickleball courts for the 2022 season.

AND THAT: The placement of advertising on the sun shading be permitted to provide the benefits of protection from sun exposure to be available for all users of the facility for the 2022 season.

Background

We are seeking support from Council to approve the placement of a storage locker and sun shading at the Klahani Park Pickleball courts for the 2022 season. The Pickleball Club identified these requests when discussing the Agreement approved in January 2022. The storage unit is to be used to store supplies and equipment by the Club for maintenance (i.e. leaf blower) and play (i.e. AED, balls and other common supplies). The Club will be responsible for the costs, safety and security for this unit.

The sun shading is to be installed on the existing chain link fencing to provide sun protection for players on the court. The Club arranged for funding for the sunshades and AED from SASCUC and is asking permission to install the shading with a SASCUC logo. These sunshades will be left in place all year for both Club and general public usage times to ensure the protection benefits for all court users in the community.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Darby Boyd", is written over a horizontal line.

Prepared by: Darby Boyd
General Manager of the Shuswap Recreation Society

Item 9.2

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council approve the Recreation Centre Roof Replacement – Phase 1 as a 2022 capital project;

AND THAT: The 2022 Budget contained in the 2022 – 2026 Financial Plan Bylaw be amended to reflect the Recreation Centre Roof Replacement – Phase 1 in the amount of \$95,000.00 funded from the Recreation Centre Major Maintenance Reserve Fund.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council
FROM: Randy Rusjan, Operations Manager
PREPARED BY: Randy Rusjan
DATE: March 9, 2022
SUBJECT: Recreation Centre Roof

RECOMMENDATION:

THAT: The Recreation Centre Roof Replacement – Phase 1 be approved as a 2022 capital project;

AND THAT: The 2022 Budget contained in the 2022 – 2026 Financial Plan Bylaw be amended to reflect the Recreation Centre Roof Replacement – Phase 1 in the amount of \$95,000.00 funded from the Recreation Centre Major Maintenance Reserve Fund.

Background

We are seeking approval for the replacement of the SASCU Recreation Centre roof that covers the pool changerooms and tool room.

The roof is original to the facility and has developed a leak during snow melt, and heavy rainfall leaving a large wet area on the floor at the entrance to the changerooms. The leak will increase the likelihood of slip and fall injuries, as well as potential ceiling damage. Maintenance staff placed buckets in the affected area to catch water infiltration through the ceiling and configured a form of catchment attached to the ceiling to divert the water.

We had a roofing contractor look at the roof and given its age and style, any repair or patch would be difficult, and not guarantee that the leak will not continue. We received two quotes for the replacement of the roof, from Standard Roofing Ltd., and Western Roofing. Standard Roofing is the lower quote, has performed work at the Shaw Centre in the past, and is currently replacing the West roof section at the Shaw Centre.

I recommend a 10 percent contingency be added to the project cost, due to the current state of material supply availability, and inflation challenges. This contingency has already been include in the \$95,000.00 budget amendment request.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Randy Rusjan", is written over a horizontal line.

Prepared by: Randy Rusjan
Operations Manager of the Shuswap Recreation Society

Phase 1.
Changerooms
and Tool Room



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Item 9.3

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council approve the revised contract estimate and spending cap for 2022/2023 estimated at \$4,620,152.00 under the Municipal Policing Contract of which the City is responsible for 90% thereof.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

To: Mayor Harrison and Members of Council
Date: March 22, 2022
From: Chelsea Van de Cappelle, Chief Financial Officer
Subject: 2022/2023 Revised RCMP Funding (2022 Budget)

Recommendation

THAT: The City of Salmon Arm approve the revised contract estimate and spending cap for 2022/2023 estimated at \$4,620,152.00 under the Municipal Policing Contract of which the City is responsible for 90% thereof.

Background

In June of 2021, Council approved in principle the 2022/2023 forecast, required by the Ministry of Public Safety and Solicitor General to conform with Federal Treasury Board requirements estimated at \$4,282,620.00

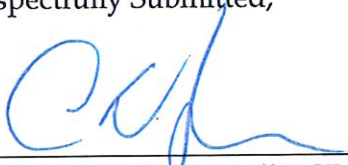
The initial forecast presented for approval was based on a contract strength of twenty (20) members. Council approved an addition to the municipal contract strength of one (1) member, effective January 2022 during 2021 budget deliberations. The City made its official resource request to the Minister of Public Safety and Solicitor General in August 2021. At this time, the City has not yet received final confirmation of its resource request from the Federal Government and therefore the revised forecast continues to be based on twenty (20) members.

The revised 2022/2023 forecast represents an increase to the City of approximately \$303,780.00 as a result of revised pay rates, consistent with the City's initial estimate. This increase has already been accounted for in the 2022 Budget. The forecast also outlines the annual Earned Retirement Benefit payment of \$23,073.00 as approved by Council in 2020 and the Green Timbers Accommodation payment of \$12,840.00 as per Provincial settlement agreements. These payments are not included in the revised 2022/2023 budget of \$4,620,152.00 as they are payments for which the City is 100% responsible. As previously discussed with Council, these payments have been included in the 2022 Budget.

It should also be noted that the RCMP retroactive wage increases have not been included in the revised (2022/2023) forecast. Recent correspondence from Public Safety Canada (February 2022) indicates that specific amounts associated with retroactive pay rates identified in the new collective agreement will be finalized midway through the 2023/2023 fiscal year. For planning purposes, based on preliminary analysis and average growth factors, Public Safety Canada estimates that most jurisdictions retroactive amounts should fall within \$708,000.00 and \$744,000.00. However, there may be exceptions depending on specific circumstances in individual jurisdictions and we are cautioned to rely heavily on these figures. The City's initial estimates and budget for retroactive pay for 2022 are significantly more than this, however funding is proposed from reserves with no direct impact on taxpayers.

A fully revised RCMP Multi Year Financial Plan (MYFP) will be provided to the City in May for the next five (5) year period.

Respectfully Submitted,



Chelsea Van de Cappelle, CPA



Royal
Canadian
Mounted
Police

Gendarmerie
royale
du
Canada

Security Classification/Designation
Classification/désignation sécuritaire

Unclassified

March 3, 2022

Chief Financial Officer
City of Salmon Arm
500 2nd Ave NE, Box 40
Salmon Arm, BC
V1E 4N2

Your File Votre référence
100-157

Our File Notre référence
E753-27-5

Multi Year Financial Plan update for 2022/23

Further to the recent RCMP pay raises letter from Public Safety Canada, we are providing an update to your 2022/23 – 2027/28 Multi-Year Financial Plan (MYFP) originally shared in June of last year with the revised pay rates.

As per the table below, we have included the original MYFP along with the revised MYFP for 2022/23 and the revised MYFP for 2023/24. A fully revised MYFP will be sent to you in late May for the years 2023/24 to 2028/29.

	Original 2022/23	Restated 2022/23	Updated 2023/24
Contract Strength	20.00	20.00	20.00
Funded Strength	20.00	20.00	20.00
Total MYFP @ 100%	\$4,282,620	\$4,620,152	\$4,733,942
Total MYFP @ 90%	\$3,854,358	\$4,158,137	\$4,260,547
Integrated Teams			
Green Timbers	\$12,840	\$12,840	\$12,840
Severance	\$23,073	\$23,073	\$23,073
PSE			
Guards & Matrons	\$193,056	\$193,056	\$194,794
Accommodation			
Total MYFP	\$4,083,327	\$4,387,106	\$4,491,254

In addition, in our 2022/23 Multi-Year Plan letter dated June 7, 2021, we requested two letters:

1. “Letter of Approval in Principle” from your City/Municipality for your spending cap for 2021/22. This was in order for us to obtain the appropriate level of funding from

Treasury Board through the Federal Government's Annual Reference Level Update (ARLU) process. Due by June 15, 2021.

2. "Final Confirmation Letter" which confirms your Municipal Policing Expenditure Cap.
Due by April 25, 2022.

Please accept this reminder for sending us your final confirmation letter stating your Municipal Policing Expenditure Cap for 2022/23, which includes the various Integrated Teams if applicable to your municipality. Please email your written response to us at ediv_cmb_finance_muni@rcmp-grc.gc.ca with a hard copy to follow in the mail.

If you decide to increase human resources (established increases) to your detachment's strength, please be advised that a third letter is required that outlines your request. Please address that letter to:

The Honourable Mike Farnworth
Minister of Public Safety and Solicitor General of BC
PO Box 9010, Stn. Prov. Gov't.
Victoria, BC
V8W 9L5

Kindly forward a copy to us as well.

Should you have any questions or require more information on the above, please contact Paul Richardson, Financial Manager Municipal Policing at 778-290-2490.



Maricar Bains, B. Comm., MBA
Regional Director
Finance Section, E & M Divisions
Corporate Management & Comptrollership Branch

c.c. NCO i/c Salmon Arm Detachment



RCMP E Division HQ
Finance Section, Mailstop #908
14200 Green Timbers Way
Surrey, BC Canada V3T 6P3

City of XXXXXX
XXXXXX Ave.,
XXXXXX, B.C.

Sample

April 26, 2021

Ms. Maricar Bains, B. Comm., MBA
Regional Director,
Financial Management & Accounting Operations
Corporate Management & Comptrollership Branch, Pacific Region
Mailstop #908, 14200 Green Timbers Way
Surrey, BC, Canada
V3T 6P3

Dear Madam:

Re : Final Confirmation Letter - Municipal Policing Expenditure Cap 2022/23 - \$ XXXXXX

Please consider this confirmation by the City of XXXXXX that the revised contract estimate, including XX additional members, is \$ XXXXXXXX at 100% (that our municipality is responsible at 90%). In addition, we are confirming a budget of \$ XXXXXX @ 100% for the various Integrated Teams (if applicable). The total contract strength for the RCMP Fiscal Year 2022/23 is XXX members.

If you have any questions, please call the undersigned at (###) ###-####.

Thank you.

Yours truly,

John Doe
Treasurer/Deputy Administrator

cc: Asst. Deputy Minister & Director of Policing and Security Programs,
Ministry of Public Safety and Solicitor General
OIC XXXX Detachment

Item 9.4

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council authorize the City of Salmon Arm Fire Department to proceed with the Regional Advertising Partnership and advance the necessary funding up to \$6,000.00;

AND THAT: Council authorize the use of the Paid on Call Fire Fighters to provide Fire Smart Training as budgeted under the City of Salmon Arm's 2022 Community Resiliency Investment Grant, subject to approval by UBCM/Province of BC.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



City of Salmon Arm

Fire Department

MEMORANDUM

Date: March 24, 2022

To: Mayor and Council

From: Brad Shirley, Fire Chief

Re: 2022 Community Resiliency Investment – Endorsement Request

Suggested Motion:

THAT: Council authorize the City of Salmon Arm Fire Department to proceed with the Regional Advertising Partnership and advance the necessary funding up to \$6,000.00;

AND THAT: Council authorize the use of the Paid on Call Fire Fighters to provide Fire Smart Training as budgeted under the City of Salmon Arm's 2022 Community Resiliency Investment Grant, subject to approval by UBCM/Province of BC.

Background:

For the last few years, Silvatech Consulting Ltd. (Silvatech) has been managing the City of Salmon Arm (City) and Neskonlith Indian Band (NIB) portions of the Community Resiliency Investment (CRI) grant funding received by the Province of BC. As a result, they have been responsible for paying related costs and subsequently making claims through the granting program. Under the 2022 CRI Application, it was envisioned that the Salmon Arm Fire Department would manage the Fire Smart Education portion of the CRI budget. Similar to the process undertaken in 2021.

As part of this, the Fire Department has been working with other communities (i.e. CSRD and District of Sicamous) on Regional Fire Smart activities and advertising partnerships. The total estimated budget under the CRI grant for Salmon Arm's portion of education, activities and related advertising is \$20,948.50. This includes activities for which Silvatech will manage.

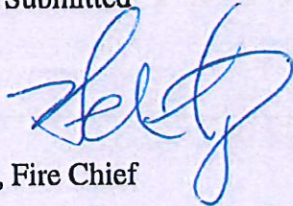
The City is still awaiting a response on whether our 2022 CRI application was successful. However in order to proceed with the Regional Fire Smart Advertising project, we must provide confirmation now.

Staff are seeking Councils endorsement to proceed with providing Paid on Call Fire Fighter time for Fire Smart Training/Education and advancing funds for the Regional Fire Smart activities and advertising partnerships. Expenses incurred will be invoiced to Silvatech/NIB accordingly for reimbursement through the City's CRI grant, if eligible. The 2022 CRI Program Guide indicates that eligible costs can only be incurred from the date of application submission until the final report is submitted. Labour related costs associated with the work, would not proceed until confirmation of grant approval is received.

While this endorsement does contradict the intent of how the CRI grants are to be managed and are generally not recommended by Staff, there are no other alternatives to provide the requested services. Should reimbursement not be received under the granting program or if the City is not successful in its 2022 CRI application, the City would be required to fund the expenditures incurred.

The City currently has approximately \$15,690.00 in reserve to complete a Strategic Wildfire Plan. As this plan was subsequently completed under the 2019 CRI program, these funds are available. Of this, \$8,680.00 has been held towards the 2021 CRI program until our reimbursement is received, leaving approximately \$7,000.00 available for this request.

Respectively Submitted

A handwritten signature in blue ink, appearing to read 'Shirley', is written over a faint horizontal line.

Brad Shirley, Fire Chief

cc: Chelsea Van de Cappelle, Chief Financial Officer

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Item 10.1

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4492 be read a first and second time.

[Wild Blue Developments Ltd./Franklin Engineering Ltd.; 2220 10 Street SW; R-1 and A-2 to R-8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: March 16, 2022

Subject: Zoning Bylaw Amendment Application No. 1228

Legal: Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan KAP57942
Civic: 2220 – 10 Street SW
Owner: Wild Blue Development Ltd.
Agent: Franklin Engineering Ltd.

STAFF RECOMMENDATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan KAP57942 from R-1 (Single Family Residential Zone) and A-2 (Rural Holding Zone) to R-8 (Residential Suite Zone).

PROPOSAL

The subject parcel is located at 2220 – 10 Street SW (Appendix 1 and 2), is approximately 8.4 acres in area, and contains an existing single family dwelling. The subject parcel is designated Low Density Residential and within Residential Development Area B in the City's Official Community Plan (OCP), and zoned R-1 (Single Family Residential) and A-2 (Rural Holding) in the Zoning Bylaw (Appendix 3 & 4).

A subdivision application has been submitted which would split the parcel into 34 lots. This proposal is to rezone the split-zoned parcel to R-8 (Residential Suite) to permit the future option for construction and use of *secondary suites* on the existing and new proposed parcels. The existing and proposed parcels meet the conditions to accommodate a *secondary suite* (at this stage, 18 of the proposed lots have sufficient area to permit a *detached suite*).

BACKGROUND

The subject parcel is located in an area largely comprised of R-1 and A-2 zoned parcels containing single family dwellings. There are presently no R-8 zoned parcels within the vicinity of the subject parcel. The proposed zoning and subdivision aligns with the existing development to the west and would align with pre-plans for roads and development to extend over land to the east (Appendix 5 and 6). Several of the properties located to the east of the subject parcel have A-2 zoning that allows for secondary suites.

Site photos are attached as Appendix 7.

Secondary Suites

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in all Residential designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code. Based on parcel area and width, the subject property as well as the proposed parcels all have potential to easily meet the conditions for the development of a *secondary suite* (or *detached suite* where applicable), including sufficient space for an additional off-street parking stall.

COMMENTSEngineering Department

No objections to the proposed rezoning. Comments attached as Appendix 8.

Building Department

Geotech review/report required. A Building Permit application will be required for development.

Fire Department

No concerns.

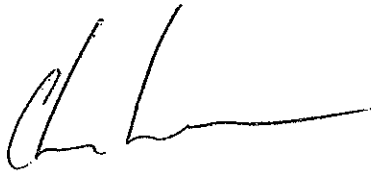
Planning Department

The future development as proposed is an important initial stage in the development of road networks in Residential Development Area B, forming the gateway for the 10 Street Extension / 20 Avenue Connector (Appendix 6). The proposed road network would form an extension of 10 Street SW, opening a portion of existing road right-of-way between Foothill and 23 Avenue SW, at which point this proposed road would curve to the east (towards 20 Avenue). This proposed internal road will be constructed to the RD-4 Collector Road standard, which includes multi-use pathways on both sides of the roadway. Topography and watercourses present some challenges to the further extension of this connector beyond the subject parcel.

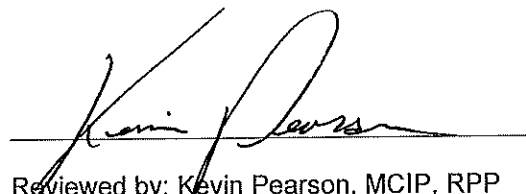
The other internal roads including the extension of 24 Avenue will be constructed to an RD-2 Local Road standard, including sidewalk on one side of the road. An unopened portion of 10 Street SW would remain between 23 and 24 Avenue SW, allowing for required construction of an emergency access and a multi-use path.

Staff note that a pedestrian right-of-way for a greenway connection will be required at the end of the proposed cul-de-sac (extension of 24 Avenue) at the southeast corner of the subject parcel. Multi-use paths will be required along Foothills Road, as well as within the previously noted 10 Street SW Extension / 20 Avenue Connector and the closed portion of the 10 Street SW right-of-way. Sidewalks are required along one side of the other internal roads.

The proposed R-8 zoning of the subject parcel is consistent with the OCP and is therefore supported by staff. The large subject parcel is well suited to R-8 development and the proposed parcels have more than sufficient area to meet all R-8 Zone requirements including the provision of onsite parking. Any development of a secondary suite would require a building permit and will be subject to meeting Zoning Bylaw and BC Building Code requirements.

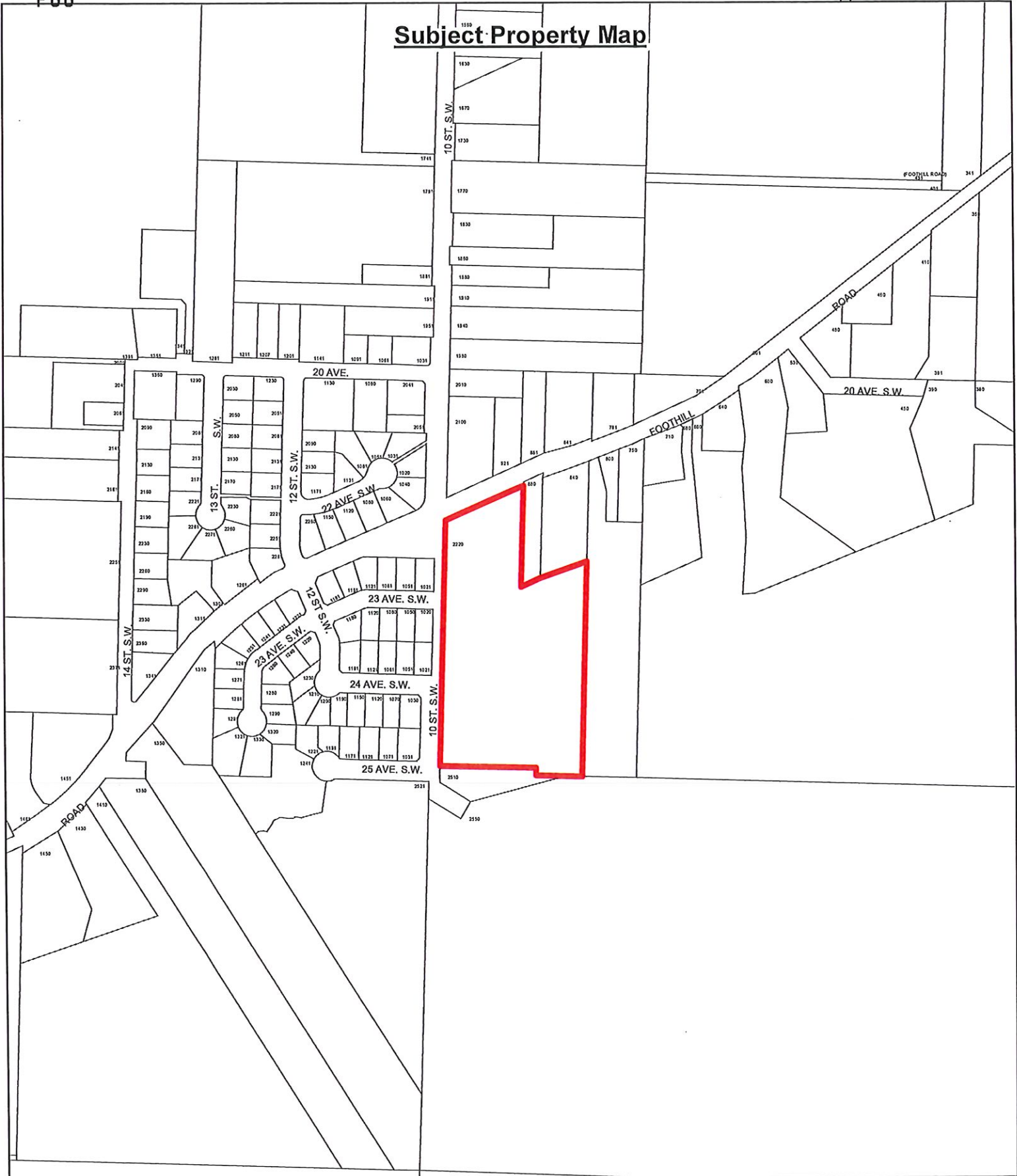


Prepared by: Chris Larson, MCIP, RPP
Senior Planner



Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

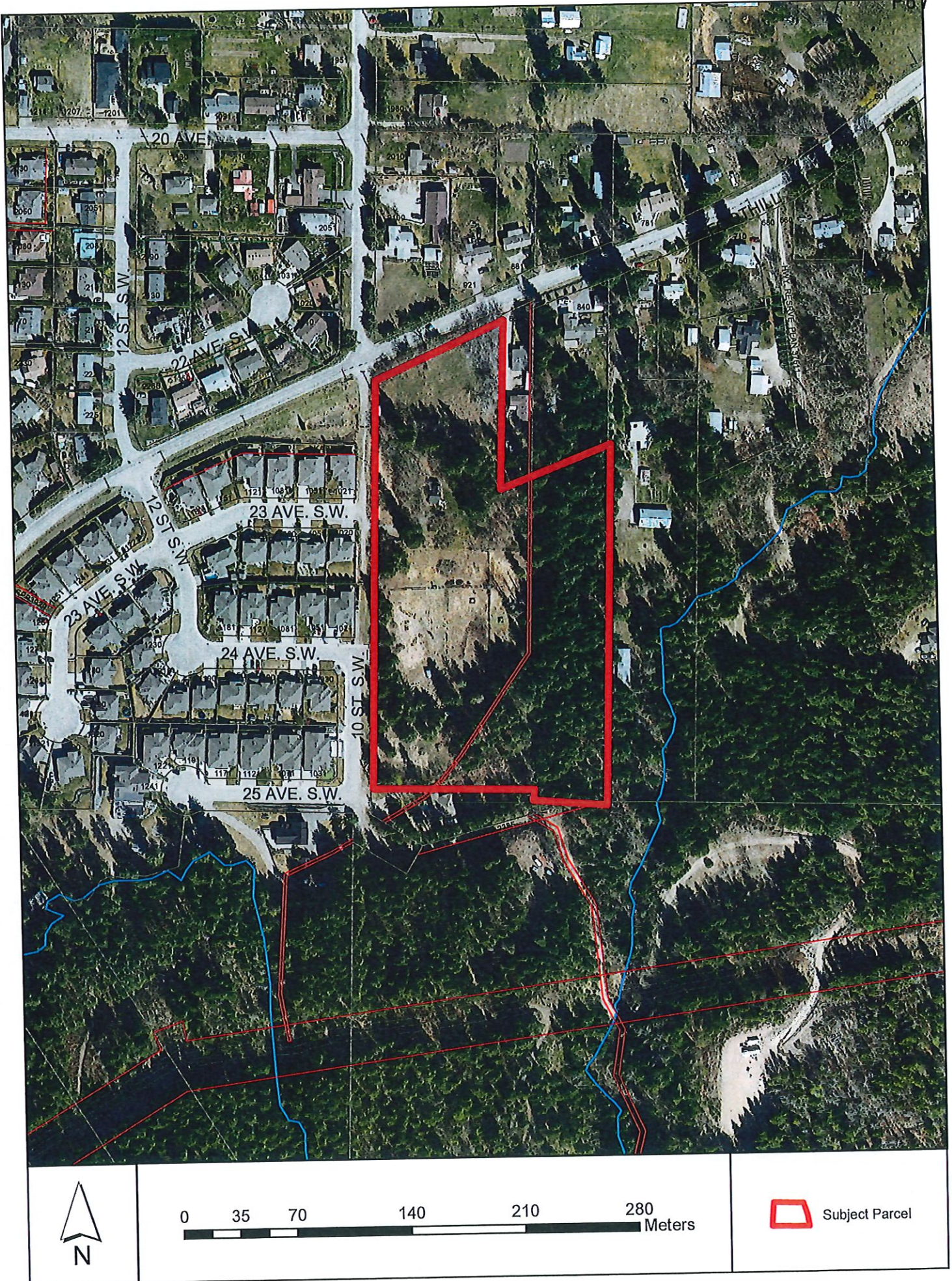
Subject Property Map



Subject Property



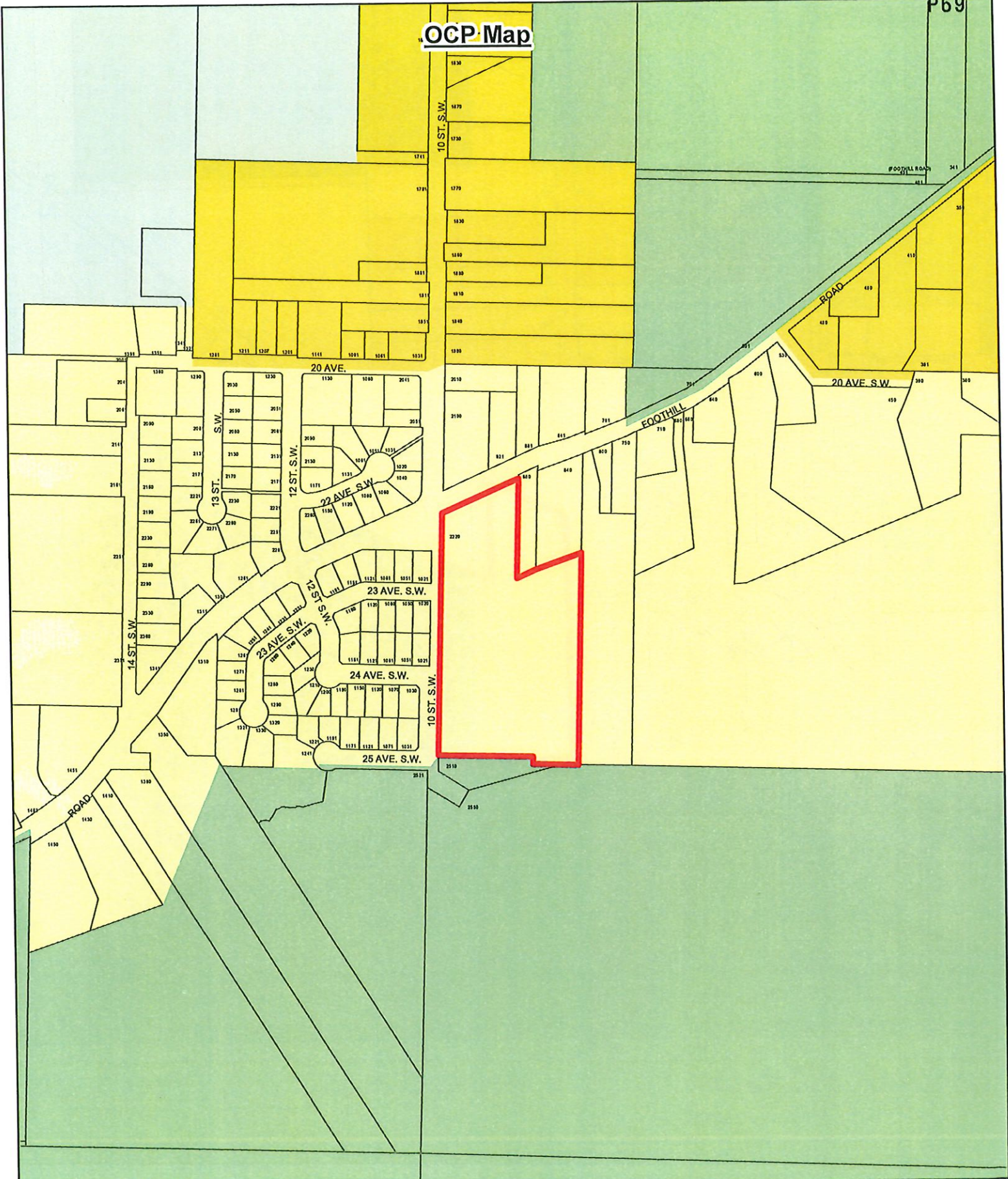
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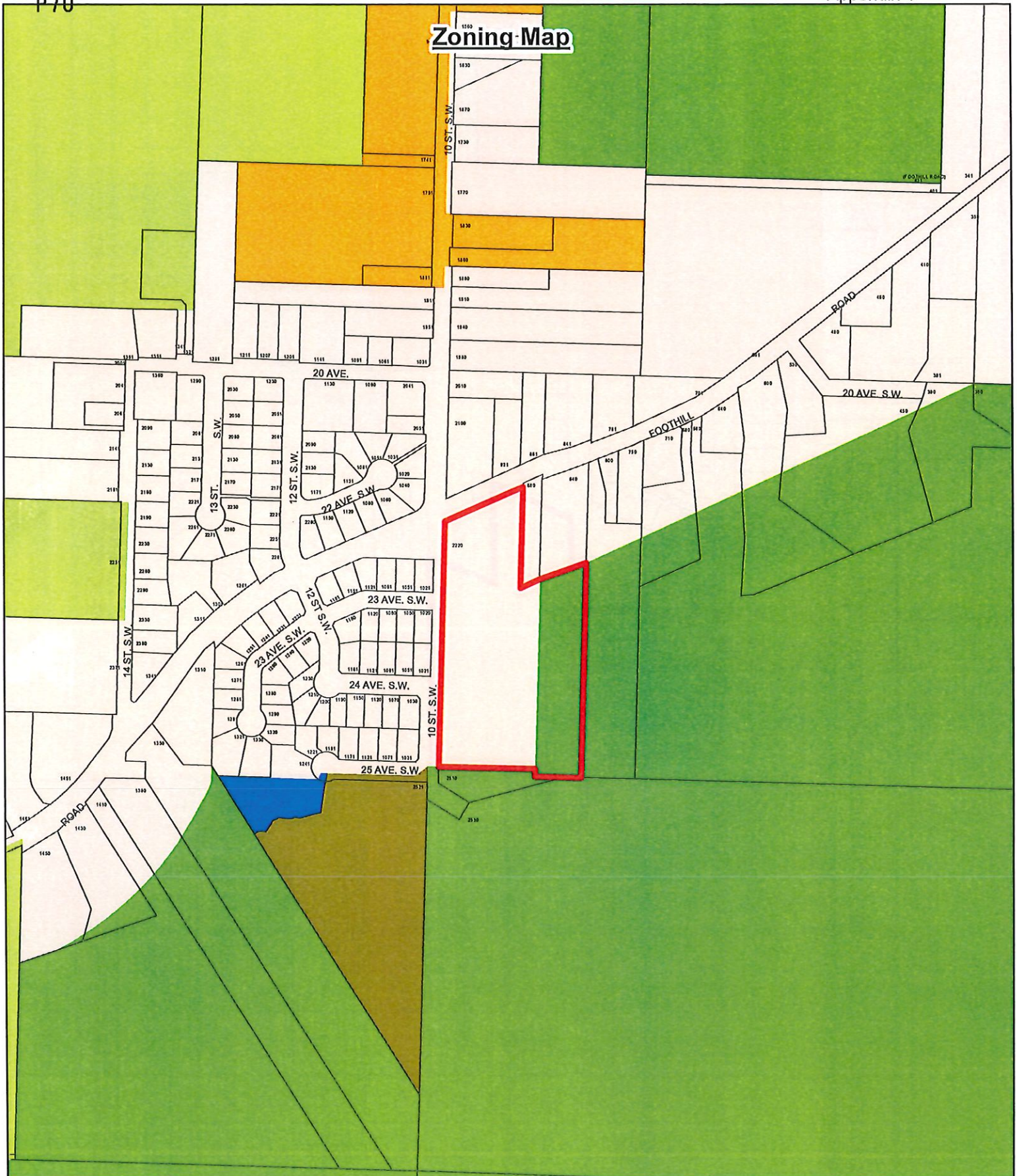
OCP Map

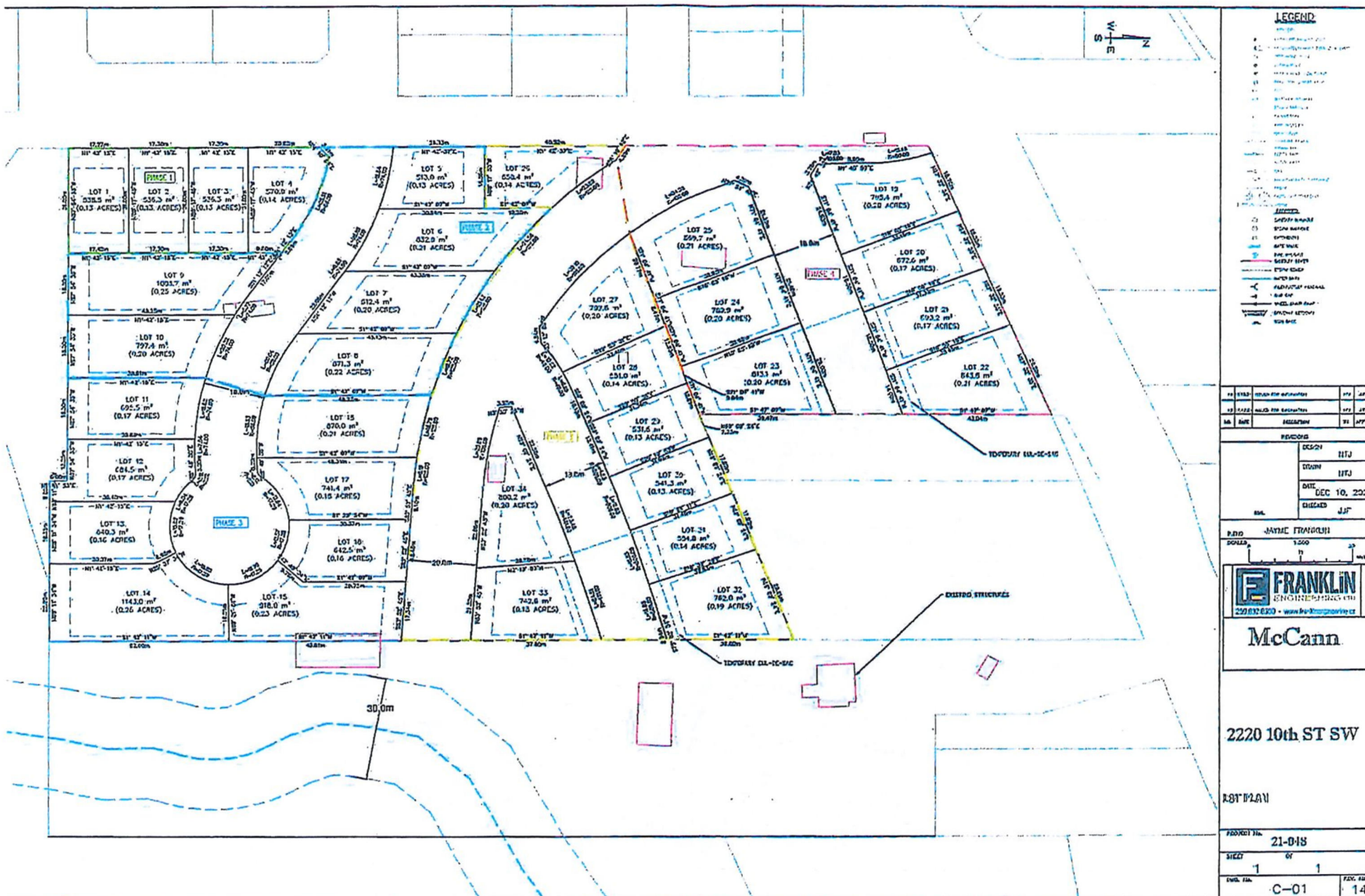


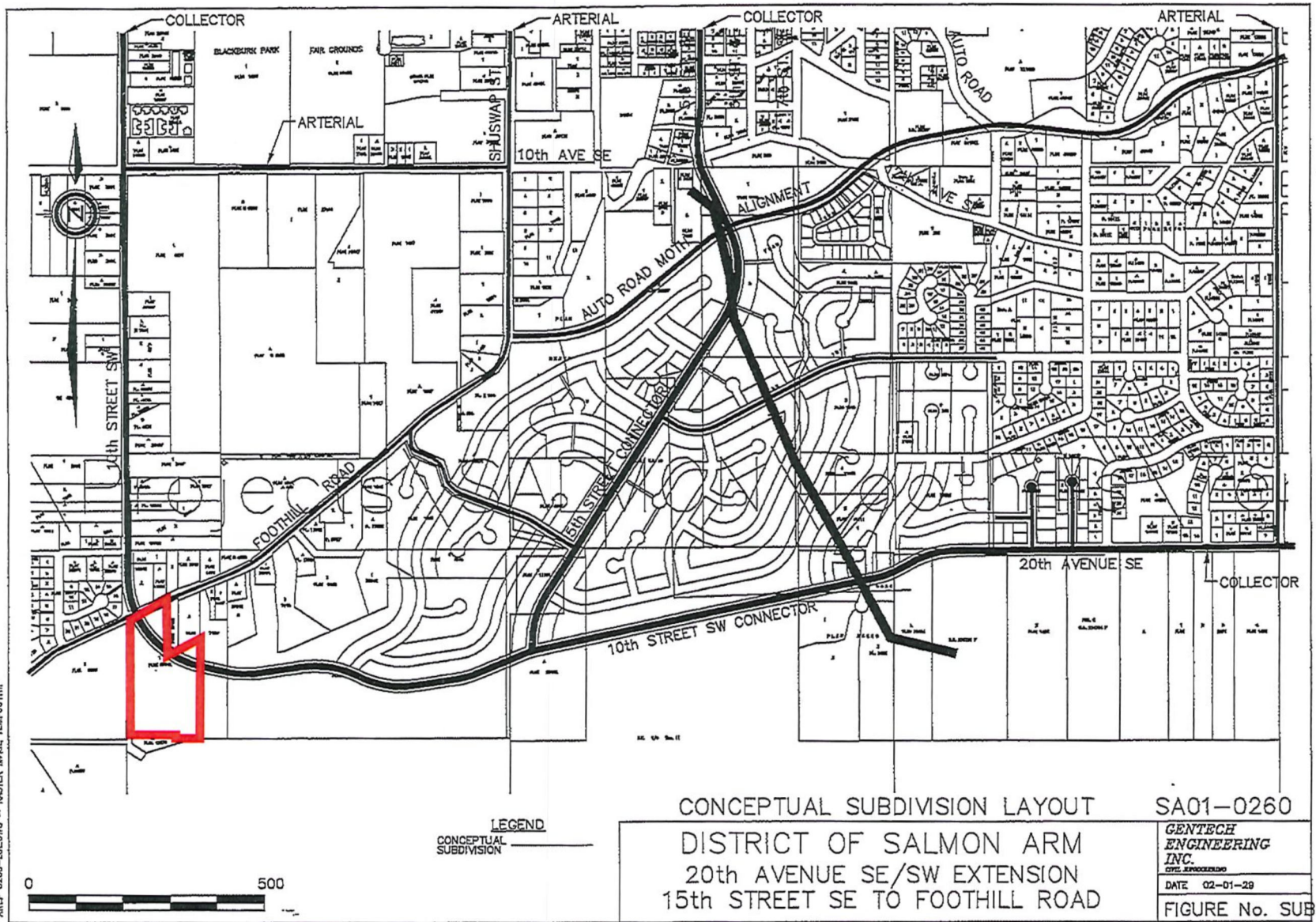
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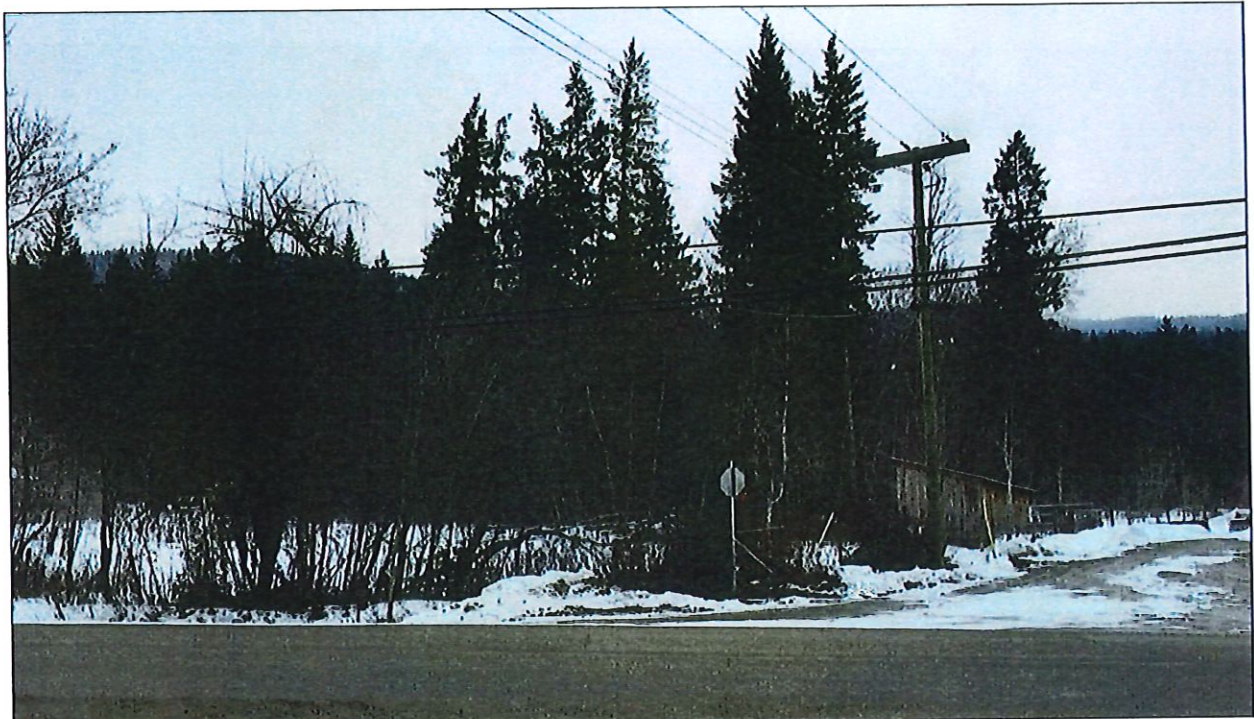
- Subject Property
- Acreage Reserve
- Residential - Low Density
- Residential - Medium Density
- Parcels
- Salmon Valley Agriculture

Zoning Map

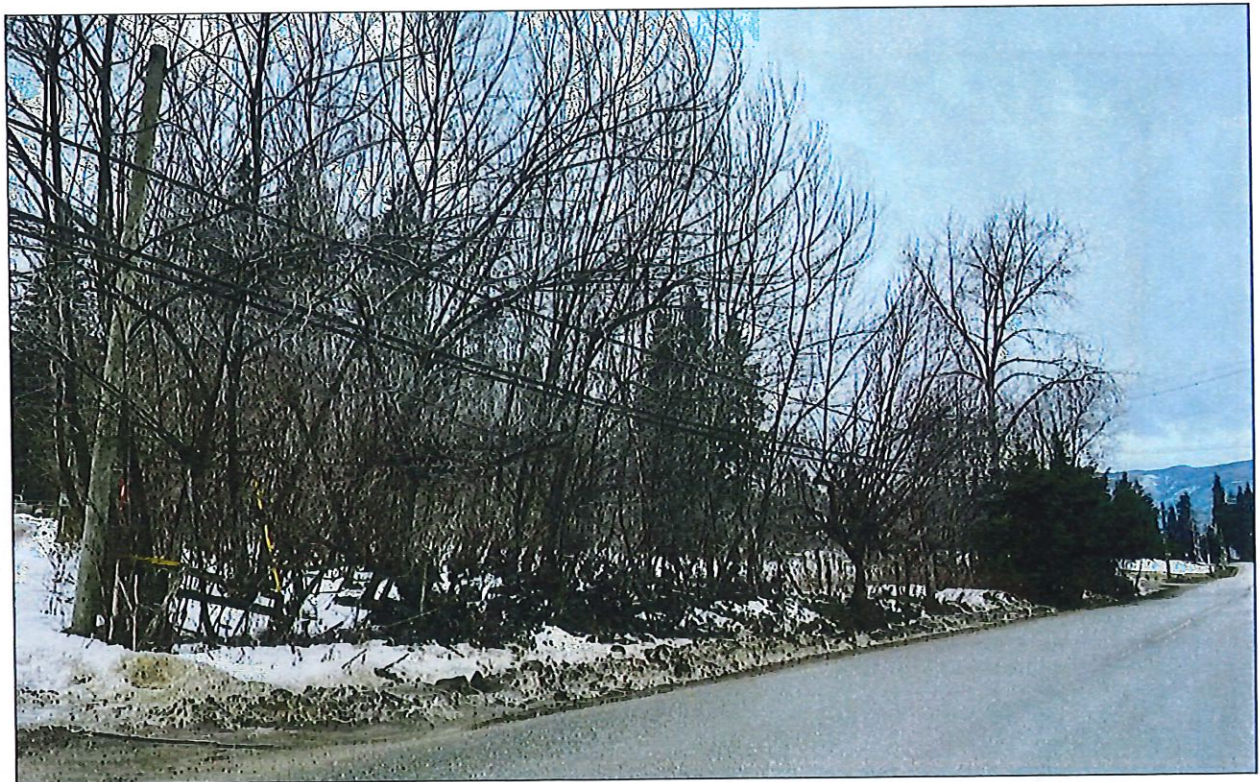








View southwest of subject parcel from 10 Street SW and Foothill Road.



View southeast of subject parcel from Foothill Road.



View east of subject parcel from 23 Avenue SW.



View northeast of subject parcel from 25 Avenue SW.



*Memorandum from the
Engineering and Public
Works Department*

TO:	Kevin Pearson, Director of Development Services
DATE:	January 19, 2022
PREPARED BY:	Mustafa Zakreel, Engineering Assistant
APPLICANT:	Wild Blue Developments Ltd.
SUBJECT:	SUBDIVISION APPLICATION FILE NO. SUB- 22.01 and ZONING AMENDMENT FILE NO. ZON-1228
LEGAL:	Lot 1, Section 11 Township 20, Range 10, W6M KDYD, Plan KAP57942
CIVIC:	2220 – 10 Street SW

Further to your referral dated January 19, 2022, we provide the following servicing information.

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. At the time of subdivision the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
8. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.

SUBDIVISION APPLICATION FILE: 2022-01

DATE: January 19, 2022

Page 2

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9. For the off-site improvements at the time of subdivision the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of Subdivision approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. Foothill Road SW, on the subject property's Northern boundary, is designated as an Urban Arterial Road standard, with an ultimate 25.0m road dedication (12.5m on either side of road centerline). Although the City only requires an Interim total of 20.0m of road dedication (10.0m on either side of road centerline) at this time, all building setbacks will be required to conform to the ultimate 25.0m cross section. A 2.5m wide ROW may be required on either side of the road to accommodate required infrastructure per Item 2. No additional dedication is required at this time (subject to confirmation by BCLS).
2. Foothill Road SW is currently constructed to an Interim Rural Arterial Road standard. Upgrading to the current Urban Interim Arterial Road standard is required, in accordance with Specification Drawing No. RD-4. Upgrading may include, but is not limited to, road widening and construction, curb & gutter, 3m wide multi-use path, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Owner / Developer is responsible for all associated costs.
3. 10 Street SW, on the subject property's western boundary, is a closed road. A 3.0m multi-use path is to be constructed in accordance with CGS -8.
4. The proposed 10 Street SW through the proposed subdivision is to meet the Collector road standard, in accordance with the Specification Drawing No. RD-4. Developer's engineer to prove that the vertical & horizontal alignment will generally conform to the OCP alignment and preliminary centerline grading.
5. Internal roadways shall be designed a construction to the Urban local road standard, in accordance with Specification Drawing No. RD-2.
6. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing and proposed roadways.
7. A 5.0m by 5.0m corner cut is required to be dedicated at all intersections with Foothills Road SW or 10 Street SW.
8. Dedication shall be provided at the intersection of Foothills Road and 10 Street SW to allow for a Round-about sized for a WB-15 design vehicle.
9. As Foothill Rd SW is designated as an Arterial Road, accesses shall be designed by keeping to a minimum number. No driveway access will be permitted onto Foothill Road.
10. The maximum allowable cul-de-sac or T-Turn around length in the urban areas is 160 meters. This measurement shall be measured along centerline from the center of the first intersection

SUBDIVISION APPLICATION FILE: 2022-01

DATE: January 19, 2022

Page 3

having access from two alternate routes to the center of the cul-de-sac or T-Turn around. Where the maximum cul-de-sac or T-Turn around length is exceeded a secondary emergency access shall be provided. Emergency accesses are to be constructed in conformance with Policy 3.11 (Emergency Accesses). Based on the plan submitted, a cul-de-sac exceeds the allowable distance of 160 meters. The multi-use path may be combined with an emergency access; however, the path would require widening to meet policy 3.11 (3.5 m load carrying width, 4.5m clear width)

11. Permanent dead-end roads shall be terminated in a cul-de-sac in accordance with Specification Drawing No. RD-11. Temporary dead-end roads internal to the subdivision may be terminated with a paved temporary T-turn around in accordance with Specification Drawing No. RD-13. Temporary dead-end roads at the limits of the subject property shall be terminated with temporary cul-de-sacs in accordance with Specification Drawing No. RD-11a (attached).

Water:

1. The subject property fronts a 100 mm diameter Zone 1 watermain on Foothill Rd SW. Upgrading this watermain to 300 mm diameter across the frontage of the property is required. DCC water credits may be considered for the additional cost of oversizing the main.
2. The subject property fronts a 200 mm diameter Zone 1 watermain on 10 Street SW. No upgrade is required at this time.
3. Records indicate that the existing lot is currently not serviced with the City water.
4. Watermain shall be extended to the furthest extents of the property required to accommodate adjacent development and is to be sized (min 150mm) to accommodate highest and best use of any 'upstream' parcels per the zoning in the Official Community Plan.
5. The proposed parcels are to be serviced each by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use (minimum 25mm). Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost.
6. The subject property is located within an area of identified fire flow deficiency, according to the 2011 Water Study (OD&K 2012). The Owner / Developer's authorized engineer is to complete a flow test on the closest fire hydrant to confirm the existing watermain servicing the subdivision is adequately sized to provide fire flows in accordance with the requirements of the Subdivision and Development Servicing Bylaw No 4163. Where the City water distribution system has insufficient capacity to meet the required fire flow, the Owner / Developer will be required to make the necessary upgrades to meet these standards. Owner / Developer is responsible for all associated costs.
7. Fire protection requirements to be confirmed with the Building Department and Fire Department.

SUBDIVISION APPLICATION FILE: 2022-01

DATE: January 19, 2022

Page 4

-
8. Owners consulting Engineer shall review the site to ensure placement of fire hydrants meet the low density spacing requirements of 150 meters.

Sanitary:

1. The subject property does not front a City of Salmon Arm sanitary sewer main. Consultant/ Developer is responsible for extending a 200 mm sanitary sewer from the existing manhole located approximately 70m north of the subdivision on 10 St, to and through the proposed subdivision. A 200 mm sanitary sewer main terminates at manholes at the eastern end of each 23, 24 and 25 AVE SW.
2. Sanitary main shall be extended to the furthest extents of the property required to accommodate adjacent development and is to be sized (min 200mm) to accommodate highest and best use of any 'upstream' parcels per the zoning in the Official Community Plan.
3. The proposed parcels are each to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
4. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016). Design engineer to review and confirm downstream capacity.
5. Records indicate that the existing parcel is currently serviced by a septic field. Decommissioning of the septic field, in accordance with building departments requirements will be a condition of the subdivision. Owner / Developer responsible for all associated costs.

Drainage:

1. The subject property does not front City storm sewer on Foothill Rd SW or on 10 Street SW. Storm sewer shall be extended within the property to the furthest extents required to accommodate adjacent development and is to be sized (min 250mm) to accommodate highest and best use of any 'upstream' parcels per the zoning in the Official Community Plan..
2. Record indicate that the existing property is not serviced by storm sewer.
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced

SUBDIVISION APPLICATION FILE: 2022-01

DATE: January 19, 2022


Page 5

(each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

6. The subject property is in an area with current storm capacity concerns according to the Stormwater Master Plan Study (April 2020). It is anticipated that stormwater will require control to the 2-5 year pre-development flows. Owner / Developer's engineer shall review downstream capacity within the existing City Storm System to receive the proposed discharge from the development and upstream contributing drainage areas.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), Category C (Landslide Assessment), is required.



Mustafa Zakreet
Engineering Assistant



Jenn Wilson P.Eng., LEED® AP
City Engineer

CITY OF SALMON ARM

BYLAW NO. 4492

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on April 11, 2022 at the hour of 7:00 p.m. was published in the _____, 2022 and _____, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 1, Section 11, Township 20, Range 10, W6M, KDYD, Plan KAP57942 from R-1 (Single Family Residential Zone) and A-2 (Rural Holding Zone) to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4492"

READ A FIRST TIME THIS	DAY OF	2022
------------------------	--------	------

READ A SECOND TIME THIS	DAY OF	2022
-------------------------	--------	------

READ A THIRD TIME THIS	DAY OF	2022
------------------------	--------	------

ADOPTED BY COUNCIL THIS	DAY OF	2022
-------------------------	--------	------

MAYOR

CORPORATE OFFICER

This is a detailed plat map of a portion of the City of Portland, Oregon. The map shows a grid of streets and lots. The streets labeled include 12th St. S.W., 20 Ave., 22 Ave. S.W., 23 Ave. S.W., 24 Ave. S.W., 25 Ave. S.W., 10th St. S.W., and Foothill. A large area, bounded by 10th St. S.W. to the west, 25 Ave. S.W. to the south, and an unnamed street to the east, is outlined in red. This red-outlined area is the subject of the project described in the text. The map shows various lot numbers and street names, with a north arrow pointing towards the top left.

Item 10.2

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4498 be read a first and second time.

[Dieleman, P. & J.; 6500 1 Avenue NW; A-2 and A-3]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: March 10, 2022

Subject: Zoning Bylaw Amendment Application No. 1232

Legal: Remainder Lot B, Section 17, Township 20, Range 10, W6M, KDYD, Plan EPP96461, Except Plan EPP115380

Civic Address: 6500 1 Avenue NW

Owner/Applicant: Paula and Jack Dieleman

STAFF RECOMMENDATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Remainder Lot B, Section 17, Township 20, Range 10, W6M, KDYD, Plan EPP96461, Except Plan EPP115380 from A2 (Rural Holding Zone) to A3 (Small Holding Zone).

PROPOSAL

To review the application to rezone the above noted property from A2 to A3 in order to accommodate the future subdivision of the subject property.

BACKGROUND

The subject property is designated in the Official Community Plan (OCP) as Acreage Reserve and A2 (Rural Holding Zone) in the Zoning Bylaw (Appendix 1 to 4). The minimum parcel area for subdivision in the A2 zone is 4.0ha (9.9ac). The minimum parcel area under the A3 (Small Holding Zone) is 2.0ha (4.9ac). The subject property is part of a recent subdivision that included the dedication of the access road (1 Avenue NW).

Given that the subject property is approximately 9.24ha (22.8ac) in area subdivision is prohibited in the A2 zone and rezoning is required. The subject property is not affected by the Agricultural Land Reserve (ALR), the boundary of which is located to the east of the subject property.

Adjacent land uses include the following:

North: A2 (Rural Holding Zone) – Agriculture and Single Family Residences

South: A3 (Small Holding Zone) – Agriculture and Single Family Residences

East: A3 (Small Holding Zone) & A2 (Rural Holding Zone) – Agriculture and Single Family Residences

West: A1 (Agriculture Zone) – Unsurveyed Crown Land

The applicant is proposing a three (3) lot subdivision of the 9.24ha (22.8ac) subject property. The proposed lots would be accessed from 1 Avenue NW. Access beyond the cul-de-sac would not be maintained by the City. A sketch plan provided with the subdivision application is included as Appendix 5.

COMMENTS

Engineering Department

The Engineering Department has no concerns to the rezoning of this property.

Building Department

No concerns with the rezoning.

Fire Department

No concerns.

Planning Department

Since the adoption of the Official Community Plan in 2011 (Bylaw No. 4000), Council has reviewed 14 rezoning applications under policy 7.3.29 and supported the adoption of 12 sites, including the development around 1 Avenue NW adjacent to the subject property and the recent rezoning of 821 60 Street NW to the north of the subject property.

In supporting the proposed rezoning staff consult with the policies of the OCP, including policy 7.3.29 which states:

"Subdivision to accommodate further rural small agricultural holdings may be supported within the Acreage Reserve area situated west of both the Salmon River and the Trans Canada Highway subject to compliance with the following criteria:

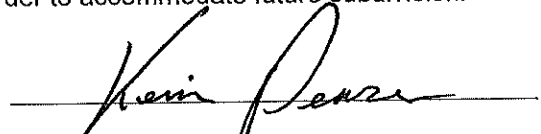
- a. The suit is well drained and free from flooding, unstable soils or other hazardous conditions;
- b. soil conditions permit permanent on-site sewage disposal for each parcel as determined by the appropriate agency;
- c. availability of adequate potable water supply on each parcel, approved by the appropriate agency;
- d. minimum of two (2) hectare parcel size, other than subdivisions or boundary adjustments contemplated under policy 7.3.6 and subject to appropriate zoning; and
- e. the lands have an improved agricultural soils capability rating of class four (4), class five (5), class six (6) or class as determined by the ALC, based on the Canada Land Inventory Agricultural Capability Classification System. The principle of protecting better quality agricultural soils from subdivision in to small lots will guide decisions on mixed category applications and the ALC will continue to consider each subdivision application on its own merits to ascertain the potential impact of subdivision on exiting and potential agricultural development."

At the time of subdivision approval any issues related to flooding, unstable soils or hazardous conditions are addressed by existing covenants that restrict development unless certain conditions are met (i.e. development oversight by Geotechnical Engineer, assessments in areas of known slope instability). The covenants are reviewed and amended if necessary prior to final subdivision approval. Also at the time of subdivision approval, on-site sewerage disposal will be addressed through a qualified professional and in conjunction with Interior Health Authority which regulates on-site sewerage requirements in rural areas. An Improved Soils Capability Map is included as Appendix 6 and the subject property is within an area of class six (6) soils, but as mentioned no in the ALR.

Staff are supportive of the rezoning of the subject property in order to accommodate future subdivision.



Prepared by: Melinda Smyrl, MCIP, RPP
Planner III

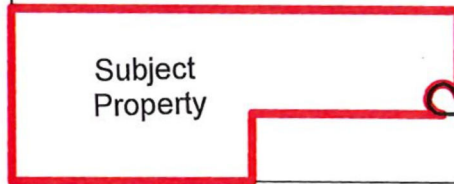


Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

P86

Subject Property Map

APPENDIX 1



Subject
Property

1 Ave N.W.

8 Ave N.W.

10 St N.W.

60 St N.W.

57 St N.W.

57 St N.W.

40 St S.W.

39 St S.W.



Parcels



Subject Property

Subject
Property

1 Ave N.W.



0 30 60 120 180 240 m



Parcels



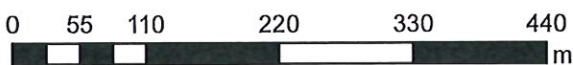
Subject Property

P88

OCP Map

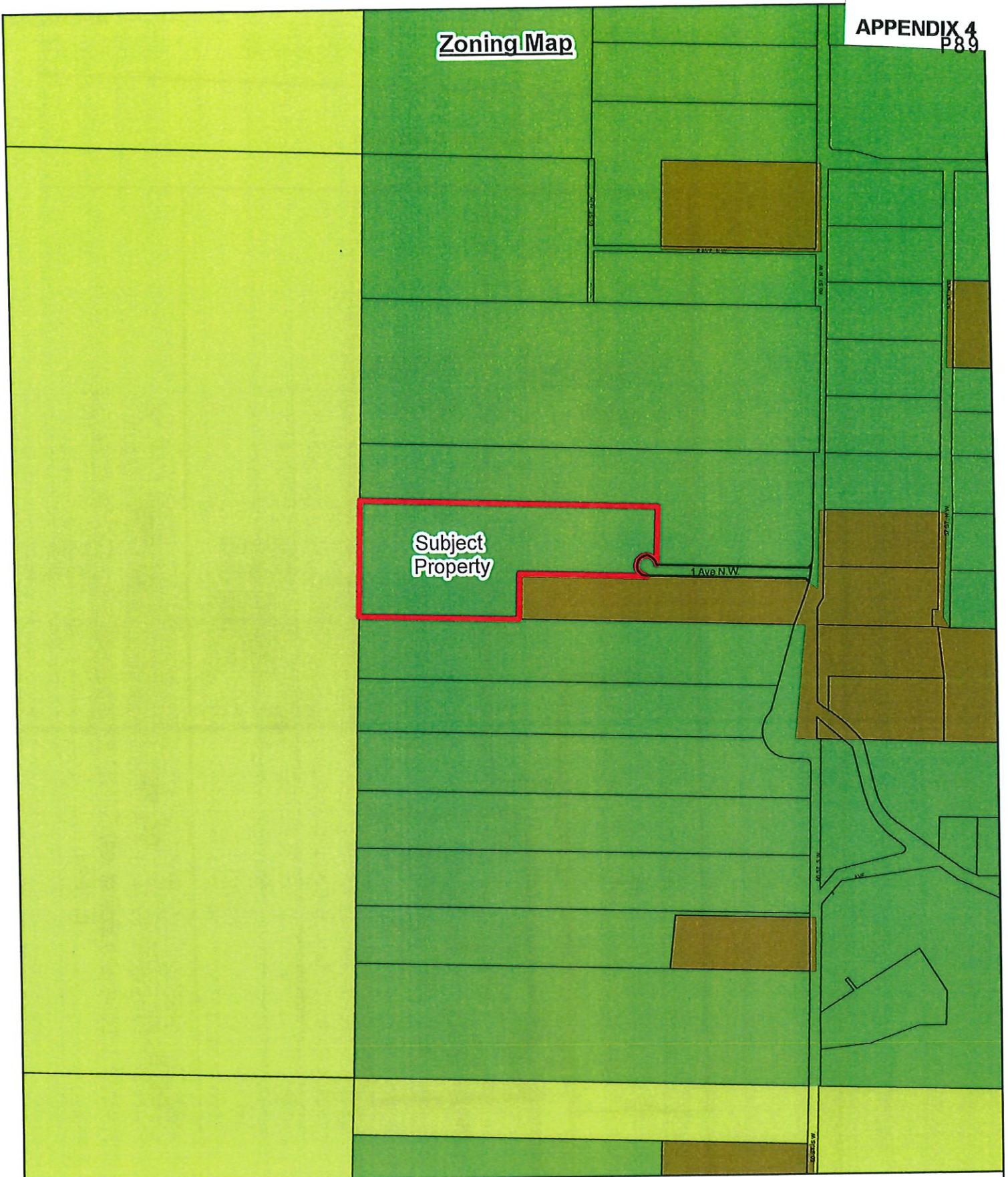
Subject
Property

1 Ave N.W.



- | | |
|---|---|
|  Parcels |  Acreage Reserve |
|  Subject Property |  Forest Reserve |

Zoning Map



Subject
Property

1 Ave N.W.

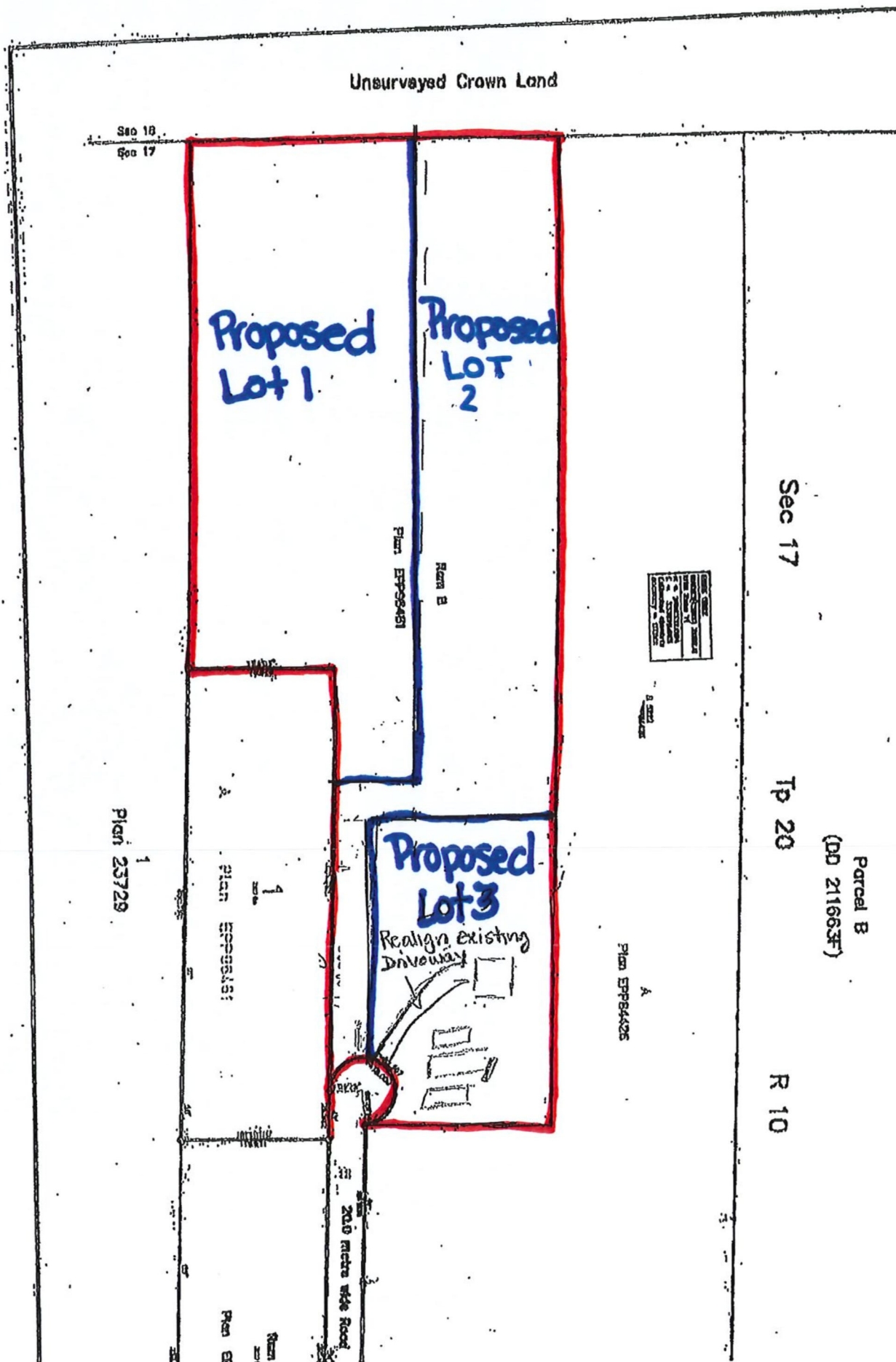
2 Ave N.W.



0 75 150 300 450 600 m

- | | | |
|---|---|---|
|  Parcels |  A-1 |  A-3 |
|  Subject Property |  A-2 | |

P90



Improved Soils
Capability Map

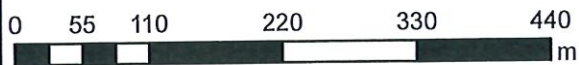
P 91

2
6 R
T

Subject
Property

1 Ave. N.W.

60 ST. S.W.



- | | |
|---|---|
|  Parcels |  CLASS 3 |
|  Subject Property |  CLASS 6 |

CITY OF SALMON ARM

BYLAW NO. 4498

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on April 11, 2022 at the hour of 7:00 p.m. was published in the _____, 2022 and _____, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Remainder Lot B, Section 17, Township 20, Range 10, W6M, KDYD, Plan EPP96461 Except Plan EPP115380 from A-2 (Rural Holding Zone) to A-3 (Small Holding Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **"City of Salmon Arm Zoning Amendment Bylaw No. 4498"**

READ A FIRST TIME THIS DAY OF 2022

READ A SECOND TIME THIS DAY OF 2022

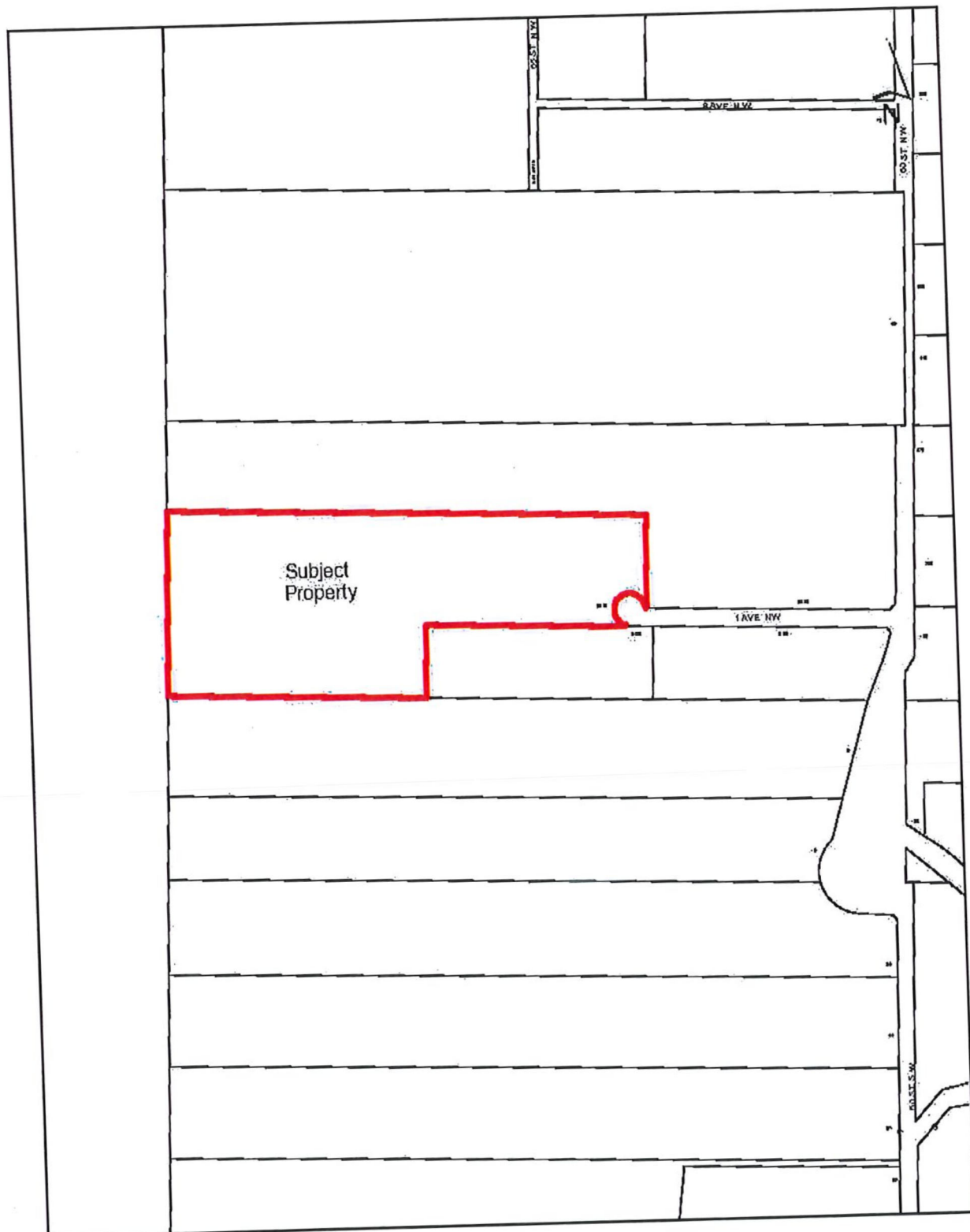
READ A THIRD TIME THIS DAY OF 2022

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER

Schedule "A"



Item 10.3

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4506 be read a first and second time.

[Bickle, J. & J.; 1241 25 Avenue SW; R-1 and R-9 to R-8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

**CITY OF
SALMON ARM**

To: His Worship Mayor Harrison and Members of Council

Date: March 15, 2022

Subject: Zoning Bylaw Amendment Application No. 1235

Legal: Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan EPP88045
Civic Address: 1241 – 25 Avenue SW
Owner/Applicant: Bickle, J. & J.

STAFF RECOMMENDATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan EPP88045 from R-1 (Single Family Residential Zone) and R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone).

PROPOSAL

The subject parcel is located at 1241 – 25 Avenue SW (Appendix 1 & 2). The proposal is to rezone the entire parcel from R-1 (Single Family Residential) and R-9 (Estate Residential) to R-8 (Residential Suite).

BACKGROUND

The parcel is designated Low Density Residential and Acreage Reserve in the City's Official Community Plan (OCP) and zoned Single Family Residential (R-1) and Estate Residential (R-9) in the Zoning Bylaw (Appendix 3 & 4).

The subject parcel is located in 'The Ridge' subdivision off of Foothill Road, which is almost entirely comprised of R-1 zoned parcels. There are currently zero R-8 zoned parcels within the proximity of the subject parcel.

The property is approximately 0.526 hectares (5,260 square metres) in area/size and contains an existing single family dwelling and two accessory buildings/structures (sheds). The total lot area is large enough to permit a detached suite. Site photos are attached, as Appendix 5.

Policy 8.3.25 of the OCP provides for the consideration of detached suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code. Based on parcel area, the subject property has the potential to meet the conditions for the development of a detached suite, including sufficient space to meet the parking requirement.

COMMENTS**Engineering Department**

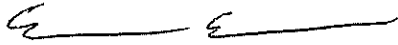
No concerns.

Building Department

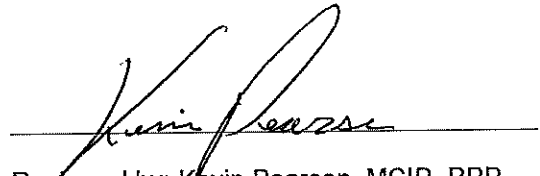
BCBC requirements are applicable at the Building Permit stage. A QEP report on RAPR requirements is also applicable at the Building Permit stage. An eventual Variance Permit may be required for the building height due to the sloping lot. DCCs are applicable for detached suite.

Planning Department

The proposed R-8 zoning of the subject parcel is consistent with the OCP and is therefore supported by staff. The proximity to a watercourse (Hobson Creek) is expected to trigger RAPR reporting at the Building Permit Stage. Any new development will require a building permit and will be subject to applicable Development Cost Charges, as well as meeting Zoning Bylaw and BC Building Code requirements. Finally, it should be noted that the rationale for rezoning the property to R-9 back in 2016 was to establish a minimum parcel size of 1 acre for the southern portion. In effect, that would preclude future subdivision. Rezoning the entirety of the subject parcel to R-8 could lead to future subdivision potential.



Prepared by: Evan Chorlton
Planner I

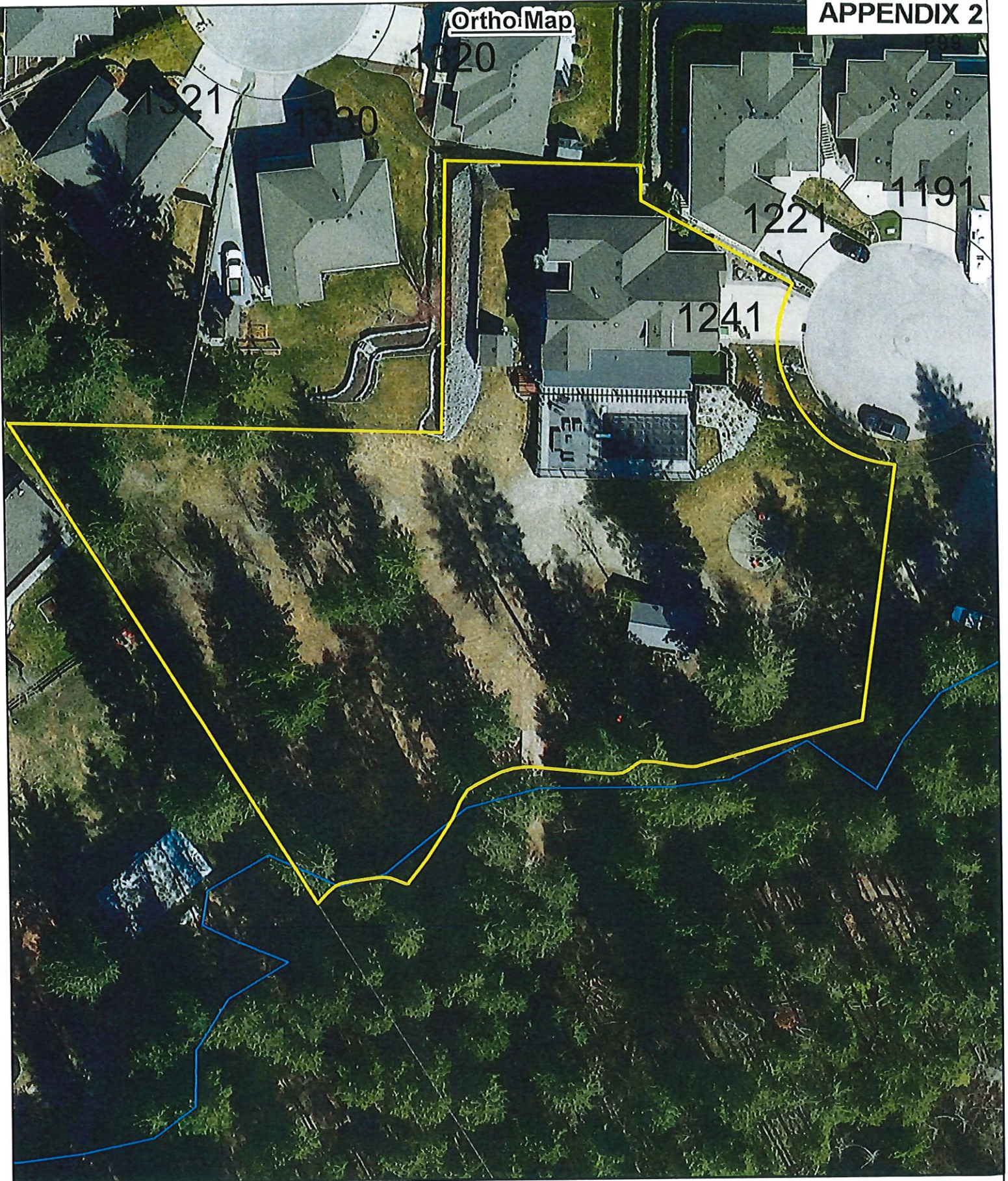


Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

APPENDIX 1

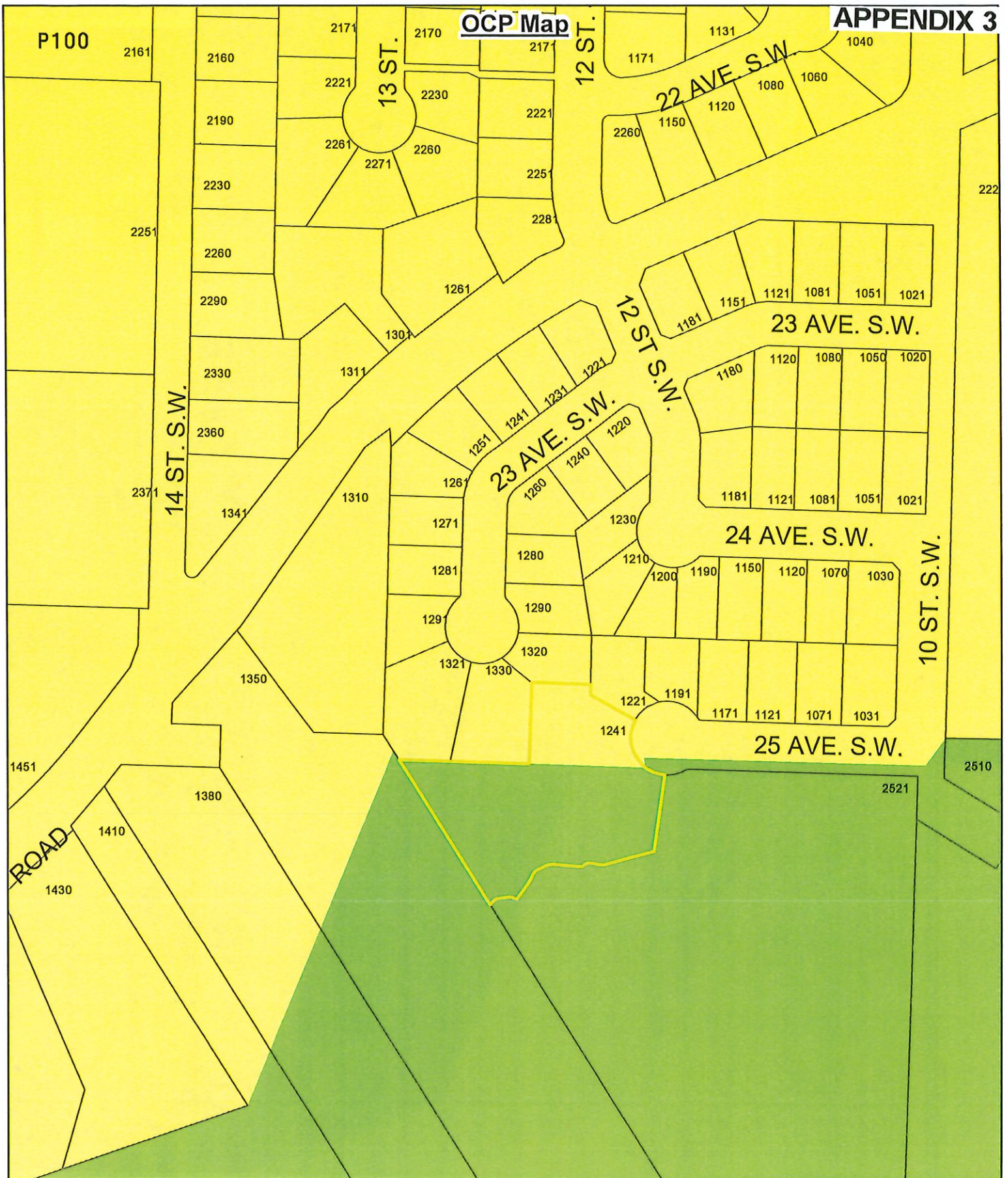


OrthoMap







0 3 6 12 18 24 Meters

- Streams
- Subject Property
- Parcels

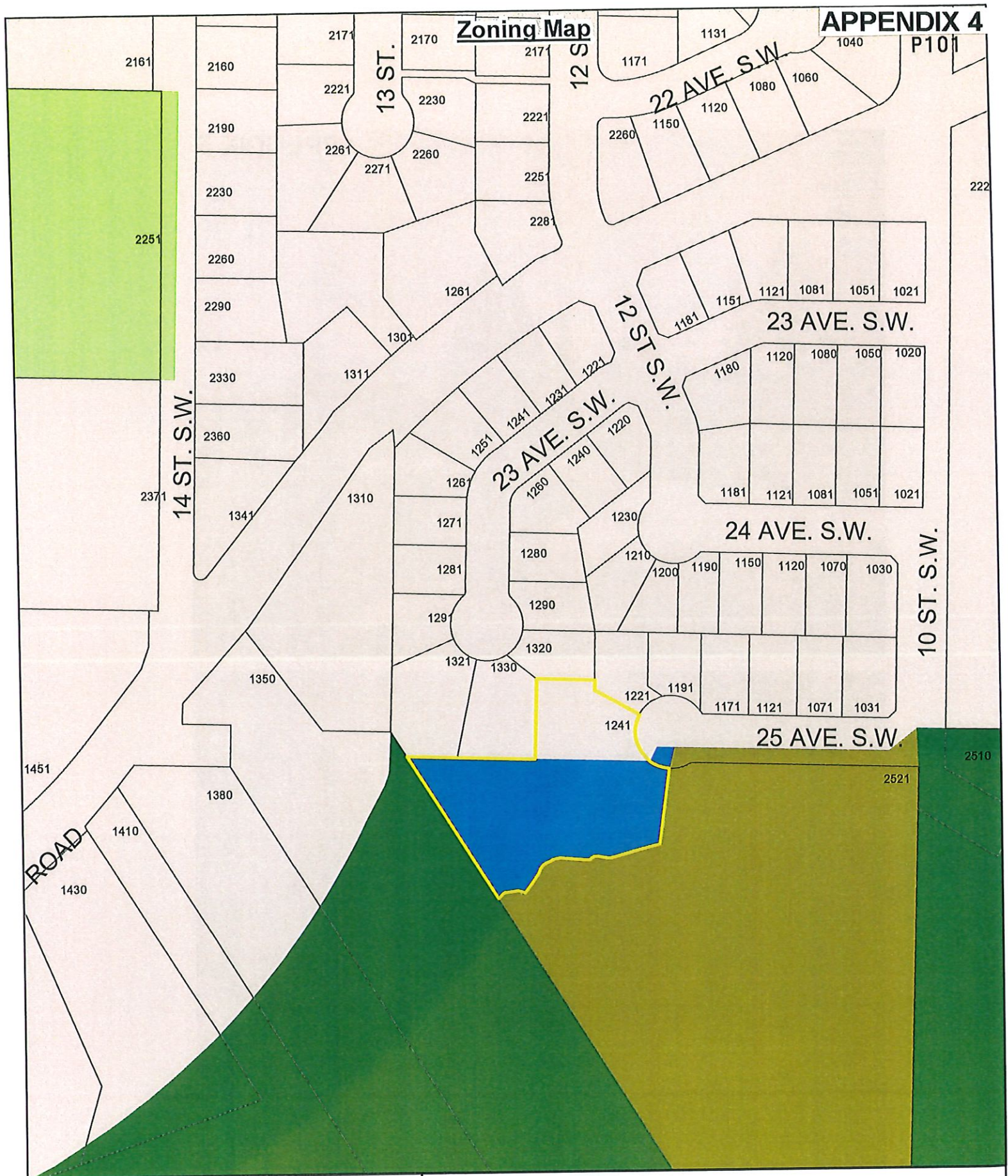


A horizontal scale bar with markings at 0, 10, 20, 40, 60, and 80. The word "Meters" is written at the right end of the bar.

 Subject Property
 Parcels
 Acreage Reserve
 Residential - Low Density

Zoning Map

APPENDIX 4



Subject Property

Parcels

A-1

A-2

A-3

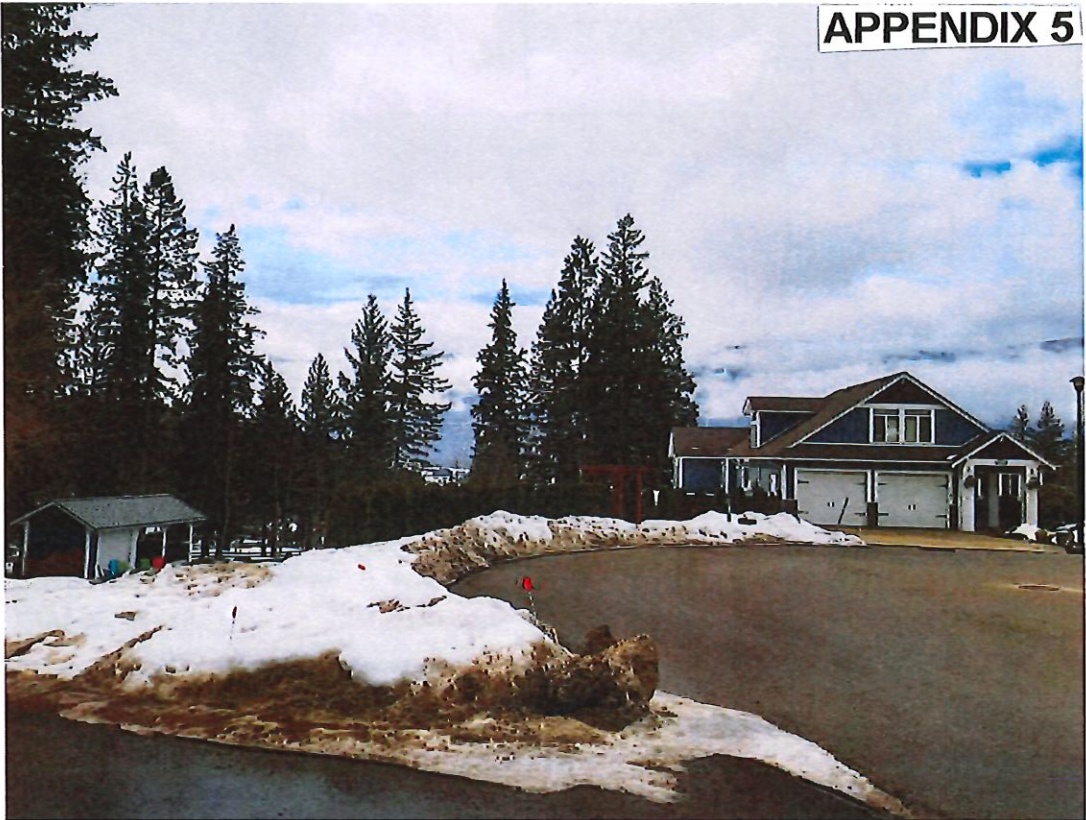
R-1

R-9



0 10 20 40 60 80 Meters

APPENDIX 5



- Legend
- Contours and Water Cou...
 - Legal
 - Official Community Plan
 - Other Planning
 - Public
 - Sanitary System
 - Storm System
 - Water System
 - Orthos



Proposed
carriage house

CITY OF SALMON ARM

BYLAW NO. 4506

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on April 11, 2022 at the hour of 7:00 p.m. was published in the _____, 2022 and _____, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 1, Section 10, Township 20, Range 10, W6M, KDYD, Plan EPP88045 from R-1 (Single Family Residential Zone) and R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4506"

READ A FIRST TIME THIS DAY OF 2022

READ A SECOND TIME THIS DAY OF 2022

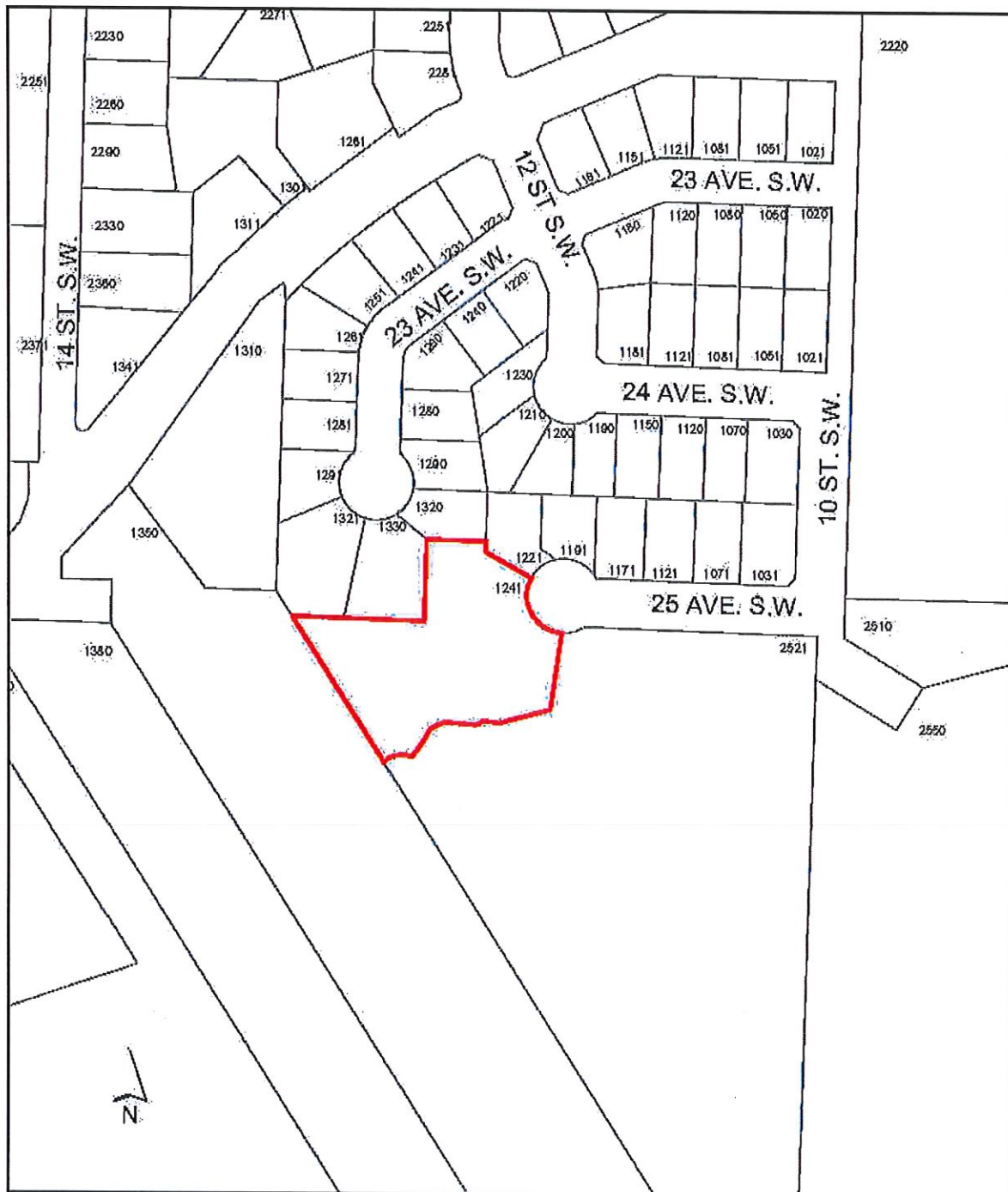
READ A THIRD TIME THIS DAY OF 2022

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER

Schedule "A"



Item 10.4

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4522 be read a first, second and third time.

[Parking Rates]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

To: Mayor Harrison and Members of Council
Date: March 18, 2022
From: Chelsea Van de Cappelle, Chief Financial Officer
Subject: Fee for Service Amendment – Parking Rates

Recommendation

That: Bylaw No. 4522 cited as "City of Salmon Arm Fee for Service Amendment Bylaw No. 4522" be given 3 readings.

Background

At the Regular Meeting of March 14, 2022, Council adopted the City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 to establish new parking rates effective July 1, 2022. A copy of the report has been attached for reference (Appendix A).

Following this, it was determined that for clarity, the reserved and reserved/personalized parking rates for the 4th Street NE Parking Lot should be broken down to reflect the current parking lot layout as follows:

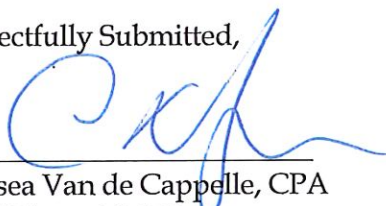
- 4th Street NE Parking Lot;
- 4th Street NE (Upper) Parking Lot; and
- 4th Street NE (Lower) Parking Lot.

In addition, the bylaw should also reflect the 6th Street NE Parking Lot, which currently offers both reserved and reserved/personalized stalls. The parking rates proposed for the 6th Street NE Lot are consistent with the new parking rates previously proposed. The parking rates for the 4th Street NE Lots are unchanged from the previously adopted bylaw.

As previously advised, notice will be provided to all existing reserved parking pass holders.

We respectfully recommend that Schedule B, Appendix 3, Subsection 5 of the Fee for Service Bylaw No. 2498 be amended to reflect the parking fees associated with the above noted lots.

Respectfully Submitted,



Chelsea Van de Cappelle, CPA
Chief Financial Officer



File: 0360.30.02

TO: His Worship Mayor Harrison and Members of Council
FROM: Rob Niewenhuizen, Director of Engineering and Public Works
DATE: February 11, 2022
SUBJECT: **AMENDMENT TO THE FEE FOR SERVICE BYLAW NO. 2498 – DOWNTOWN PARKING RATES**

RECOMMENDATION

THAT: "City of Salmon Arm Fee for Service Amendment Bylaw No. 4503" be read a first, second and third time.

BACKGROUND:

The Downtown Parking Plan was completed by ISL Engineering & Land Services in August of 2021. The Downtown Parking Commission (DPC) in reviewing the Salmon Arm Downtown Parking Plan (Plan) have made a recommendation to City Council to increase the "on-street" and "reserved" off street parking lot rates. These increased rates will allow more resources to further enhance the efficiency of the parking systems including investments in advanced parking meter technology and enforcement.

It has been well over 20 years since any of the parking rates have been modified or increased. The existing on-street parking fee within the City of Salmon Arm (City) downtown area is currently \$0.25 per hour. As per the Plan, this is significantly lower than the average fee for similar municipalities (Appendix A – Excerpt from the Plan).

The Plan does not specifically address reserved off-street parking rates, however staff have conducted an internal survey of reserved rates of the same comparable municipalities surveyed within the Plan and note that the City is again below the average (Appendix B).

Staff are proposing an amendment to establish new parking rates effective, **July 1, 2022:**

	Current	Proposed
On-Street Parking Meter Rate	\$0.25	\$1.00
Reserved Off-Street Parking Stalls	\$25.00 per Month*	\$50.00 per Month*
Reserved, Personalized Off-Street Parking Stalls	\$35.00 per Month*	\$60.00 per Month*

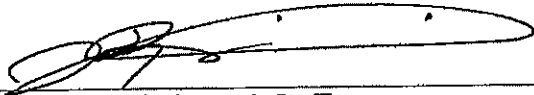
*Plus taxes as applicable

It is also recommended that the City no longer offer a 10% discount for the purchase of a six (6) month reserved parking pass, which is also consistent with comparable municipalities.

Fee For Service Amendment – Downtown Parking Rates

Following the adoption of the recommended parking rates, notice will be provided to all existing reserved parking pass holders, advertised on the City social media platforms, posted at City Hall and on the City website.

We respectfully recommend that Schedule B, Appendix 3, Subsection 5 of the Fee for Service Bylaw No.2498 be amended to reflect the revised downtown parking rates as recommended by the DPC.



Rob Nieuwenhuizen, A.Sc.T.
Director of Engineering and Public Works

cc Chelsea Van De Cappelle, Chief Financial Officer

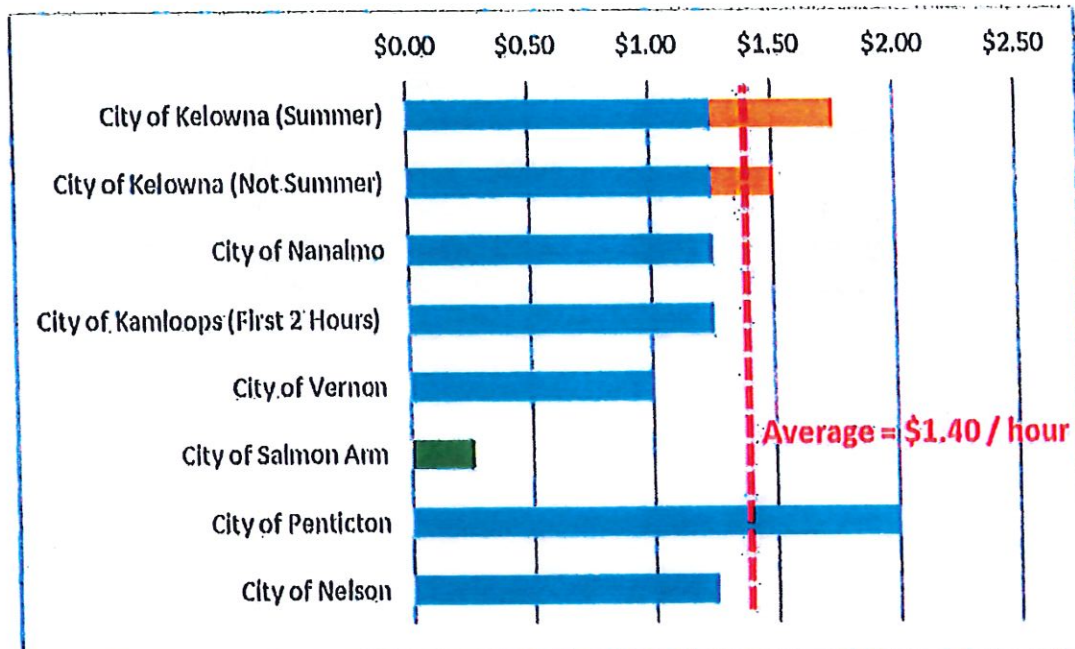


Figure ES.1: Downtown Parking Fee for Comparable BC Municipalities

Based on the review of similar BC municipalities, there is an average on-street parking fee of \$1.40 per hour during the first two hours. The existing parking fee within the City of Salmon Arm downtown area is currently \$0.25 per hour, significantly lower than the average fee for similar municipalities. With the recent public survey results in mind, the implementation of paid on-street parking should be accompanied with an educational initiative, potentially in collaboration with the Downtown Business Association and Downtown Parking Commission, to discuss the benefits of implementing paid parking and how the additional revenue generated will positively impact the surrounding local businesses.

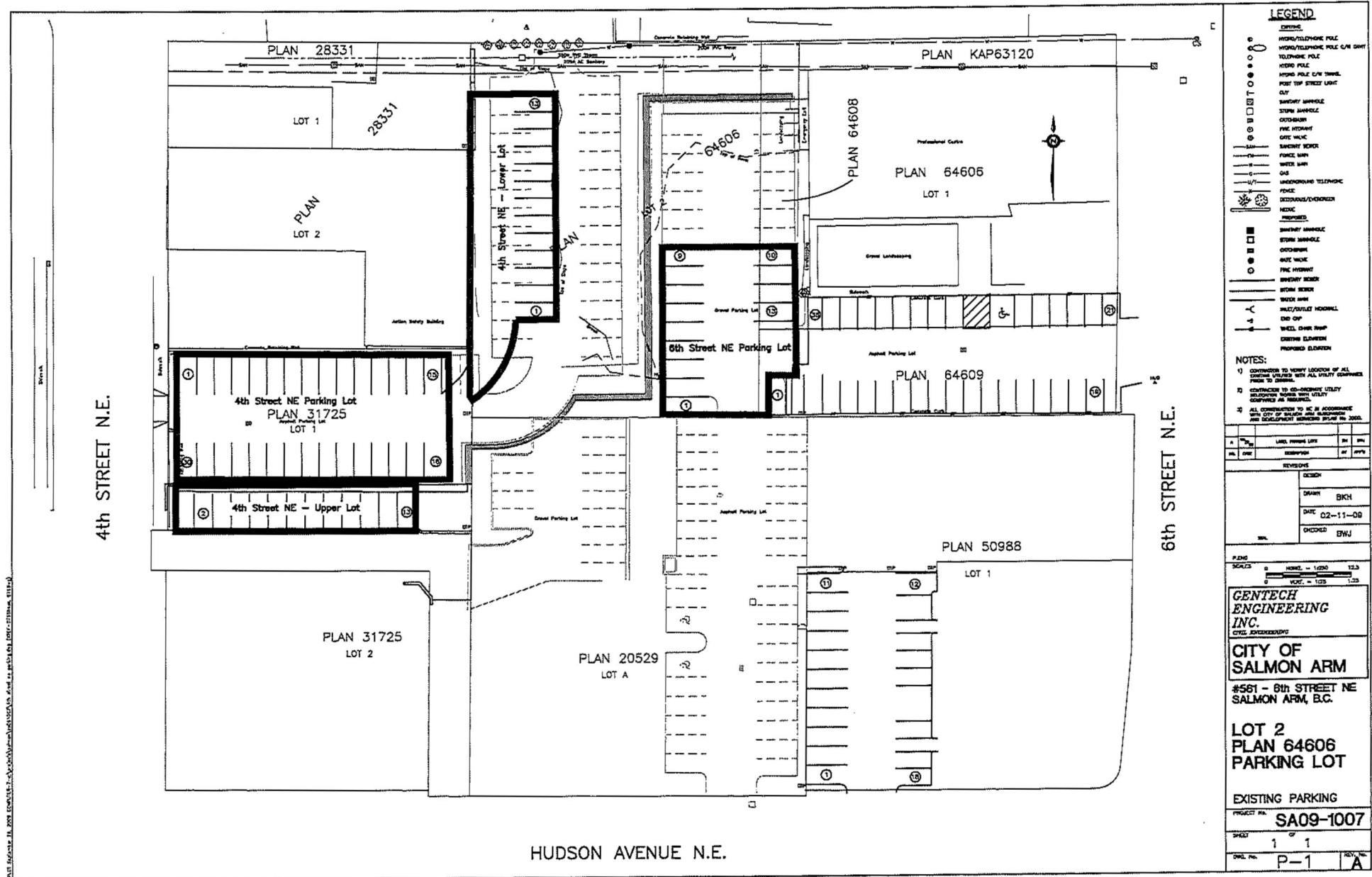
A memo (*Parking Enforcement Technologies*) prepared by the City of Salmon Arm was reviewed in order to identify potential types of methods and technologies that could be implemented including Single Space Metering (Smart Meter) and the multi-space metering (kiosk-based metres). Some basic assumptions were applied when calculating the Cost-Benefit for the two potential parking technologies (i.e., Smart Meter versus Kiosk-based Meter) and the summary can be found in *Table ES.1*.

Overall, it was found that both technologies will have a similar cost per space and the estimated payback period for both technologies will be short; 1 year, 1 months for the Kiosk-based meters and 1 year and 5 month for the smart meter.

Fee For Service Survey
Reserved Off-Street Parking

Appendix B

Comparable Municipality	Reserved Type	Monthly Rate	Average	Average
City of Kelowna	Off Street Res.	\$ 150.00	\$ 115.90	
	Random Permit	81.79		
City of Nanaimo	Off Street Res.	60.00	60.00	
City of Kamloops	Off Street Res.	40.00 - 75.00	55.83	
City of Vernon	Off Street Res.	60.00	60.00	
City of Penticton	Off Street Res.	50.00 - 60.00	55.00	\$ 69.35
City of Nelson	Parkade Only	100.00	100.00	



CITY OF SALMON ARM

BYLAW NO. 4522**A bylaw to amend "District of Salmon Arm Fee for Service Bylaw No. 2498"**

WHEREAS it is deemed desirable and expedient to alter the fees imposed by "District of Salmon Arm Fee for Service Bylaw No. 2498";

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. Schedule "B", Appendix 3 – Miscellaneous Fee Schedule, Subsection 5 of "District of Salmon Arm Fee for Service Bylaw No. 2498" is hereby deleted in its entirety and replaced with Schedule "B" Appendix 3 – Miscellaneous Fee Schedule, Subsection 5 attached hereto and forming part of this bylaw.

5.	Pay Parking Per hour	\$1.00
	Hudson Avenue NW Parking Lot (Salmar Lot) Reserved – per month Reserved – per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	Marine Park NE Parking Lot Daily Regular Truck and Trailer and/or Motorhome	\$4.00 (GST included) \$6.00 (GST included)
	Inner Core NE Parking Lot Reserved - per month Reserved – per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	Avon NE Parking Lot Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	4th Street NE Parking Lot Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	4th Street NE (Upper) Parking Lot Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	4th Street NE (Lower) Parking Lot Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	6th Street NE Parking Lot Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	Firehall No. 3 Parking Lot Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force on July 1, 2022.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Fee for Service Amendment Bylaw No. 4522".

READ A FIRST TIME THIS	DAY OF	2022
------------------------	--------	------

READ A SECOND TIME THIS	DAY OF	2022
-------------------------	--------	------

READ A THIRD TIME THIS	DAY OF	2022
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ADOPTED BY COUNCIL THIS	DAY OF	2022
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MAYOR

CORPORATE OFFICER

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Item 11.1

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4493 be read a final time.

[ZON-1229; Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

CITY OF SALMON ARM

To: His Worship Mayor Harrison and Members of Council

Date: February 22, 2022

Subject: Zoning Bylaw Amendment Application No. 1229

Legal: Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726, Except Plan KAP57693

Civic: 2790 20 Avenue NE

Owner: Angove, K.

Applicant/Agent: Franklin Engineering Ltd.

STAFF RECOMMENDATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726, Except Plan KAP57693 from R1 (Single-Family Residential Zone) to R4 (Medium Density Residential Zone);

AND THAT: Final Reading of the Zoning Amendment Bylaw be withheld subject to Ministry of Transportation and Infrastructure approval.

BACKGROUND

The subject parcel is located at 2790 20 Avenue NE, just north/east of Salmon Arm Secondary School (Sullivan Campus) and west of the Deo Lutheran Church (Appendix 1 and 2). The subject parcel is designated Medium Density Residential in the City's Official Community Plan (OCP) and zoned R1 (Single-Family Residential) in the Zoning Bylaw (Appendix 3 and 4). This area is generally residential and institutional, with a mix of zones, predominantly Single Family Residential (R1) and Institutional (P3), with some additional residential and agricultural zoned parcels also in the vicinity.

The subject parcel is approximately 5.16 acres in area/size, has a somewhat irregular shape, and currently contains one single family dwelling and one accessory building/structure (i.e. a garage with a carport). Site photos are attached, as Appendix 5.

Land uses adjacent to the subject parcel include the following:

North:	Single family residential uses	Zoned R1
South:	Institutional use	Zoned P3
East:	Single family residential and Institutional uses	Zoned R1 and P3
West:	Institutional and Single family residential uses	Zoned P3 and R1

The proposal is to rezone the subject parcel to R4 (Medium Density Residential) to facilitate future medium density residential development. Because it is not required at this rezoning stage, a site concept has not yet been provided, and staff note that further details, including professional designs and subsequent analysis, will eventually be required to demonstrate feasibility and compliance with the applicable regulations.

OCP POLICY

The subject parcel is designated Medium Density Residential in the OCP, which supports R4 zoning and is within Residential Development Area A, the highest priority area for development. The proposed density aligns well with OCP Policy 4.4.3, which encourages all growth to be sensitively integrated with

neighbouring land uses. Furthermore, the proposed zoning aligns with the Urban Residential Objectives of Section 8.2 and Urban Residential Policies listed in Section 8.3, including but not limited to providing a variety of housing types, providing housing options, and supporting compact communities. In terms of siting, the proposal appears to match with OCP Siting Policies under Section 8.3.19, including good access to transportation routes, recreation, community services, and utility servicing.

COMMENTS

Fire Department

No concerns.

FortisBC

No issue with zoning amendment.

Building Department

No concerns. Future construction must meet all applicable BCBC code requirements.

Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

Engineering Department

Comments attached (Appendix 7).

Planning Department

The surrounding neighbourhood is characterized by predominately older housing. The subject parcel is located in an area well-suited for higher density residential development, being within reasonable walking distance to many commercial highway businesses (such as Askew's Foods and Salmon Arm Savings and Credit Union), schools including Salmon Arm Secondary and Bastion Elementary, facilities including the SASCU Recreation Centre, and transportation/transit routes.

The maximum residential density permitted under R4 (Medium Density) zoning is 16.2 dwelling units per acre of land. As the existing lot is approximately 5.16 acres in area, the maximum permitted density under R4 would be roughly 83.6 (83) dwelling units assuming: 1) some form of strata development; 2) the present gross area of the subject parcel, and; 3) no density bonus. It is yet unknown if the eventual housing developments will consist entirely of rental units or not. However, if this is the case, the owner/applicant would then be eligible/qualify for the added density bonus of 2.0 units per acre for the provision of affordable rental dwelling units, provided the owner/applicant registered a rental Covenant on Title. This could then hypothetically increase the maximum permitted density under R4 to 93 dwelling units. The R4 Zoning regulations are attached, as Appendix 8.

Staff note that if rezoned to R4, a number of residential development scenarios could present themselves, including single-family, duplex, triplex, and multi-family residential development scenarios, potentially involving subdivision or stratification. A multi-family development would require a Development Permit application, and such an application would be expected to address the form and character of the multi-family building designs and detail the proposed development concept, including a site plan, landscape plan, and building elevations. Frontage and servicing improvements as per the Subdivision and Servicing Bylaw will also be required at time of development/Building Permit stage.

CONCLUSION

The proposed R4 zoning of the subject property is supported by OCP policy and is therefore supported by staff.

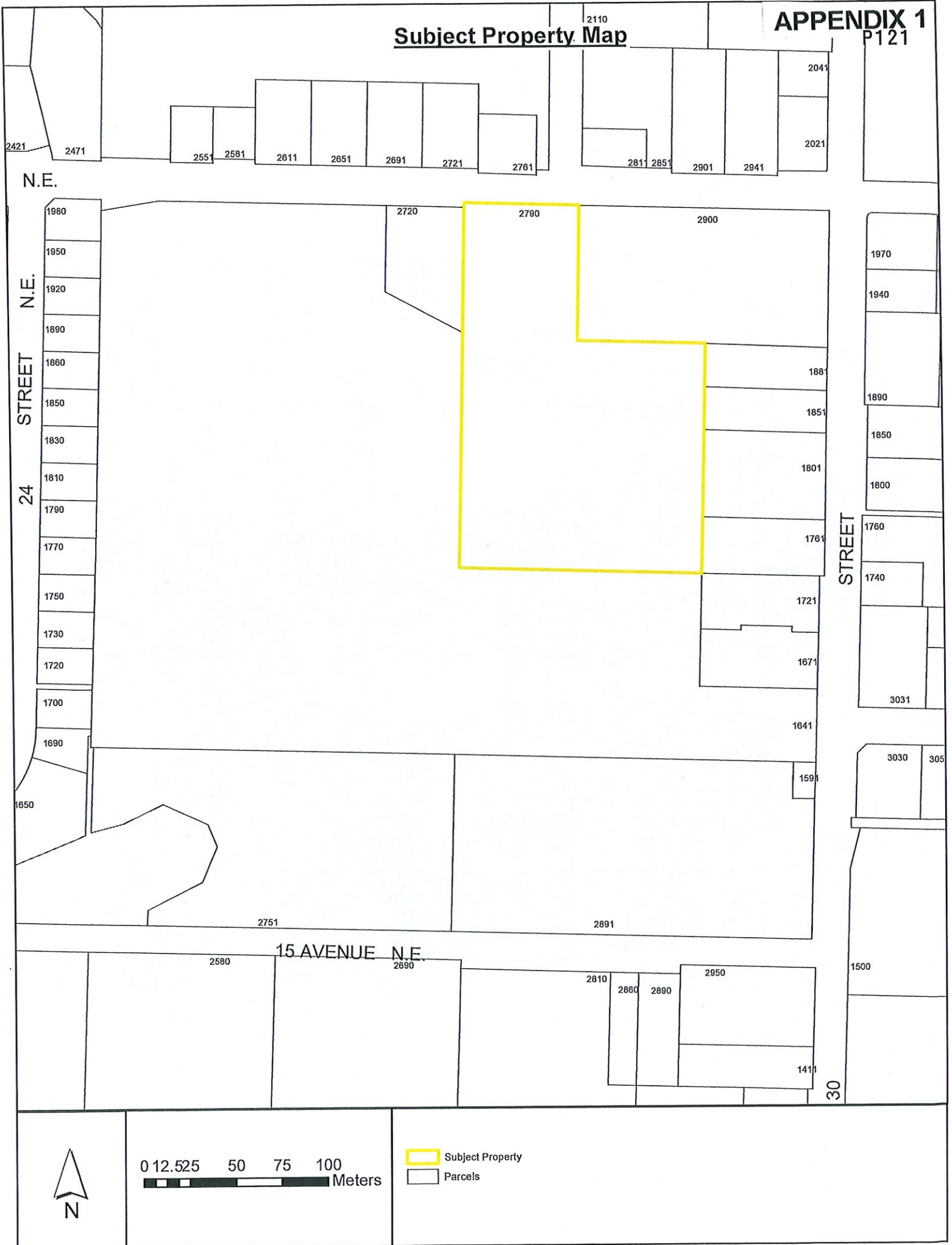


Prepared by: Evan Chorlton
Planner I

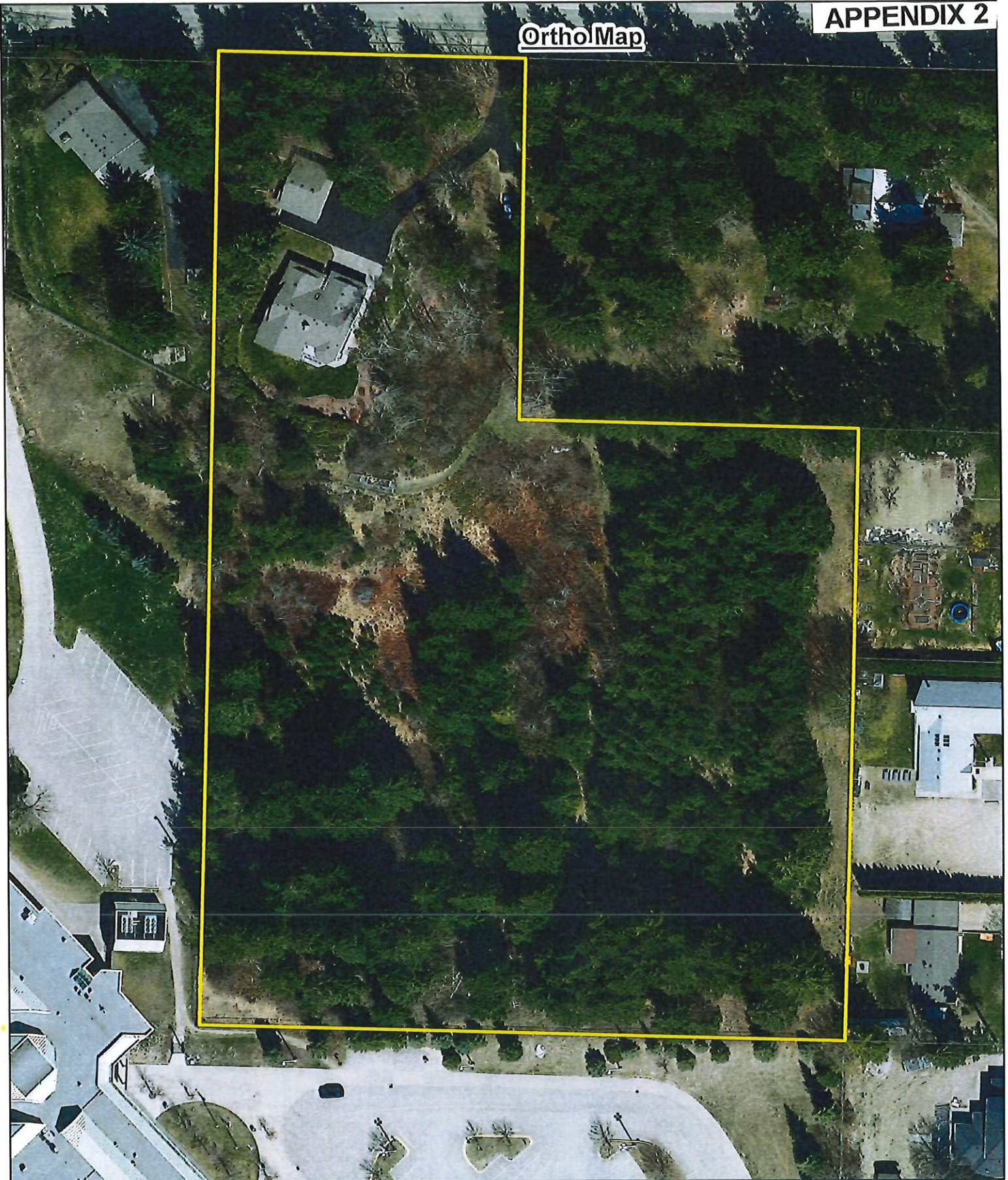
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1
P121



OrthoMap



0 5 10 20 30 40 Meters

Subject Property
 Parcels

OrthoMap

2720

2720

2720



0 5 10 20 30 40 Meters

-  20 - 30% Slope
-  30% + Slope
-  Parcels

P124

OCP Map

APPENDIX 3



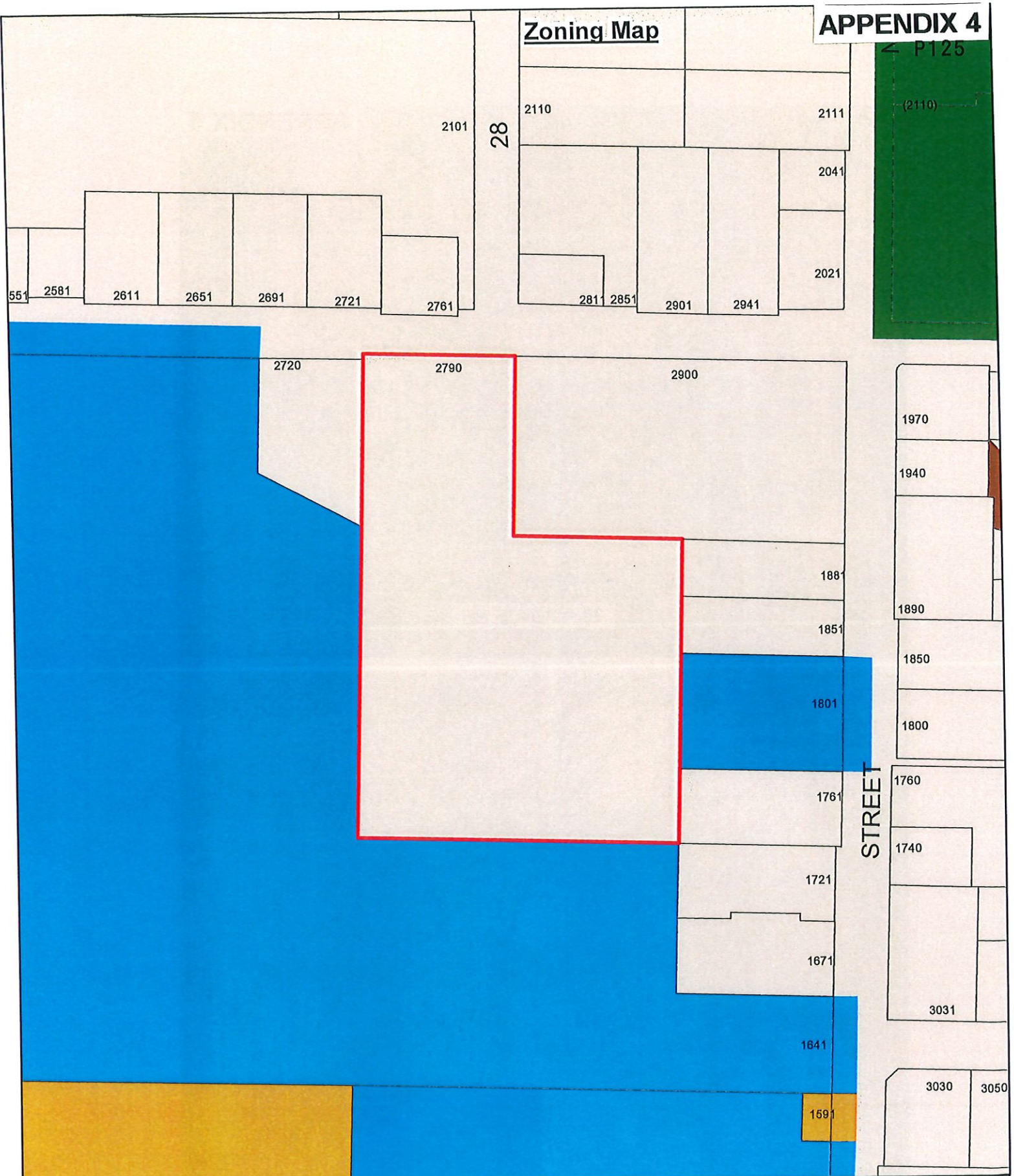
0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- Neighbourhood Park
- Acreage Reserve
- Park
- Institutional
- Residential - Low Density
- Residential - Medium Density

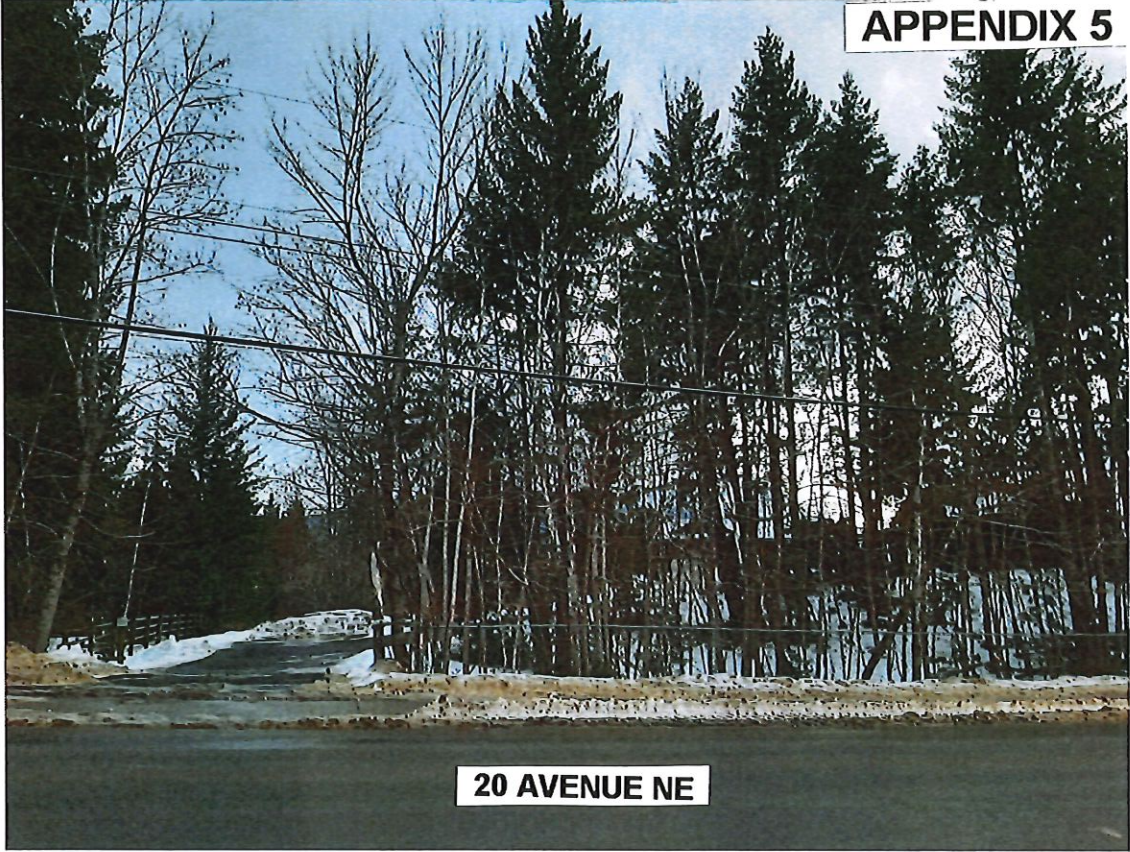
Zoning Map

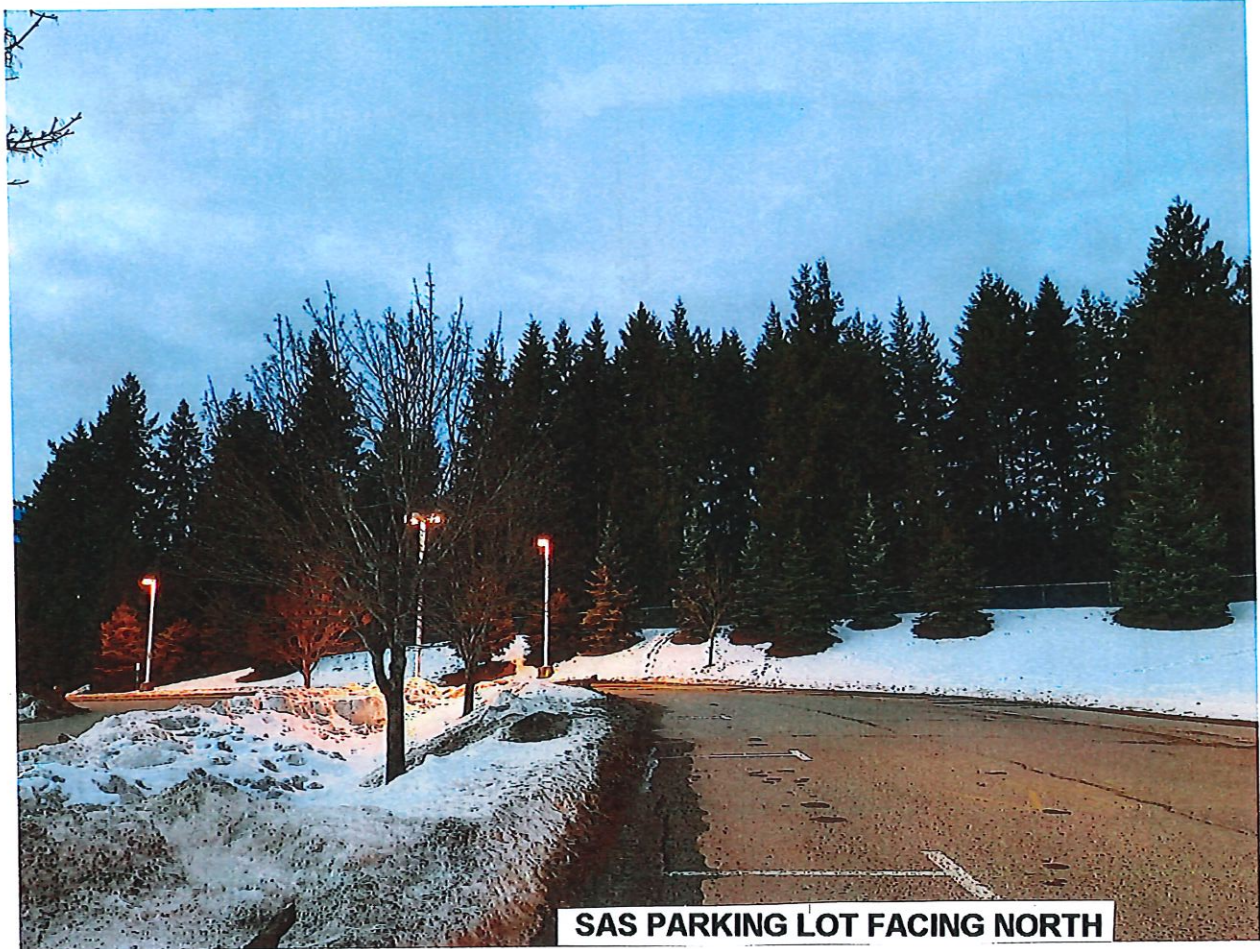
APPENDIX 4

< P125

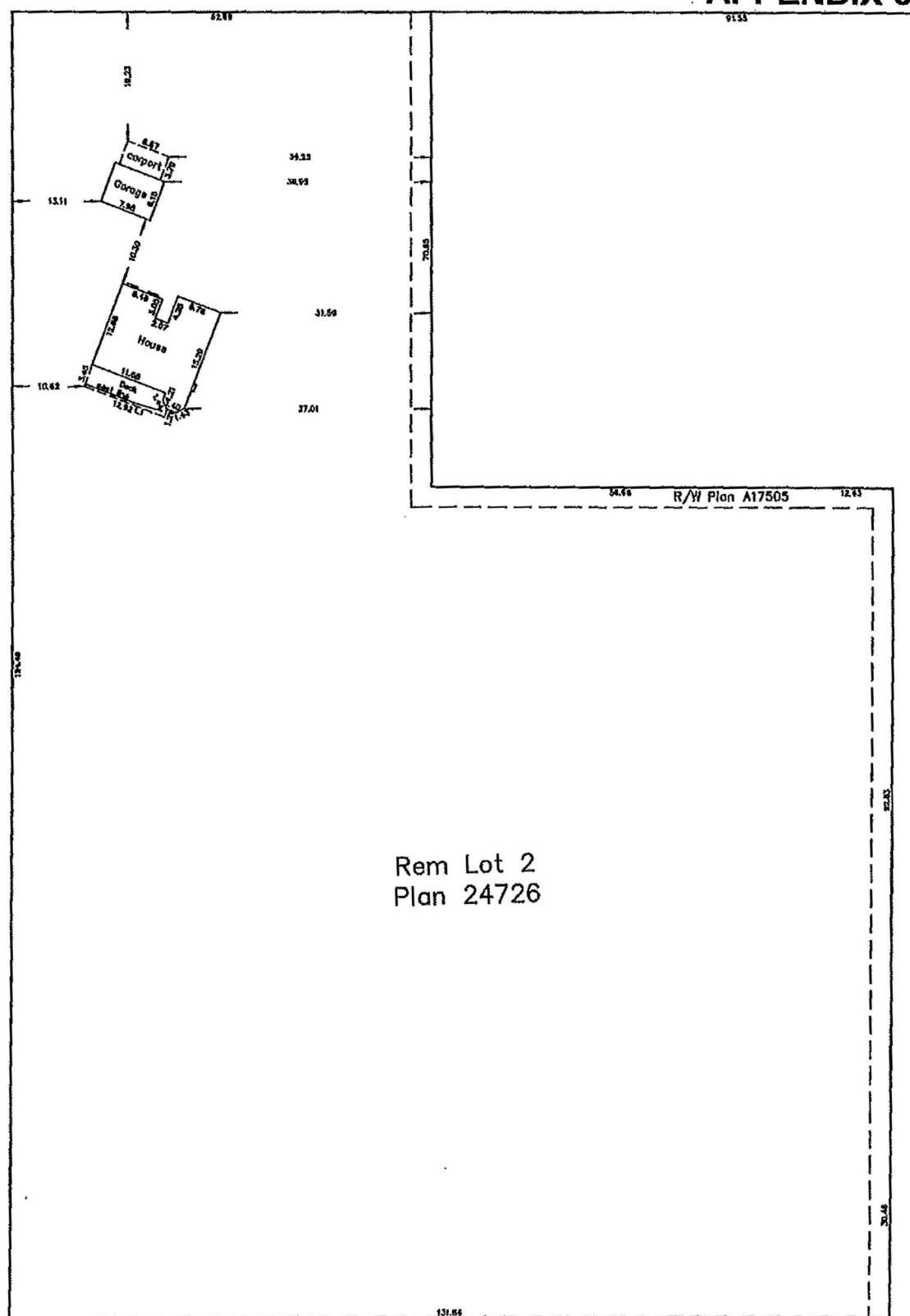


- Subject Property
- Parcels
- A-2
- R-4
- P-3
- R-8
- R-1



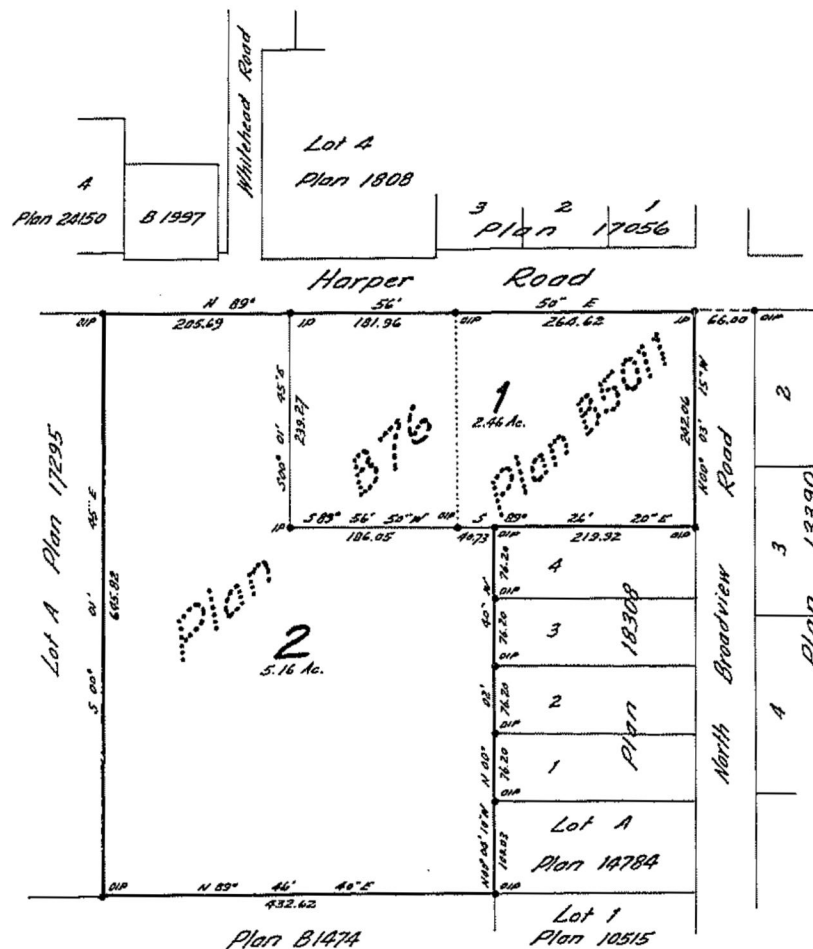


APPENDIX 6



P. 23

Plan of Subdivision of that Part of the
South East ¼ of Section 24 as shown on
Plan B76 (Except Plans B5011, 14784 & 18308.)
and Plan B5011 Being Part of that Part of
the South East ¼ of Section 24 as shown on
Plan B76. Township 20, Range 10, W6M. K.D.Y.D.
Scale: 1 inch = 100 feet.



No. 24726

DEPOSITED IN THE LAND REGISTRY OFFICE AT Nanaimo, B.C. THIS 11TH DAY OF JANUARY, 1974

[Signature]
REGISTRAR

THIS SPACE FOR LAND REGISTRY OFFICE USE ONLY

LEGEND

BEARINGS ARE ASTROMOMIC AND ARE DERIVED FROM Plan 17295.

* O.I.P. DENOTES OLD IRON POST FOUND

* I.P. DENOTES IRON POST SET

APPROVAL

APPROVED UNDER THE LAND REGISTRY ACT THIS 11TH DAY OF NOVEMBER 1973.

[Signature]
APPROVING OFFICER FOR THE
District of Salmon Arm.

THIS PLAN LIES WITHIN Columbia-Shuswap REGIONAL DISTRICT

WITNESS

OWNER

[Signature]
DAVID LEWIS MELAND

[Signature]
HEARNS BEANIE HOLLOWAY

SALMON ARM SAVINGS AND CREDIT UNION

TREASURER

[Signature]
SECRET

I, *[Signature]* of the District of
Salmon Arm, BRITISH COLUMBIA LAND SURVEYOR, HAVE SAID AND
SAID THAT I WAS PRESENT AT AND DID PERSONALLY SUPERINTEND THE SURVEY
REPRESENTED BY THIS PLAN, AND THAT THE SURVEY AND PLAN ARE CORRECT. THE
SAID SURVEY WAS COMPLETED ON THE 20TH DAY OF NOVEMBER,
1973.

SWORN BEFORE ME THIS 22ND
DAY OF NOVEMBER, 1973.

[Signature]
A COMMISSIONER FOR TAKING
AFFIDAVITS FOR BRITISH COLUMBIA

M. D. BROWNE
B.C. Land Surveyor,
Salmon Arm, B.C.
#22473 B.C.R. 2.32



*Memorandum from the
Engineering and Public
Works Department*

APPENDIX 7

TO:	Kevin Pearson, Director of Development Services
DATE:	27 January 2022
PREPARED BY:	Mustafa Zakreet, Engineering Assistant
APPLICANT:	K.Angove/ Franklin Engineering Ltd
SUBJECT:	SUBDIVISION APPLICATION NO. 22-03
LEGAL:	Lot 2, Section 24 Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP 57693
CIVIC:	2790-20 Ave NE

Further to your referral dated January 27, 2022, we provide the following servicing information. The following comments and servicing requirements are not conditions for Rezoning but are required as a condition of subdivision or development:

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of subdivision the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

SUBDIVISION APPLICATION FILE: 22-03

27 January 2022

Page 2

-
9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.
 10. For the off-site improvements at the time of subdivision, the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of subdivision approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 20 Ave NE, on the subject property's Northern boundary, is designated as Collector Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS)
2. 20 Ave NE is currently constructed to an Interim Collector Road standard. Upgrading to an Urban Collector Road standard is required, in accordance with Specification Drawing No. RD-3. Upgrading may include, but is not limited to, road widening and construction, curb & gutter, sidewalk, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Three-phase electric power is permitted to remain as overhead. Poles may require relocation to allow for any required infrastructure. Owner / Developer is responsible for all associated costs.
3. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
4. A 5.0m by 5.0m corner cut is required to be dedicated at the intersection of any proposed City owned road and 20 Ave NE
5. As 20 Ave NE is designated as a Collector Road, accesses shall be designed by keeping to a minimum number. Only one (1) driveway access will be permitted onto 20 Ave NE and a reciprocal access agreement will be required to service lots. All unused driveways shall be removed. Owner / Developer responsible for all associated costs.
6. The maximum allowable cul-de-sac or T-Turn around length in the urban areas is 160 meters. This measurement shall be measured along centerline from the centre of the first intersection having access from two alternate routes to the center of the cul-de-sac or T-Turn around. Where the maximum cul-de-sac or T-Turn around length is exceeded a secondary emergency access shall be provided. Emergency accesses are to be constructed in conformance with Policy 3.11 (Emergency Accesses).
7. Permanent dead-end roads shall be terminated in a cul-de-sac in accordance with Specification Drawing No. RD-11. Temporary dead-end roads internal to the subdivision may be terminated with a paved temporary T-turn around in accordance with Specification Drawing

SUBDIVISION APPLICATION FILE: 22-03

27 January 2022

Page 3

No. RD-13. Temporary dead-end roads at the limits of the subject property shall be terminated with temporary cul-de-sacs in accordance with Specification Drawing No. RD-11a (attached).

8. A retaining wall currently existing along the edge of sidewalk. Grading of any future subdivision/development should make every effort to eliminate the retaining wall. It is also noted that the retaining wall is not located on property line and may require relocating to allow room for required infrastructure within the boulevard.

Water:

1. The subject property fronts a 200 mm diameter Zone 2 watermain on 20 Ave NE and a 300 mm diameter Zone 2 water main along the eastern property boundary. No upgrades will be required at this time; however, the right of way on the eastern boundary shall be widened to 6.0 m width.
2. The existing lot is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10) adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a service of unknown size from the 200mm diameter watermain on 20 Ave NE. Due to the size and / or age of the existing service, upgrading to a new metered service (minimum 25mm) will be required. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. The proposed parcels are to be serviced each by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use (minimum 25mm). Water meter will be supplied by the City at the time of building permit, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.
7. Fire hydrant installation will be required. Owners consulting Engineer shall review the site to ensure placement of fire hydrants meet the appropriate density spacing requirements.

SUBDIVISION APPLICATION FILE: 22-03

27 January 2022

Page 4

Sanitary:

1. The subject property fronts a 200 mm diameter sanitary sewer on 20 Ave NE. No upgrades will be required at this time.
2. The remainder and proposed parcel(s) are each to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
3. A right of way exists over the school district property to the west which will enable a future gravity connection to the city sanitary sewer from any proposed development.
4. Sanitary main is to be extended to front the properties on the eastern side of the proposed development up to (1801 south corner), this would follow the existing watermain right-of-way. The bylaw requires the water main right-of-way to be widened to 7m.
5. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016).
6. Records indicate that the existing property is serviced by an unknown size service from the sanitary sewer on 20 Ave NE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Drainage:

1. The subject property fronts a 675 mm diameter storm sewer on 20 Ave NE. No upgrades will be required at this time.
2. Records indicate that the existing property is currently not serviced from the city storm sewer.
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

SUBDIVISION APPLICATION FILE: 22-03

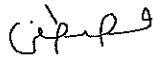
27 January 2022

Page 5

6. A right of way exists over the School District property to the west, in favor of the subject property, which will enable a future gravity connection to the City storm sewer from any proposed development.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), is required.



Mustafa Zakreet
Engineering Assistant



Jenn Wilson P.Eng., LEED ® AP
City Engineer

APPENDIX 8

Purpose

- 9.1 The purpose of the R-4 Zone is to provide for medium *density*, *multiple family* and small lot *single family* residential developments. New *multiple family* developments zoned R-4 shall be required to obtain a *Development Permit* as per the requirements of the *Official Community Plan*, and shall comply with the provisions of the *Fire Services Act*, *British Columbia Building Code*, and other applicable legislation. #289, #3740

Regulations

- 9.2 On a *parcel* zoned R-4, no *building* or *structure* shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations set out in the R-4 Zone or those regulations contained elsewhere in this Bylaw.

Permitted Uses

- 9.3 The following uses and no others are permitted in the R-4 Zone:

- .1 *assisted living housing*; #4336
- .2 *bed and breakfast* in a *single family dwelling*, limited to two let rooms;
- .3 *boarders*, limited to two;
- .4 *boarding home*; #2789
- .5 *commercial daycare facility*;
- .6 *dining area*; #4336
- .7 *duplexes*;
- .8 *family childcare facility*; #3082
- .9 *group childcare*; #3082
- .10 *home occupation*; #2782
- .11 *multiple family dwellings*;
- .12 *public use*;
- .13 *public utility*;
- .14 *single family dwelling*;
- .15 *triplexes*;
- .16 *accessory use*.

Maximum Height of Principal Buildings

- 9.4 The maximum *height* of a *principal buildings* shall be 10.0 metres (32.8 feet). This may be increased to 13.0 metres (42.7 ft.), via the Development Permit process, if any of the special amenity(ies) in Table 2 are provided.

Maximum Height of Accessory Buildings

- 9.5 The maximum *height* of an *accessory building* shall be 6.0 metres (19.7 feet).

Maximum Parcel Coverage

- 9.6 The total maximum *parcel coverage* for *principal* and *accessory buildings* shall be 55% of the *parcel area*, of which 10% shall be the maximum *parcel coverage* for *accessory buildings*. #2811

Minimum Parcel Area

- 9.7
- .1 The minimum *parcel area* for a *single family dwelling* shall be 300.0 square metres (3,229.3 square feet).
 - .2 The minimum *parcel area* for a *duplex* shall be 600.0 square metres (6,458.6 square feet).
 - .3 The minimum *parcel area* for all other uses shall be 900.0 square metres (9,687.8 square feet).

P136 SECTION 9 - R-4 - MEDIUM DENSITY RESIDENTIAL ZONE - CONTINUED

Minimum Parcel Width

9.8

- .1 The minimum *parcel width* shall be 30.0 metres (98.5 feet). #3740
- .2 Notwithstanding Section 9.8.1, the minimum *parcel width* for a *single family* lot shall be 10.0 metres (32.8 feet).
- .3 Notwithstanding Section 9.8.1, the minimum *parcel width* for a stacked *duplex* lot shall be 14.0 metres (45.9 feet).
- .4 Notwithstanding Section 9.8.1, the minimum *parcel width* for a side-by-side *duplex* lot shall be 20.0 metres (65.6 feet)).

Minimum Setback of Principal Buildings

9.9 The minimum *setback* of *principal buildings* from the:

- .1 *Front parcel line*
 - adjacent to a *highway* shall be 5.0 metres (16.4 feet)
 - adjacent to an *access route* shall be 2.0 metres (6.6 feet)
- .2 *Rear parcel line*
 - adjacent to a *parcel zoned*
R-4 shall be 3.0 metres (9.8 feet)
 - all other cases shall be 5.0 metres (16.4 feet)
- .3 *Interior side parcel line*
 - adjacent to a *parcel zoned*
R-4 shall be 1.2 metres (3.9 feet) #3475
 - all other cases shall be 1.8 metres (5.9 feet)
- .4 *Exterior side parcel line*
 - adjacent to a *highway* shall be 5.0 metres (16.4 feet)
 - adjacent to an *access route* shall be 2.0 metres (6.6 feet)
- .5 Minimum separation between residential *buildings* on the same lot of not more than one storey in height shall be 1.5 metres (4.9 feet)
- .6 Minimum separation between residential *buildings* on the same lot of more than one storey in height shall be 3.0 metres (9.8 feet)
- .7 Notwithstanding Sections 9.9.2 and 9.9.3, a *principal building* on a corner *parcel* may be sited not less than 1.5 metres (4.9 feet) from the *rear parcel line* provided the combined total of the *rear* and *interior side yards* shall be not less than 6.0 metres (19.7 feet).
- .8 Refer to Section 4.9 for "Special Building Setbacks" which may apply. #2811

Minimum Setback of Accessory Buildings

9.10 The minimum *setback* of accessory *buildings* from the:

- .1 *Front parcel line* shall be 5.0 metres (16.4 feet)
- .2 *Rear parcel line* shall be 1.0 metre (3.3 feet)
- .3 *Interior side parcel line* shall be 0.6 metre (1.9 feet)
- .4 *Exterior side parcel line* shall be 5.0 metres (16.4 feet)

Refer to "Pound and Animal Control Bylaw" for special setbacks which may apply. #2811

Maximum Density

Note: The following *density* provisions are based on the *gross parcel area*. Parking requirements, *setback* requirements, road dedication, etc. have not been taken into consideration.

9.11

- .1 The maximum *density* shall be a total of 40 *dwelling units* or *sleeping units* per hectare (16.2 *dwelling units* or *sleeping units* per acre). #2789
- .2 Notwithstanding Section 9.11.1, the maximum *density* in the R-4 Zone may be increased to a maximum of 50 *dwelling units* per hectare (20.2 units per acre) in accordance with Table 2. In Table 2, Column I sets out the special amenity to be provided and Column II sets out the added *density* assigned for the provision of each amenity.
- .3 Notwithstanding Section 9.11.1, the maximum *density* in the R-4 Zone may be increased to a maximum of 50 *dwelling units* per hectare (20.2 units per acre) for the provision of *Assisted Living Housing*. #4336

TABLE 2

COLUMN I SPECIAL AMENITY TO BE PROVIDED	COLUMN II ADDED DENSITY
1. Provision of each dwelling unit which caters to the disabled (e.g. wheelchair access)	□ 2 units per hectare (0.8 units per acre)
2. Provision of <i>commercial daycare facility</i> 7 - 10 children 11 - 15 children 16 or more children	□ 3 units per hectare (1.2 units per acre) □ 4 units per hectare (1.6 units per acre) □ 7 units per hectare (2.8 units per acre)
3. Provision of below <i>grade</i> or parkade type parking for at least 50% of the required off street parking	□ 10 units per hectare (4.0 units per acre)
4. Provision of each rental <i>dwelling unit</i>	□ 2 units per hectare (0.8 units per acre)
5. Provision of affordable rental <i>dwelling units</i> in accordance with special agreement under Section 904 #3218	□ 5 units per hectare (2.0 units per acre)

Maximum Floor Area Ratio

9.12 The maximum *floor area ratio* of a *single family dwelling* shall be 0.65.

Parking

9.13 Parking shall be required as per Appendix I.

23. STATUTORY PUBLIC HEARINGS

- 1. Zoning Amendment Application No. ZON-1229 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]**

The Director of Development Services explained the proposed Zoning Amendment Application.

F. & M. Sivertz – email dated March 11, 2022 – ZON-1229

N. & S. Sartorius – email dated March 14, 2022 – ZON-1229

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:27 p.m. followed by comments from Council and the next item ensued

CITY OF SALMON ARM

BYLAW NO. 4493

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on March 14, 2022 at the hour of 7:00 p.m. was published in the March 2, 2022 and March 9, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP57693 from R-1 Single Family Residential Zone to R-4 (Medium Density Residential Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **"City of Salmon Arm Zoning Amendment Bylaw No. 4493"**

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS 14 DAY OF March 2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE 18th DAY OF March , 2022

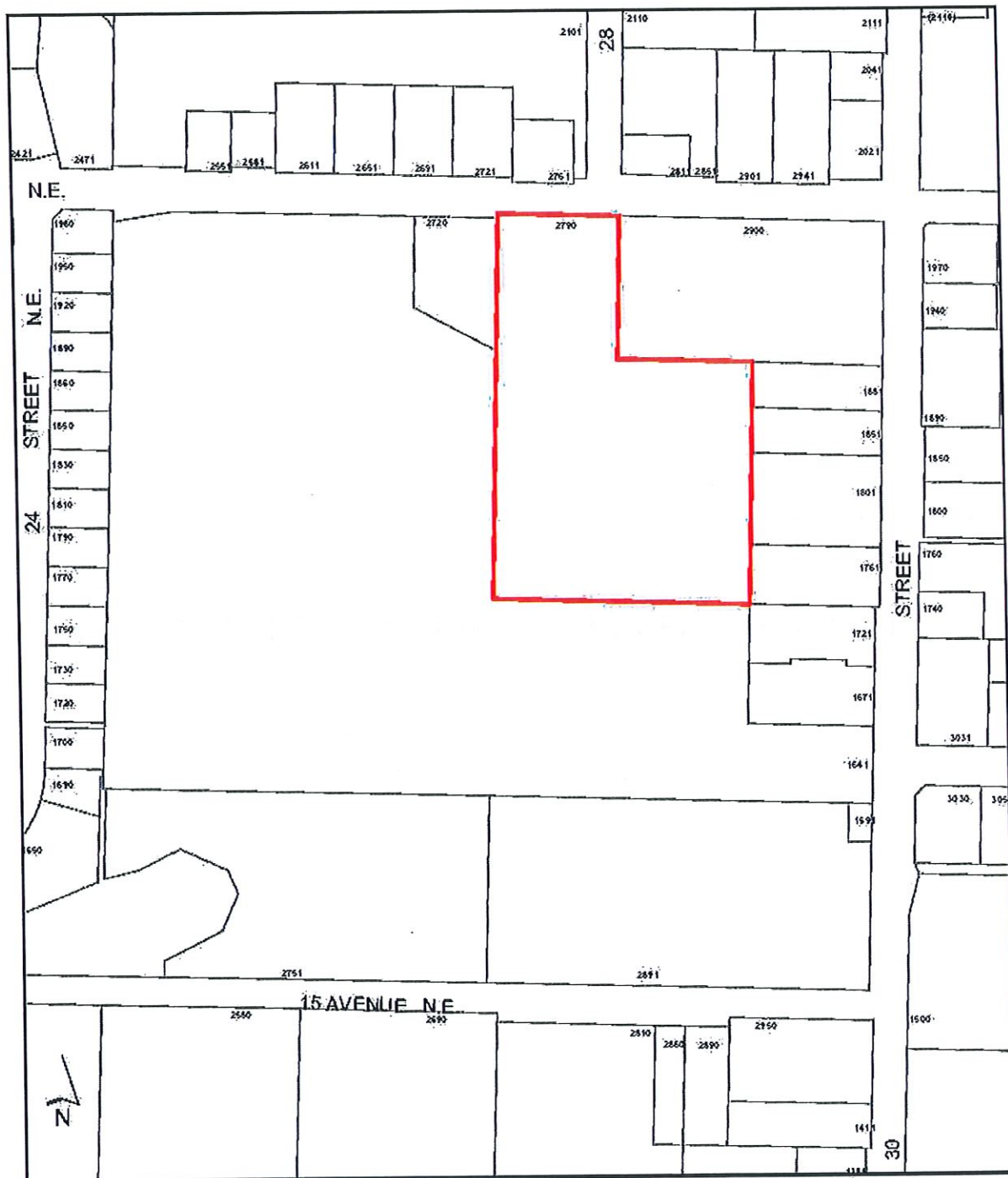
"T. KNIGHT"
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER

Schedule "A"



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Item 11.2

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4494 be read a final time.

[ZON-1230; Whalley, R. & M.; 6840 46 Street NE; R-1 to R-8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: February 10, 2022

Subject: Zoning Bylaw Amendment Application No. 1230

Legal: Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597
Civic Address: 6840 46 Street NE
Owner/Applicant: B. & M. Whalley

STAFF RECOMMENDATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

AND THAT: final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

PROPOSAL

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) in order to permit the development of a secondary suite within the single family dwelling currently under construction.

BACKGROUND

The subject property is located in the new Turtle Ridge subdivision in the Canoe neighbourhood (Appendix 1 & 2). The parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North:	single family dwellings	Zoned R1
South:	vacant lot	Zoned R1
East:	city park (John Lund Park)	Zoned P1
West:	vacant lots	Zoned R1 and R8

The subject property is approximately 0.219 ha in area/size. An approximate 3,106ft² (including the garage) single family dwelling is currently being constructed. The proposed basement suite is 426ft². The plans show that the entrance to the proposed suite will be on the south side of the building. Drawings provided in support of the rezoning application are attached as Appendix 5. Parking is to be provided onsite in both the garage and driveway.

The site contains a Statutory Right of Way along the east side of the property (adjacent to and associated with John Lund Park). The registered owner of the Right of Way is the City of Salmon Arm, and the SRW is in place for the operation and maintenance of the undertakings of the City. The development will not impact this Right of Way area. To date, there is currently one other property in this subdivision also in the process of rezoning from R1 to R8 (6821 46 Street NE) and approximately ten (10) other R8 properties within the greater Canoe community. Site photos are attached, as Appendix 6.

There is also a Riparian Areas Covenant on title stipulating a "Streamside Protection and Enhancement Area" from the pond along the eastern portion of the property.

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

COMMENTS

Fire Department

No concerns.

Shaw Cablesystems

Approve suite proposal. Interests are not affected.

Engineering Department

No concerns.

Building Department

No concerns. Building Permit is required. BCBC 2018 is also applicable.

Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

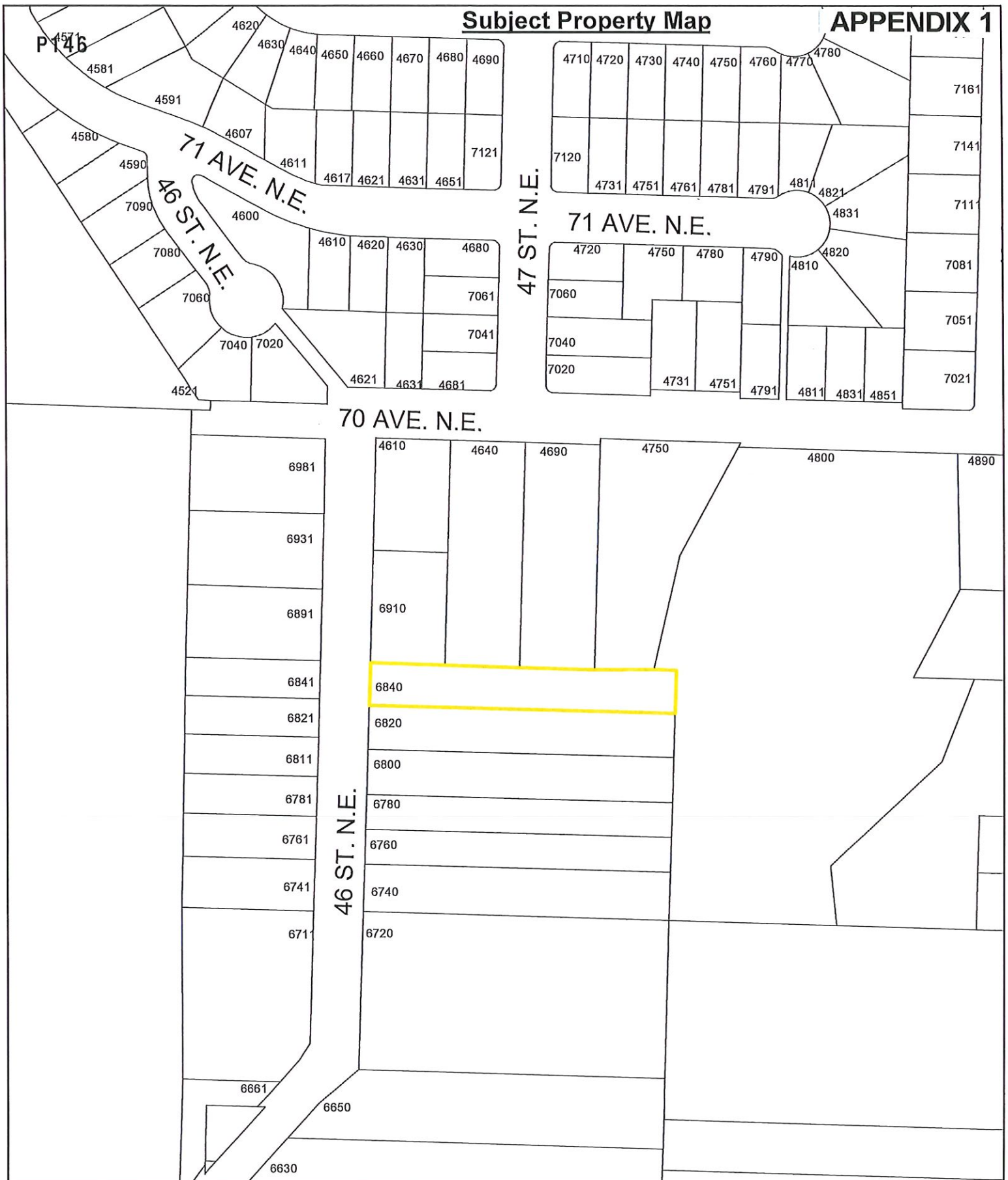
Planning Department

Based on parcel area, the subject property has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by OCP policy, and the proposed layout of the unit is compliant with zoning requirements, including an additional off-street parking space for the suite (on the proposed driveway). Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).


Prepared by: Evan Chorlton
Planner I
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1



0 10 20 40 60 80 Meters

Subject Property
Parcels

OrthoMap

APPENDIX 2

P147

910

6840

6820

6800

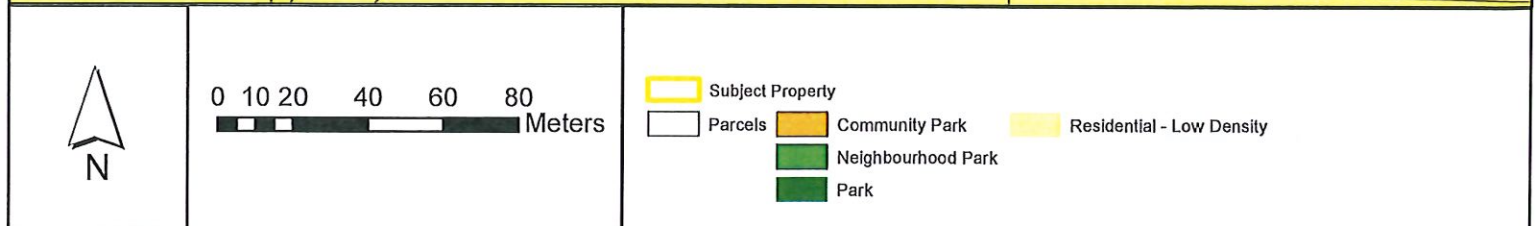
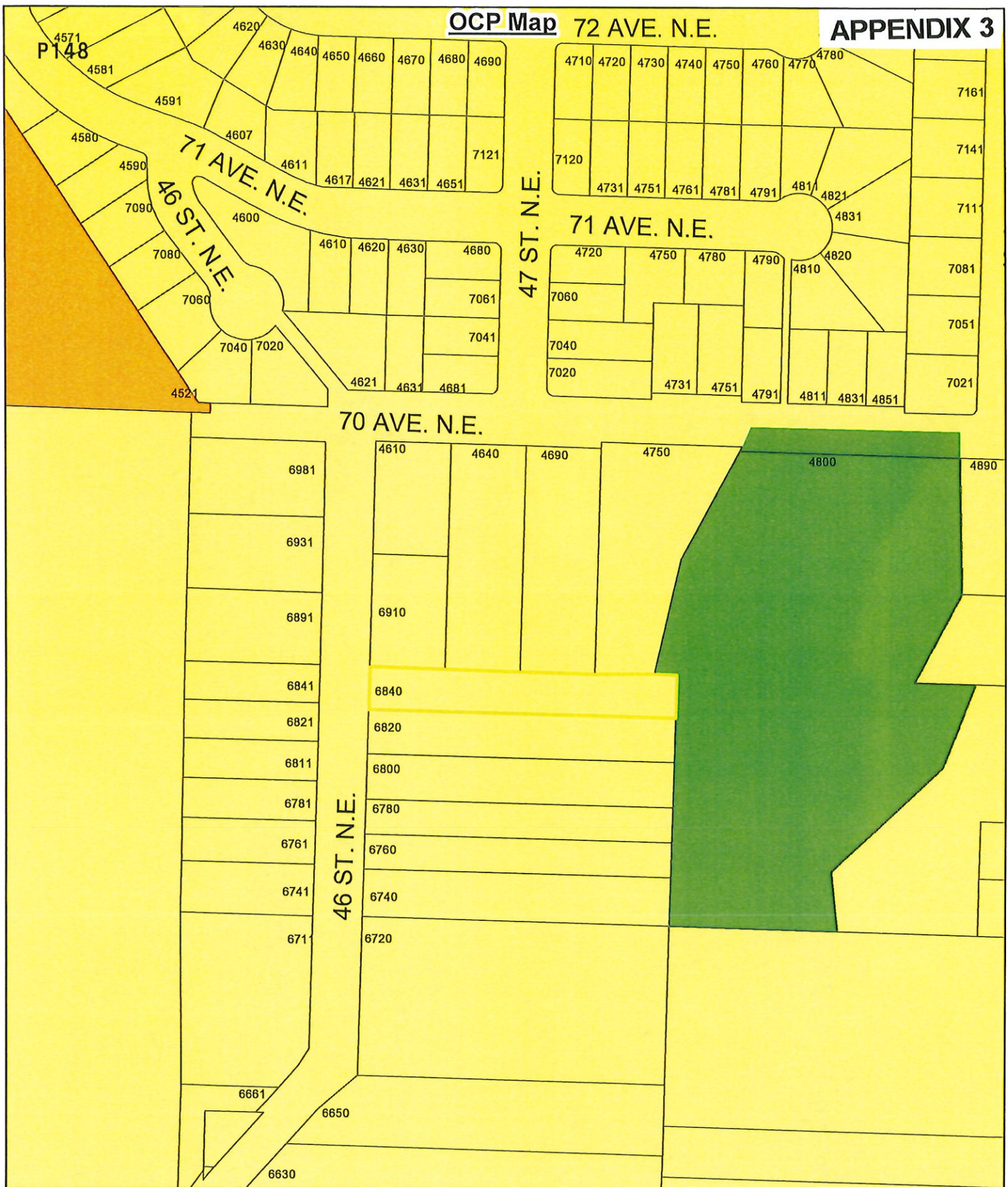
6780

6760



0 3.2 6.5 13 19.5 26 Meters

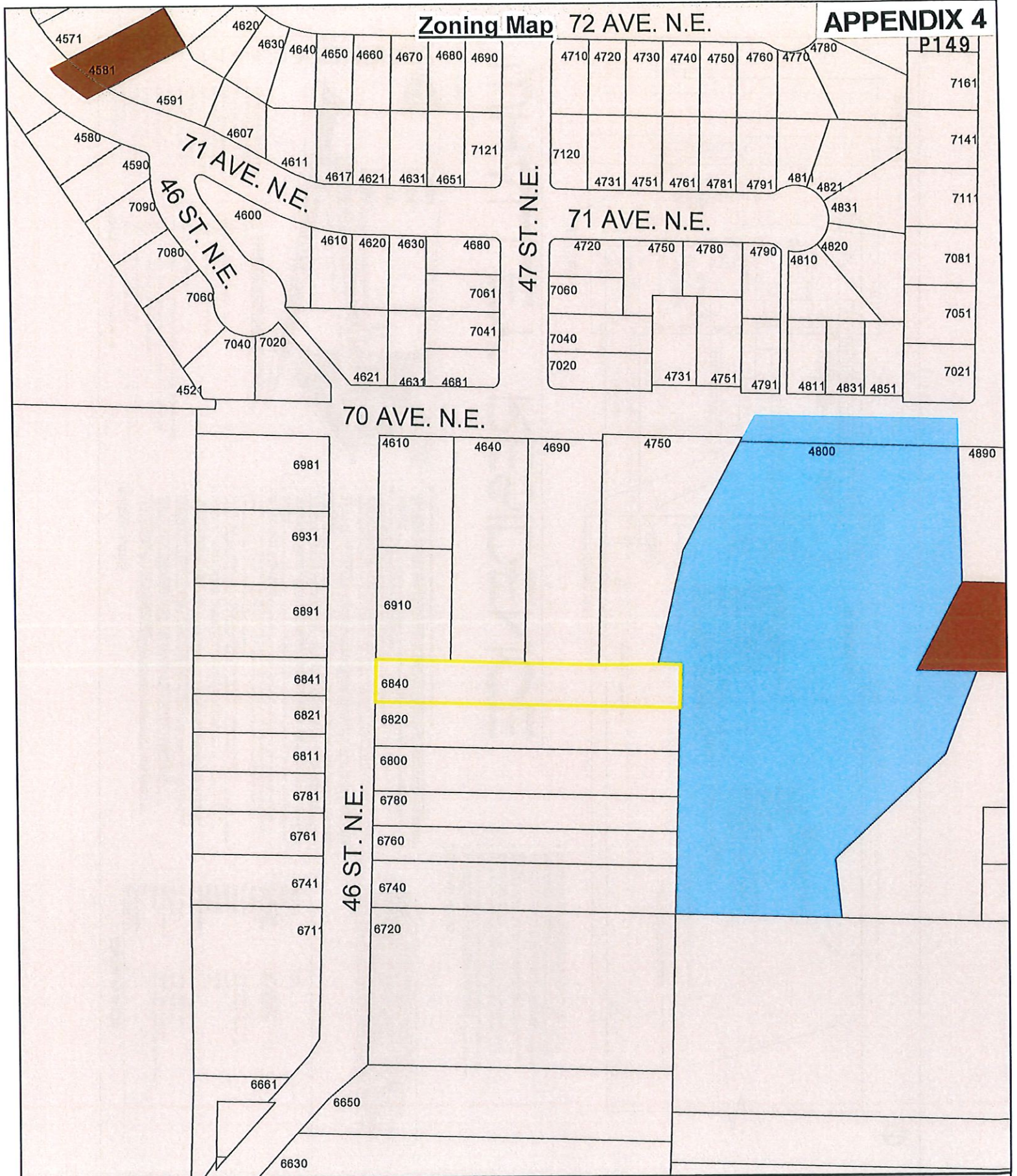
 Subject Property
 Parcels



Zoning Map 72 AVE. N.E.

APPENDIX 4

P149



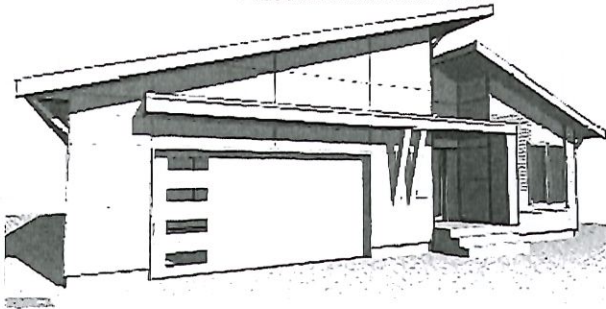
0 10 20 40 60 80 Meters

Subject Property
 Parcels P-1 R-8
 R-1

SHEET	DESCRIPTION	SYMBOL	INDICATED DOOR TYPE
A10	COVER, SITE PLAN & NOTED	XXXX	INDICATED UNUSUAL TYPE
A20	FOUNDATION PLAN	XXXX	WALL-FLOOR, & CEILING ASSEMBLIES
A30	BASEMENT FLOOR PLAN		GLASS TAG, INDICATES CHANGE TO REVISION # NOTED IN TAG
A30	MAIN FLOOR PLAN		DATUM POINT - INDICATES ELEVATION FROM 0'-0" FINISHED FLOOR
A30	FRONT & LEFT ELEVATIONS		SECTION MARKER
A30	REAR & RIGHT ELEVATIONS		EXTERIOR ELEVATION MARKER
A40	BUILDING CROSS SECTIONS 'W' & 'N'		INTERIOR ELEVATION MARKER
A40	BUILDING CROSS SECTIONS 'Y'		
A50	BUILDING CONSTRUCTION DETAIL		
A50	BUILDING CONSTRUCTION DETAIL		
A50	BUILDING ENVELOPE DETAILS		
A50	BUILDING ENVELOPE DETAILS		
A50	BUILDING ENVELOPE DETAILS		

NOTES:

- ALL EXTERIOR DIMENSIONS ARE MEASURED FROM FACE OF WALL
- ALL INTERIOR DIMENSIONS ARE MEASURED FROM INSIDE FACE OF WALL
- ALL OVER HANG DIMENSIONS ARE TO FACE OF PLUMB

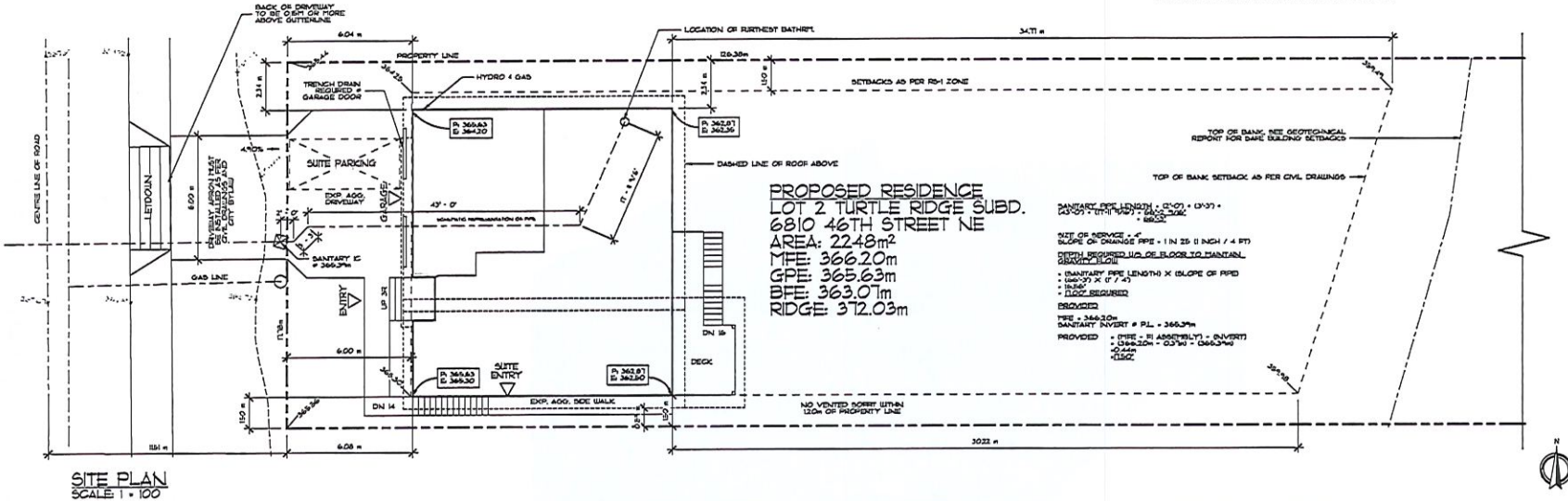
[illegible]

GWC ADDRESS	-
LEGAL ADDRESS	-
PD	-
ZONING	- R01 - SINGLE FAMILY RESIDENTIAL ZONE
LOT SIZE / AREA	= 2248sq (249'12" SGL FT)
LOT WIDTH	= 1710m (56.33 FT)
LOT DEPTH	= 12630m (414.63 FT)

PERMITTED	- 45%
PROPOSED	- 85.5%
<u>QUALITY</u>	- PDR-0.66
PERMITTED	- 146120W (5726 FT DQ, FTJ)
PROPOSED	- 28857W (11066 FT DQ, FTJ)
<u>SETBACKS</u>	
FRONT SETBACK	- 6.0M (19.6 FEET)
REAR SETBACK	- 6.0M (19.6 FEET)
INTERIOR SIDE	- 1.0M (3.3 FEET)
EXTERIOR SIDE	- 6.0M (19.6 FEET)
<u>HEIGHT</u>	
PERMITTED	10.0M
PROPOSED	8.10M

1. ALL OPENINGS AND GRADE LEVELS SHOWN ARE TO BE APPROVED BY LOCAL CITY AND REVIEWED BY BUREAU PRIOR TO CONSTRUCTION.
2. OWNER AND BUILDER TO PROVIDE PRELIMINARY INFORMATION REQUIRED FOR SITE PLAN.
3. ANY REMAINING WALL TO BE BUILT ACCORDING TO CITY CODES.
4. PROPOSED FINISHED GRADE LEVEL TO SLOPE AWAY FROM BUILDING FOR SURFACE WATER RUN OFF.
5. BUILDER IS RESPONSIBLE TO APPROVE ALL ELEVATIONS PRIOR TO CONSTRUCTION SO IT COMPLETS TO REQUIRED SLOPED AREA DRAINAGE FOR DRAINAGE.
6. ALL GRADE AND DIMENSIONS ON SITE PLAN TO BE APPROVED AND CHECKED ON SITE BY BUREAU PRIOR TO CONSTRUCTION.
7. BUILDER TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITH ALL UTILITY COMPANIES PRIOR TO DIGGING.
8. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF SALMON AIR POLLUTION CONTROL AND DEVELOPMENT DEPARTMENT BYLAW NO. 480.

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arcdesigninc@outlook.com

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AND VERIFY ALL DIMENSIONS, LEVELS, & STRUCTURE
ADEQUACIES PRIOR TO CONSTRUCTION.

DESCRIPTION	BY	DATE
ISSUED FOR BP	G.V.	APR-06-2021

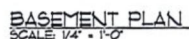
WHALLEY RESIDENCE
SALMON ARM

DRAWING TITLE
COVER, SITE PLAN & 1

DATE: 2023-04-06	
SCALE: As indicated	
DRAWN BY: GV	
CHECKED: GV	
PROJECT NUMBER: P2106	SHEET NO: A1.0

- ALL BALLS AND CEILING MUST HAVE A MINIMUM 5% GALLING OR 40.49 PER SQ. INCH (200 MILLIGONS)
- ALL BALLS MUST BE INTERCONNECTED WITH CARBON MONOXIDE ALARMS IN A MANNER TO BE DETECTED BY THE ALARMS
- PHOTO ELECTRIC SMOKE ALARMS IN HOURS MUST BE INTERCONNECTED WITH PHOTO ELECTRIC SMOKE ALARMS IN THE RESTROOMS
- ALL BALLS BETWEEN SUITE AND HOUSE MUST HAVE 30 PER. FAN DISK SIZE SECTIONS AND PLANS
- ALL CEILING BETWEEN SUITE AND HOUSE MUST HAVE 30 PER. FAN DISK SIZE SECTIONS AND PLANS
- NO REPERATIONS TO BE CONTINUOUS FLOOR TO CEILING
- ALL DOORS INSTALLED IN WALL REQUIRING AN AIR LOCK MUST BE INSTALLED WITH DOUBLE DOORS AND HAVE RATED NEAR CLOSING DEVICE
- REPAIRS MUST BE MAINTAINED BETWEEN SUITE AND HOUSE
- SMOKE ALARM REQUIRED ON EACH LEVEL HOUSE OR HOUSEHOLD UNIT AND MUST BE MAINTAINED BY A QUALIFIED BLDG. MAINT.
- EACH BATH MUST HAVE HOT WATER OR ELECTRIC BASEBOARD HEATING.
- EACH BATHROOM AND KITCHEN TO BE EQUIPPED WITH A SINK AND MUST HAVE VENT TO THE EXTERIOR.
- EACH DRESSING UNIT TO BE PROVIDED WITH A KITCHEN, BATH, AND CLOSET. EACH UNIT TO ALSO BE REPAIRED A REPAIRABLE UNIT. ALL REPAIRS TO BE COMPLETED BY THE PLUMBING CODE.
- ALL REPAIRS TO BE COMPLETED BY THE PLUMBING CODE. ALL REPAIRS TO BE COMPLETED BY THE PLUMBING CODE.

- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS.
- GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS.
- GLAZED BALCONIES TO BE CONSTRUCTED OR SAFETY GLASS.
- ALL HANDRAILS TO BE DEMAND & CONSTRUCTED AS PER D.B.G.C. SECTION - 7.8.8.
- ALL HANDRAILS TO BE DESIGNED & CONSTRUCTED AS PER D.B.G.C. SECTION - 7.8.9.
- REFER TO STRUCTURAL DRAWINGS PROVIDED BY ENGINEER FOR ALL SYSTEMS.
- ATTN: HANDRAILS TO INCLUDE INSULATION & WEATHERSTRIPPING, & SHALL CONFORM TO D.B.G.C. SECTION 7.8.9.
- WINDOVS TO CONFORM TO D.B.G.C. SECTION - 7.
- ALL GLAZING TO BE CONSTRUCTED AS PER D.B.G.C. UNSTRUCTURED FRAMES OR GLAZING TO THE EXTERIOR OF THE RESIDENCE TO BE CONFORM TO D.B.G.C. SECTION 7.8.10.
- ALL BEDROOM/FLOOR AREAS TO HAVE AN INTERCONNECTED SMOKE ALARM.
- ALL BEDROOMS TO HAVE AN INTERCONNECTED SMOKE ALARM & CARBON MONOXIDE (CO) INSTALLED.
- ALL BEAMS AND UNITS ARE TO BE 3'-0" UNDO ON PLANS



<u>FLOOR AREA</u>	
MAIN FLOOR	780.25 sq./ft.
GARAGE	508.04 sq./ft.
OPEN TO BELOW	64.53 sq./ft.
<hr/>	
TOTAL (MAIN FLOOR + GARAGE)	1288.29 sq./ft.
 <u>Basement</u>	
Slab	84.01 sq./ft.
	426.04 sq./ft.
TOTAL	510.05 sq./ft.



ARC HOME DESIGN INC.

32719 UNGER COURT, MISSION BC, V4S 0B9
Tel: 604.825.9247

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NO	DESCRIPTION	BY	DATE
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ISSUED FOR RP	C.V.	APR-06-20
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PROJECT: WHALLEY RESIDENCE
SALMON ARM

DRAWING TITLE: BASEMENT FLOOR PLAN

DATE: 2025-04-06

SCALE: As indicated

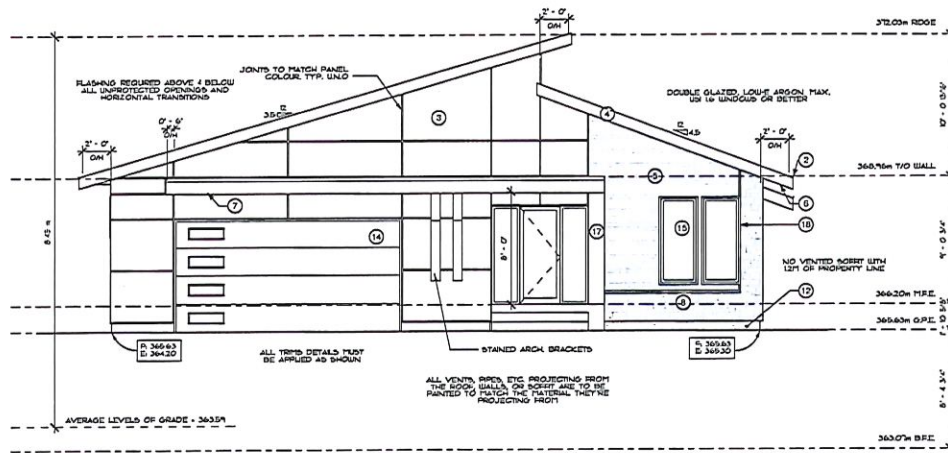
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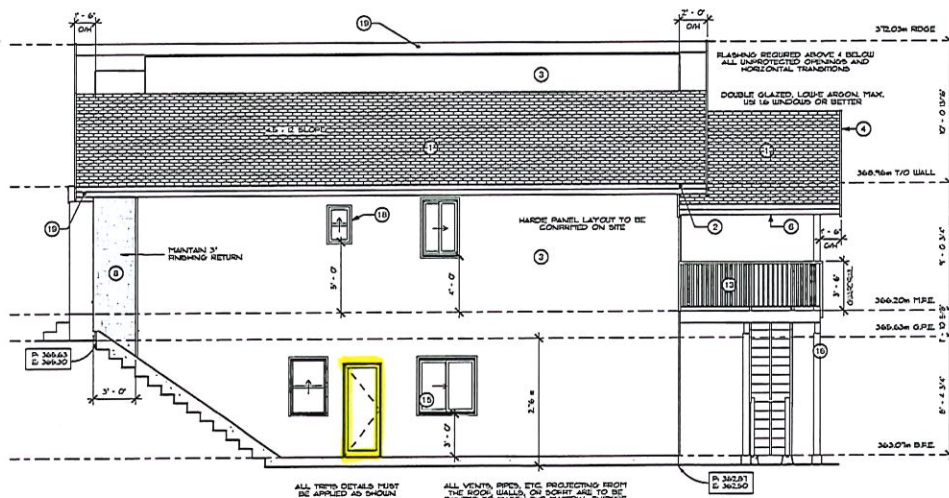
PROJECT NUMBER	SHEET
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P2106

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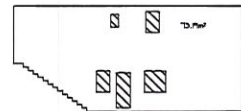
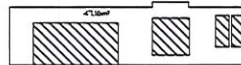
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING EXPOSURE AND SPATIAL SEPARATION (9.10.15)

COMPARTMENT GLAZING	AREA OF FACADE	LIFTING DISTANCE	UNPROTECTED OPENINGS ALLOWED PROVIDED		CONSTRUCTION OR BLDG. FACE	
RIGHT FACADE	73.7m ²	15m to PL	0.00%	73%	OMR, C	C
LEFT FACADE	60.30m ²	23.4m to PL	0.54%	3.70%	OMR, C	C
REAR FACADE	96.80m ²	30.22m to SB	100%	36.65%	OMR, C	C
FRONT FACADE	47.5m ²	17.5m to CL Road	100%	40.78%	OMR, C	C



SCHEDULE OF FINISHES

1. BLACK ARCHITECTURAL LAPINATE, ROOF SHINGLES
2. SURFACE MOUNTED ALUMINUM METAL GUTTER
3. ROSE CEMENT PANEL - COLOUR TO OWNERS SPEC
4. PAINTED 2x4 BARGE BOARD - COLOUR TO OWNERS SPEC
5. PVC WOOD SLIDING
6. PRE-COLOURED WHITE SORRY, UNO
7. WOOD SORRY
8. DRY STACK CULTURED STONE - TO OWNERS SPEC
9. STONE GAP - TO OWNERS SPEC
10. PAINTED 1/4" TRIM - COLOUR TO OWNERS SPEC
11. PAINTED 1/4" TRIM - COLOUR TO OWNERS SPEC
12. EXPOSED CONCRETE
13. REFINISHED SIDE MOUNTED METAL RAILS - COLOUR TO OWNERS SPEC, UNO
14. PAINTED 6"x6" GARAGE DOOR - TO OWNERS SPEC
15. NAIL ON VINYL WHITE WINDOWS
16. WEAVER BEAM & POST - BY ENGINEER
17. METAL FASCIA
18. 1 X 2 WINDOW TRIM
19. PAINTED 2x8 FASCIA BOARD - COLOUR TO OWNERS SPEC

NOTES

- * ANY CHANGES TO FINISHES MUST BE CO-ORDINATED BY OWNER

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TEL: 905.275.2217
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THE OWNER IS RESPONSIBLE TO COMPLY WITH THE CURRENT ADDITION OF THE SOLE CITY PLANS, AND REGULAR LOCAL GOVERNING BODIES, PRESENCE OF ANY CHANGES.

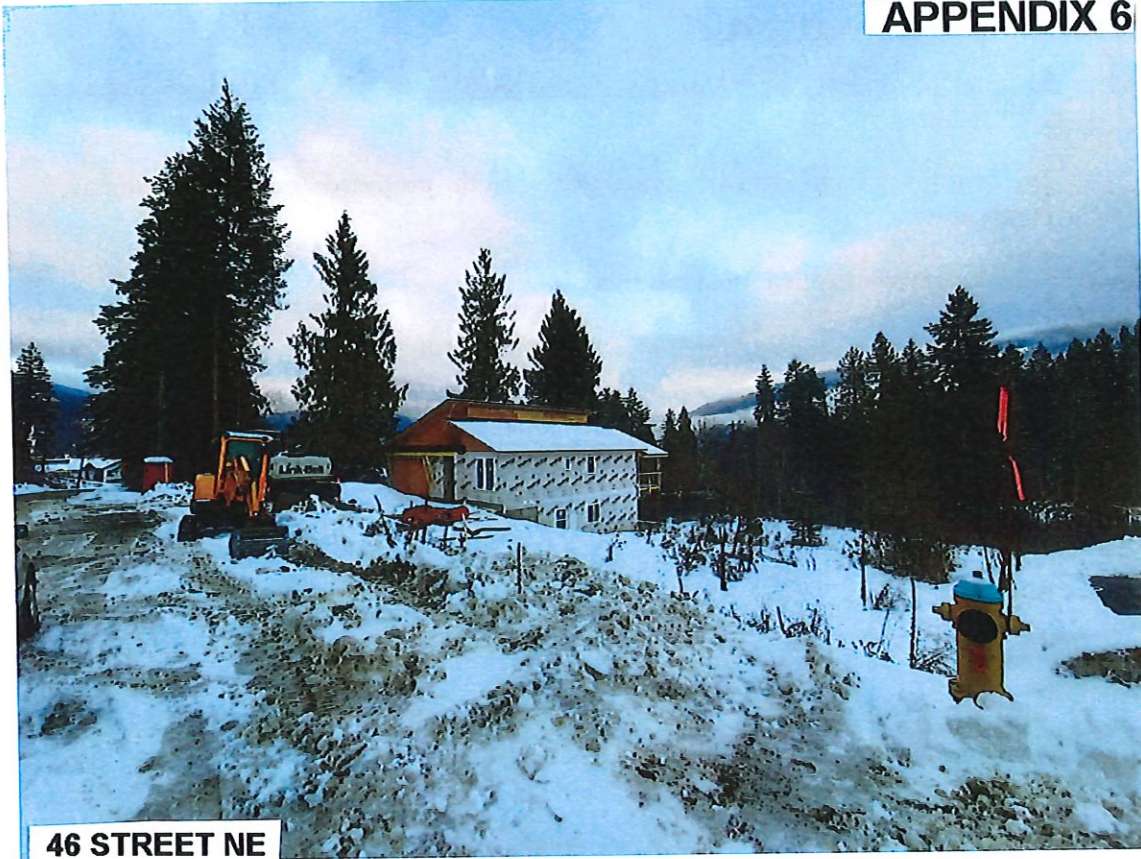
NO. DESCRIPTION REV. DATE

1 ISSUED FOR BP C.V. JAPR-06-2021

PROJECT: WHALLEY RESIDENCE
SALMON ARM
DRAWING TITLE: FRONT & RIGHT ELEVATION

DATE: 2023-04-06
SCALE: As Indicated
DRAWN BY: OV
CHECKED: OV
PROJECT NUMBER: P2106
SHEET NO: A3.0

APPENDIX 6



23. STATUTORY PUBLIC HEARINGS

2. Zoning Amendment Application No. ZON-1230 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

Submissions were called for at this time.

S. Keskinen – email dated March 11, 2022 – ZON-1230

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:29 p.m. followed by comments from Council.

CITY OF SALMON ARM

BYLAW NO. 4494

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on March 14, 2022 at the hour of 7:00 p.m. was published in the March 2, 2022 and March 9, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 Single Family Residential Zone to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **“City of Salmon Arm Zoning Amendment Bylaw No. 4494”**

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS 14 DAY OF March 2022

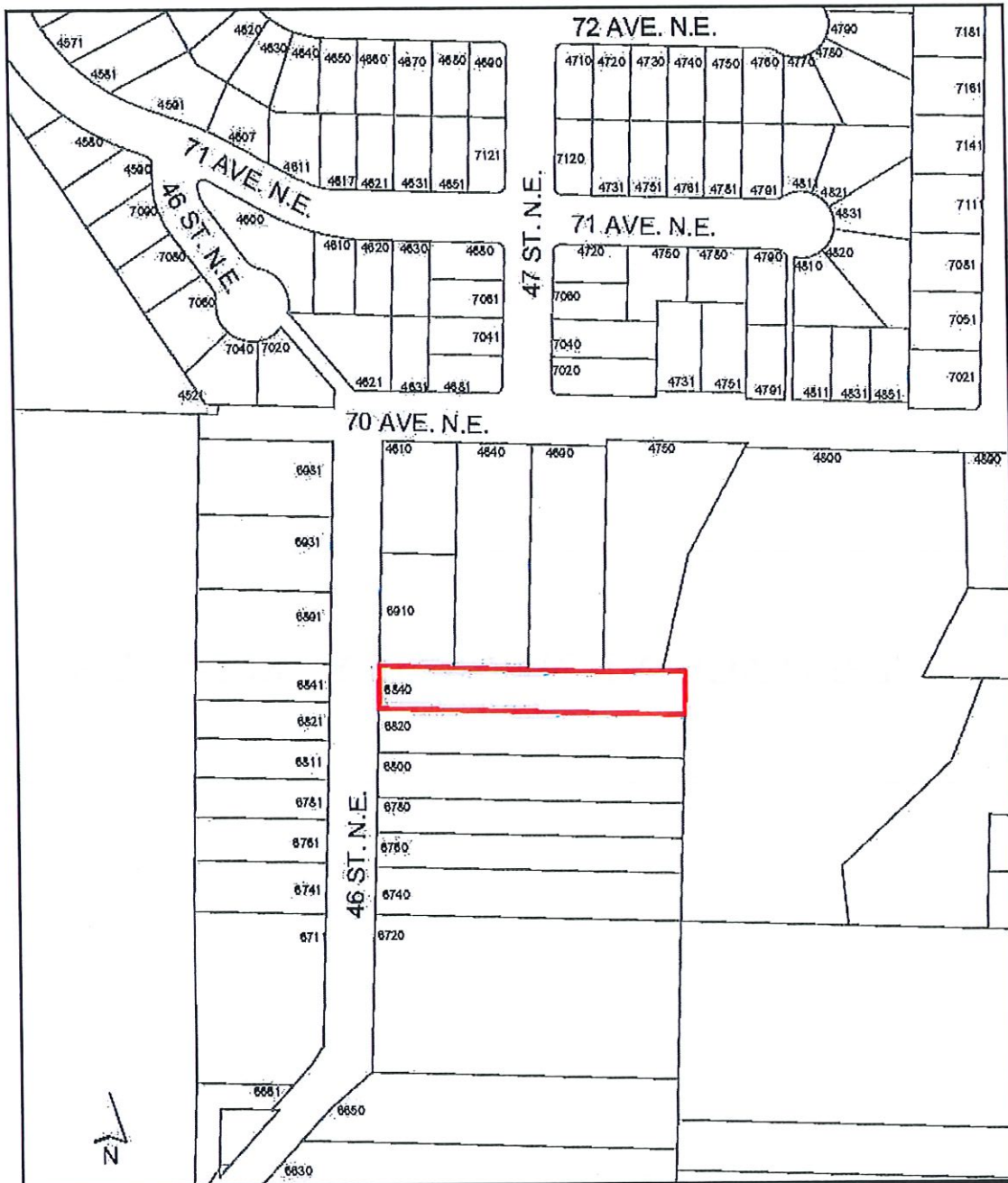
APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE 18 DAY OF March , 2022

“T. KNIGHT”
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2022

MAYOR

CORPORATE OFFICER



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INFORMATIONAL CORRESPONDENCE – March 28, 2022

- | | | |
|-----|--|---|
| 1. | H. Waske – email dated March 11, 2022 – Lamb Hill Subdivision Access | A |
| 2. | F. Fennell – email dated March 15, 2022 – Dogs on the Foreshore Trail etc. | A |
| 3. | C. Burt – email dated March 21, 2022 – South Canoe FireSmart | A |
| 4. | N. Sartorius – email dated March 14, 2022 – Crosswalks, road clearing and chickens | A |
| 5. | J. Broadwell, Manager, Downtown Salmon Arm – letter dated March 15, 2022 – Request to Close Hudson Street for Multicultural Day | R |
| 6. | J. Evans, Early Years Navigator and Outdoor Play Facilitator, Shuswap Children's Association – letter dated March 14, 2022 – Outdoor Recreation Program | R |
| 7. | D. Parker, Secretary, Salmon Arm Royal Purple Lodge No. 279 – letter dated March 23, 2022 – Bench Request to Council | R |
| 8. | H. Ketter, Volunteer and Grant Coordinator, Salmon Arm Roots & Blues – letter dated March 24, 2022 – Request for Letter of Support | R |
| 9. | Governance Advisory Committee, Shuswap North Okanagan Rail Trail Minutes – Approved – January 7, 2022 – see www.salmonarm.ca March 28, 2022 Agenda for Minutes | N |
| 10. | J. Landau, Coordinator, Student, Graduate and Co-op Employment, Okanagan College – email dated March 15, 2022 – Hiring a summer student? Info Session on available funding and how to access it – March 31 st | N |
| 11. | K. Forster, Canadian Outreach Officer – email dated March 21, 2022 – Earth Day 2022 | N |
| 12. | A. Slater, General Manager, Southern Interior Local Government Association – email dated March 18, 2022 – UBCM Community Excellence Awards | A |
| 13. | N. Brassard, Associate Vice-President, Global Public Affairs – email dated March 17, 2022 – Reducing Patio Application Red Tape for BC's Hospitality Sector and Economic Recovery | N |
| 14. | D. McKerracher, Mayor, District of Elkford – letter dated March 15, 2022 – Milk Container Recycling in British Columbia | N |
| 15. | A. Thompson, Corporate Administrator/Deputy CAO – email dated March 14, 2022 – Resolution for all UBCM members | N |
| 16. | B. Quoc Nguyen – email dated March 10, 2022 – Salmon Arm continues land clearing burning while Vernon experiences another air quality warning | N |

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Item 22.1

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Permit No. DP-438 be authorized for issuance for Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510 Except Plans 14376, 24326 and KAP48014 in accordance with the drawings shown on Appendix 3 to the Staff Report dated March 15, 2022;

AND THAT: Development Permit No. DP-438 include the following variance to Zoning Bylaw No. 2303:

1. Section 10.9.1 – decrease the minimum front parcel line setback from 5.0 metres (16.4 feet) to 3.0 metres (9.8 feet) for proposed building/unit 01, as shown on Appendix 3 to the Staff Report dated March 15, 2022;

AND THAT: Development Permit No. DP-438 allow for the placement of fencing along the eastern and southern parcel lines to a maximum height of 8.0 feet (2.4 metres);

AND FURTHER THAT: issuance of Development Permit No. DP-438 be withheld subject to the following:

1. Receipt of an Irrevocable Letter of Credit in the amount of 125% of a landscaper's estimate for completion of the landscaping plan.

[McGregor, D./Elidoros, B.; 1910 11 Avenue NE; 15 Unit – High Density Residential]

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council

DATE: March 15, 2022

SUBJECT: Development Permit Application No. DP-438 (15 Unit – High Density Residential)

Legal: Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510, Except Plans 14376, 24326 and KAP48014
Civic: 1910 – 11 Avenue NE
Owner: D. McGregor
Applicant/Agent: B. Elidoros

STAFF RECOMMENDATION

THAT: Development Permit No. 438 be authorized for issuance for Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510, Except Plans 14376, 24326 and KAP48014 (1910 – 11 Avenue NE) in accordance with the attached drawings in Appendix 3;

AND THAT: Development Permit No. 438 include the following variance to Zoning Bylaw No. 2303:

Section 10.9.1 – decrease the minimum front parcel line setback from 5.0 metres (16.4 feet) to 3.0 metres (9.8 feet) for proposed building/unit 01, as shown in the attached drawings in Appendix 3;

AND THAT: Development Permit No. 438 allow for the placement of fencing along the eastern and southern parcel lines to a maximum height of 8.0 feet (2.4 metres);

AND FURTHER THAT: Issuance of Development Permit No. 438 be withheld subject to the following:

1. Receipt of an Irrevocable Letter of Credit in the amount of 125% of a landscaper's estimate for completion of the landscaping plan.
-

PROPOSAL

The subject parcel is located at 1910 – 11 Avenue NE (Appendix 1 and 2) and currently contains a single family dwelling. This application is to permit a new 15-unit residential development, as described in the letter of proposal and shown on the site plan and building elevations attached as Appendix 3.

BACKGROUND

The subject property is 0.695 acres, designated High Density Residential (HR) in the City's Official Community Plan (OCP), and is currently zoned R-5. The mix of zones in the immediate area consists of Residential zones mostly to the north, Institutional zones to the east and south, and Commercial zones to the west and further to the east (Appendix 4 and 5). Site photos are attached, as Appendix 6. The subject property has been under the consideration of Council recently, with OCP (HC - Highway Service/Tourist Commercial to HR - High Density Residential) and zoning (R-1 Single Family Residential Zone to R-5 High Density Residential Zone) applications approved in February 2021.

The four proposed buildings are of a traditional style with pitched rooflines, comprised of three (3) 4-plexes and one (1) triplex situated along a one-way access. With the three 4-plexes and the one triplex proposed from 10.98 to 11.16 metres tall, all buildings are below the 12 m maximum height that is permitted. While 19 parking spaces are required (1.25 spaces per dwelling unit), 45 are proposed (including garages).

There is one variance requested associated with the proposal to reduce the front parcel line setback from 5 m to 3 m along a portion of 11 Avenue NE, affecting the northeast corner of Building/Unit 01.

COMMENTS

Fire Department

No concerns.

Building Department

No concerns. All BCBC applicable code requirements must be adhered to at the building stage.

Engineering Department

Comments attached (Appendix 8).

Design Review Panel

With the proposal for a (medium) high density residential development, the application was referred to the Design Review Panel (DRP) for review. The DRP was supportive of the proposal, subject to the consideration of the following conditions 1) the inclusion of a screened and shared garbage/recycling area, 2) the inclusion of additional landscaping for privacy along the RCMP and TCH parcel lines, and 3) the inclusion of some enhancements to the exterior building's facades along the TCH and 11 Avenue NE. The February 23, 2022 DRP meeting minutes are attached, as Appendix 7.

Staff later met with the applicant to review the DRP's suggestions. The applicant indicated that the screened/shared garbage and recycling area would go on the southern portion of the property, between Buildings 2 and 4. In regards to the inclusion of additional landscaping for privacy along certain parcel lines, the applicant clarified that they intend to keep both the existing fencing and trees, both of which are already quite large and significant. Lastly, in terms of the inclusion of some enhancements to the exterior building's facades along the north and south elevations, the owner and applicant have provided staff with amended renderings, which are attached, as Appendix 9. These amended renderings now include a white exterior finish around the top floor window and an additional window on the main floor for the north elevation, with a white exterior finish around the top floor window but no additional window on the main floor for the south elevation (as this side is directly adjacent to the Trans Canada Highway, the owner and applicant wish to minimize any potential noise impact).

Planning Department

The surrounding neighbourhood has experienced some similar recent development(s) in the last number of years, with the addition of Copperview Corner at 2081 11 Avenue NE to the east back in 2017/2018 and a Development Permit also just recently being approved by Council for 1141 18 Street NE to the northwest back in June 2021. The subject parcel is located in an area well-suited for higher density residential development featuring developed sidewalks, greenways, bike and transit routes, being within close walking distance of the commercial node to the east, the recreation centre and arena, schools including Bastion Elementary, Salmon Arm Secondary (both campuses), and Okanagan College, as well as the City Centre and hospital just over 1 km to the west.

The proposed development is subject to the Zoning Bylaw and the guidelines of the "Residential Development Permit Area" as described in the OCP, suggesting characteristics under the topics of siting and building, landscape and screening, as well as access, circulation, and parking.

Siting and Building

The applicant is proposing a 15-unit residential development in the form of three 4-plex and one triplex buildings. The buildings will ultimately have a total combined footprint of 11,416.86 square feet in area (16,555.20 square feet would be permitted as per the zoning), situated along an access lane, with the separate buildings allowing for articulation and a reduced overall massing.

The building design is a traditional style with a variety of siding colours and traditional pitched rooflines. The building forms align with existing residential development in the area (such as Copperview Corner, for example). OCP Residential Development Permit Area policies 8.4.14 and 8.4.17 encourage varied facades and rooflines, which staff feel is achieved by the proposed design. The articulation of the facades and the relatively small size of the proposed buildings (3 level buildings, including garages) limit related impacts. The varied facade materials could be considered an enhancement. As such, and with the recent facade enhancements made by the owner/applicant, staff feel the design is now acceptable with respect to OCP guidelines.

A variance is requested to reduce the front parcel line setback from 5 m to 3 m along a portion of 11 Avenue NE to accommodate the northeast corner of one of the 4-plex buildings (Building/Unit 01). Staff view this request as reasonable and minor, taking into account the irregular lot shape and associated setbacks (including a/the 4.5 m MOTI setback on the south end of the property), the large area of dedicated City boulevard on the north end of the property, and what would appear to be a minor-to-no potential for impact on adjacent developments.

Access and Parking Area

The subject property is an interior parcel with singular 1-way vehicle access proposed via 11 Avenue NE to the north. The 45 parking spaces as proposed exceeds the 19 required (1.25 parking spaces per dwelling unit) as specified by the Zoning Bylaw. Given the lack of street parking at this location, staff feel this additional parking proposed will be well-used and appreciate its inclusion.

Landscape and Screening

The landscape plan (Appendix 3) prescribes a range of shrubs, perennials, and trees for screening predominately along the front parcel line (both in and out of the City boulevard), as well as decorative ground cover throughout the property, which staff view as aligned with OCP guidelines. In addition, although there is some existing vegetation and fencing to the east on the adjacent RCMP property, staff recommend that the owner/applicant provide some additional vegetation along the east parcel line to limit the amount of light pollution from the adjacent property. That being said, the applicant has also included open garden areas for each unit, which may be used for screening if necessary.

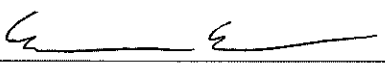
Height and Density

In reference to Zoning Bylaw regulations, the proposed 10.98 to 11.16 metre building heights would likely be considered favourable relative to surrounding development in comparison to a maximum permitted height of 12 m, which may be increased to 15 m with the amenity of rental housing.

The maximum residential density permitted under R-5 zoning is 40 dwelling units per acre of land. The resulting maximum density permitted is 28 units based on the area (0.695 acres) of the subject parcel. With a density bonus under R-5 zoning for the provision of rental units, the maximum number of units can be increased (the minimum residential density permitted under R-5 zoning is three (3) units in the form of a triplex). Fifteen (15) units are proposed.

CONCLUSION

Staff recommend approval of Development Permit No. 438 and the associated variance.


Prepared by: Evan Chorlton
Planner I


Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Subject Property Map

APPENDIX 1
P165



OrthoMap

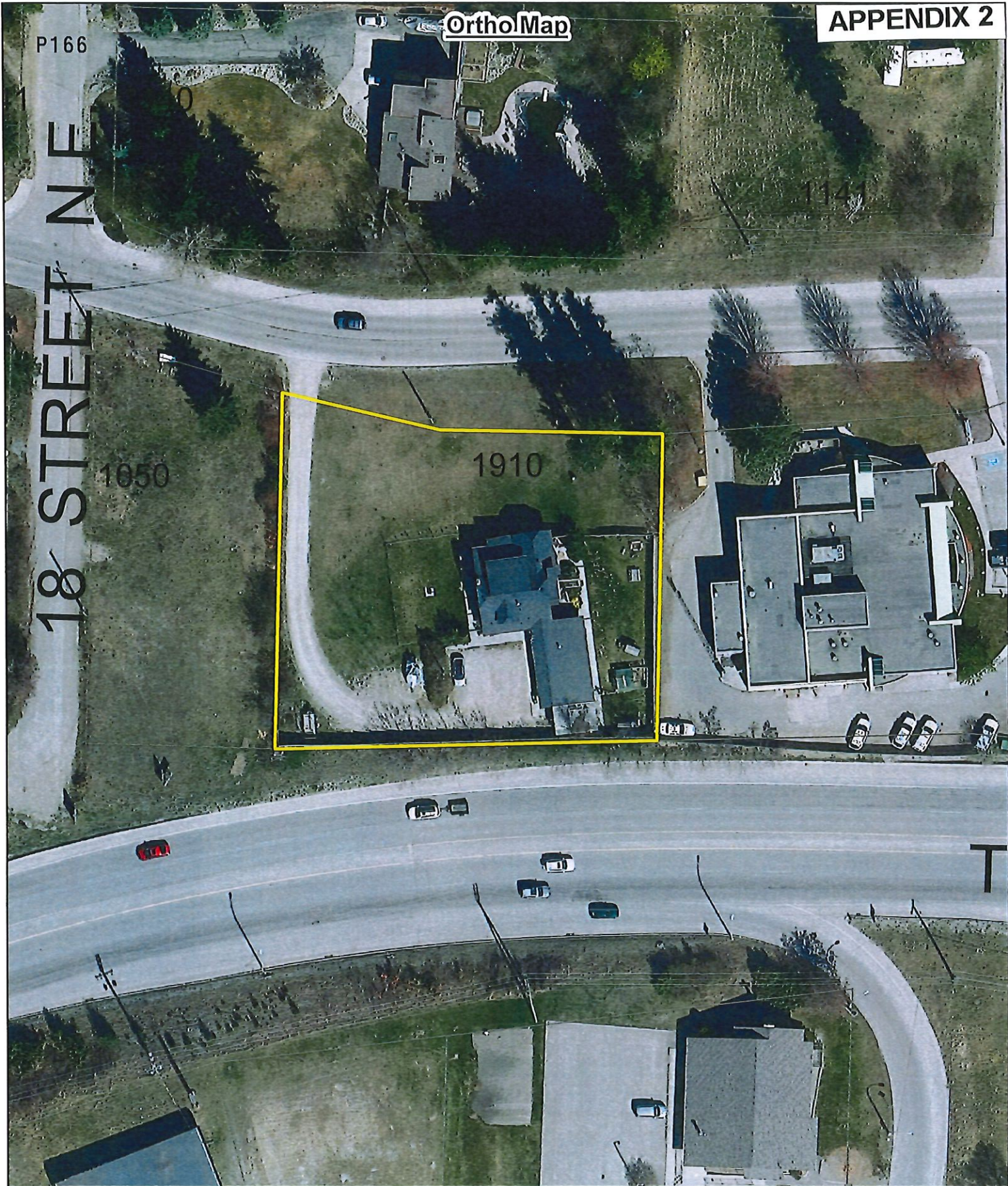
P166

18 STREET NE

1050

1910

1141



0 3.75 7.5 15 22.5 30 Meters

 Subject Property
 Parcels

Letter of Proposal

'Hillside Terrace' 1910 – 11th Ave NE, Salmon Arm, BC

The proposal is to build 15 'family-friendly' townhomes, where rentals will be allowed, and where strata fees will be kept in check due to low maintenance yards.

The complex's entrance with split-rail fence is intended to pay tribute to the original house that was on the property by offering a heritage feel. The vintage look has also been incorporated into the townhouse design, including interior color pallet, and carried through to the unit's individual exterior colours which are intended to offer the feel of an individual home.

Units will have forced-air heat, central air, 21' long driveways, and 20' backyard depths. Tandem garages will measure just shy of 40' in length which will offer plenty of space for vehicles and storage.

All units will have a bright kitchen, and will feature an 8' island complete with beverage fridge. Owners will have the ability to pick from either a gas or electric range, as both will be plumbed. Eight of the units will be 3 bedrooms, and seven of the units will be 2 bedroom & den. Each unit will have 3 bathrooms (a powder on the main, a full bathroom on the upper, and a 3-piece off the master). Outside units will also have a gas fireplace in the living room.

Each yard will be fenced, and will contain a 9' x 9' concrete patio, artificial turf, and an area designed specifically to encourage one's own garden, whether it is flowers, or vegetables. And eight of the units (on the west-side) will have a deck off the kitchen as well.

Thank you,

Debbie McGregor & Brian Elidoros
Hillside Terrace

P168

PO Box 10023
Salmon Arm, BC
V1E 3B9

January 23rd, 2022

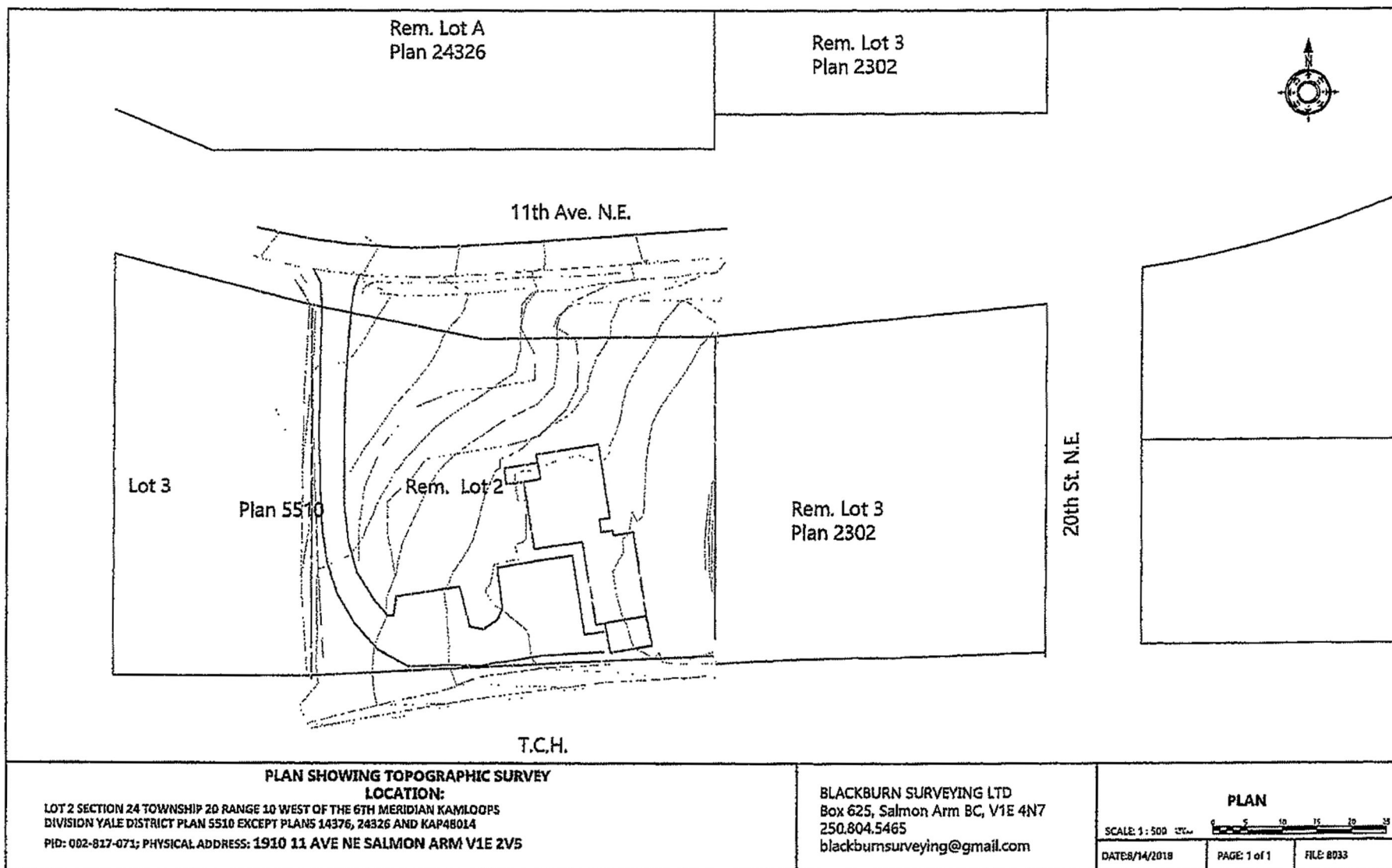
To: City of Salmon Arm

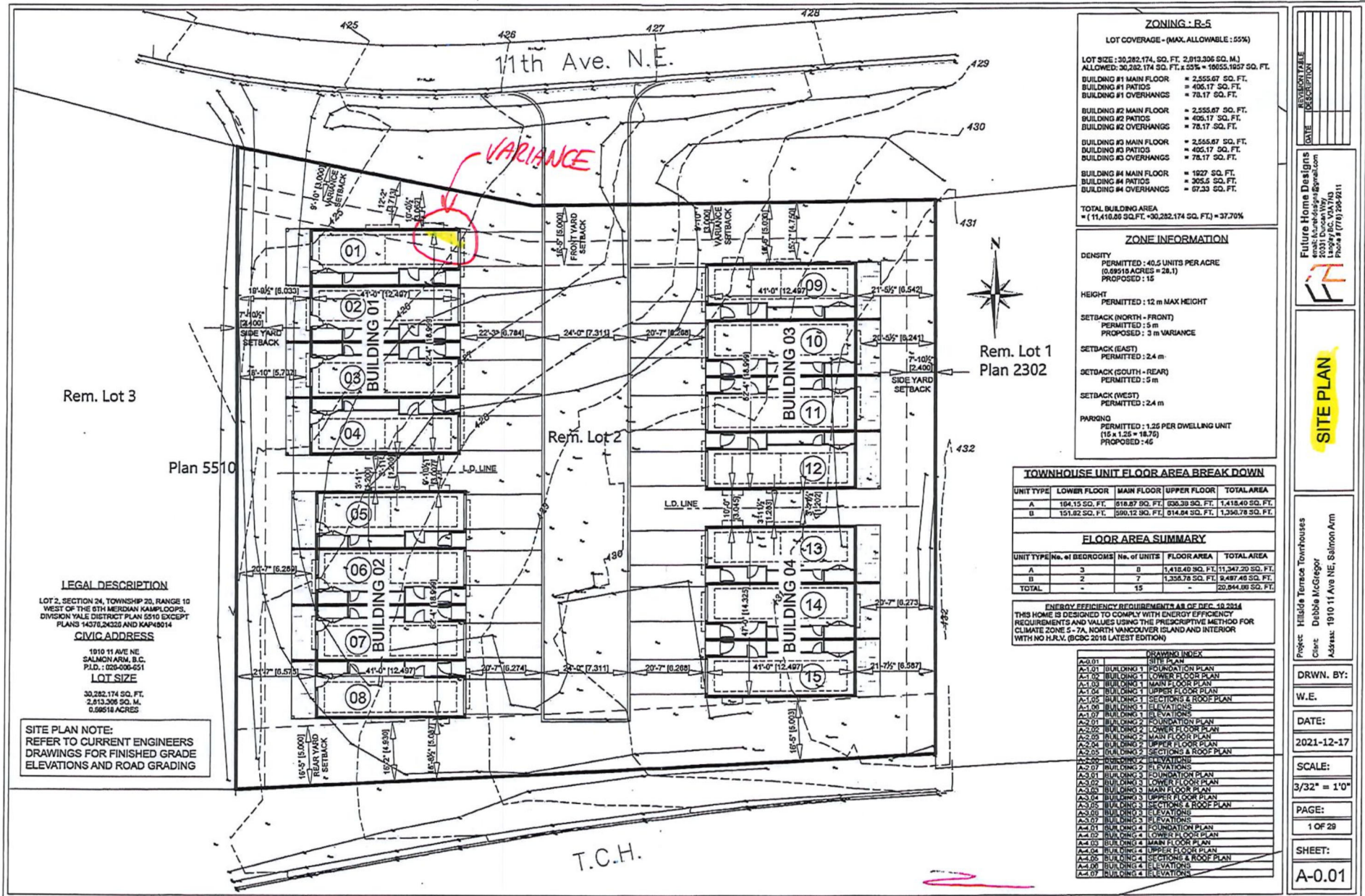
Re: Proposed Variance for Hillside Terrace – Bldg. 1 (1910 – 11th Ave NE)

We are requesting a variance to reduce the side set-back, at the front/north-side of building 1, from 5 meters to 3 meters, in order to accommodate Building 1.

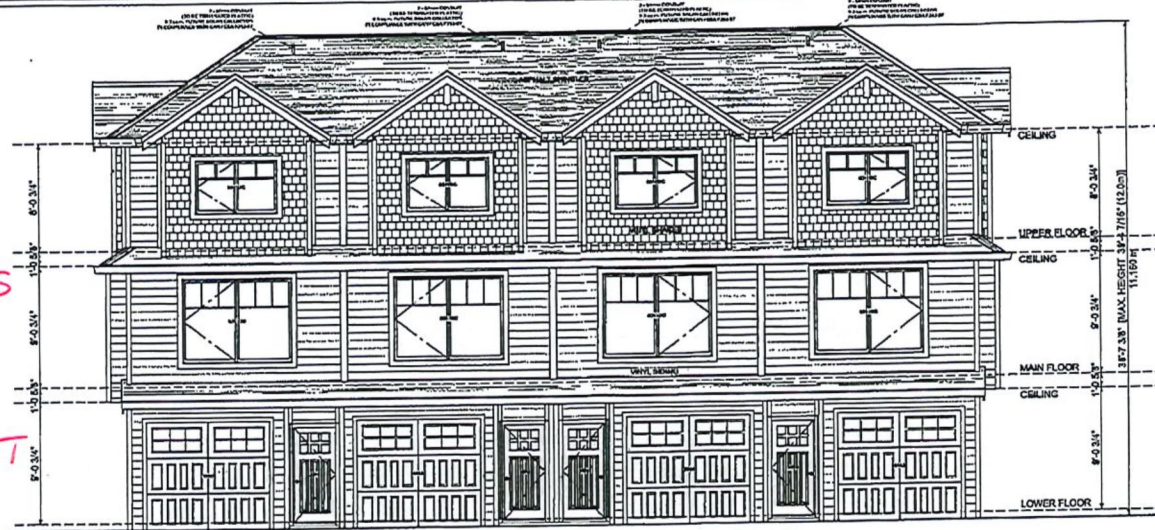
Thank you,

Debbie McGregor &
Brian Elidoros





TYPICAL
ELEVATIONS
FOR BUILDINGS
1-3
(ONLY HEIGHT
SLIGHTLY
VARIES)

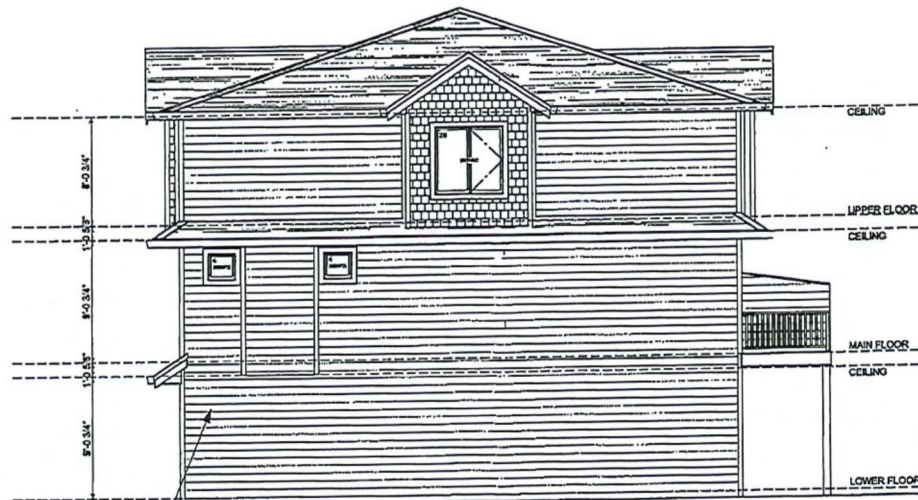


1 FRONT ELEVATION

NOTE: FLASHING OVER ALL UNPROTECTED OPENINGS AND BETWEEN ALL DISSIMILAR MATERIAL.

ELEVATION NOTES:
REFER TO CURRENT ENGINEERS
DRAWINGS FOR FINISHED GRADE
ELEVATIONS AND ROAD GRADING

ENERGY EFFICIENCY REQUIREMENTS AS OF DEC. 18, 2014
THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY
REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR
CLIMATE ZONE 5-7A, NORTH VANCOUVER ISLAND AND INTERIOR
WITH NO JULY. (BCBC 2014 LATEST EDITION)



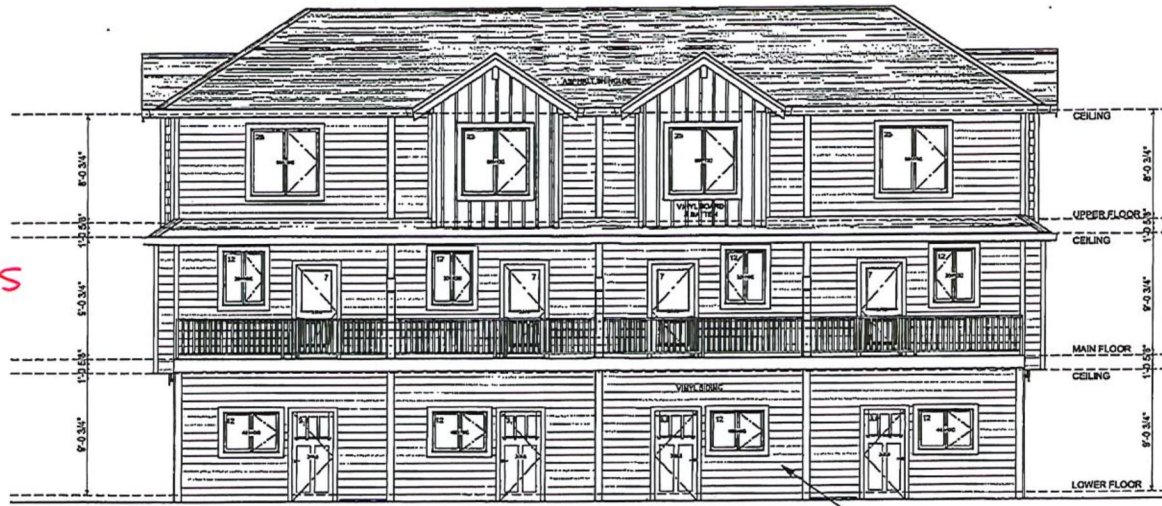
2 RIGHT ELEVATION

LIMITING DISTANCE = 3,713 m
EXPOSED WALL FACE = 1,180.46 sq. ft. (109.07 sq. m.)
MAX. ALLOWABLE OPENINGS = 11% = 129.85 sq. ft.
ACTUAL OPENINGS = 33 sq. ft. = 1,180.46 = 2.790%

BCBC 2019 Division B - Part 8
Table 9.10.15A.1180.46
Over 100 m2, 3.5m LD = 11%

DATE	DESIGNER
DATE	DESIGNER
Future Home Designs email: futurehome@futurehome.com 10000 100th Ave. Unit 100 Surrey, BC V4N 7Y3 Phone: (778) 268-2511 Cell: (604) 999-0110	
BUILDING 1 ELEVATIONS	
Project:	Helix Terrace Townhouses
Client:	Debbie McGregor
Address:	1910 11 Ave NE, Salmon Arm
DRWN. BY:	W.E.
DATE:	2021-06-23
SCALE:	1/4" = 1' 0"
PAGE:	7 OF 28
SHEET:	A-1.06

TYPICAL
ELEVATIONS
FOR BUILDINGS
1-3



1 REAR ELEVATION

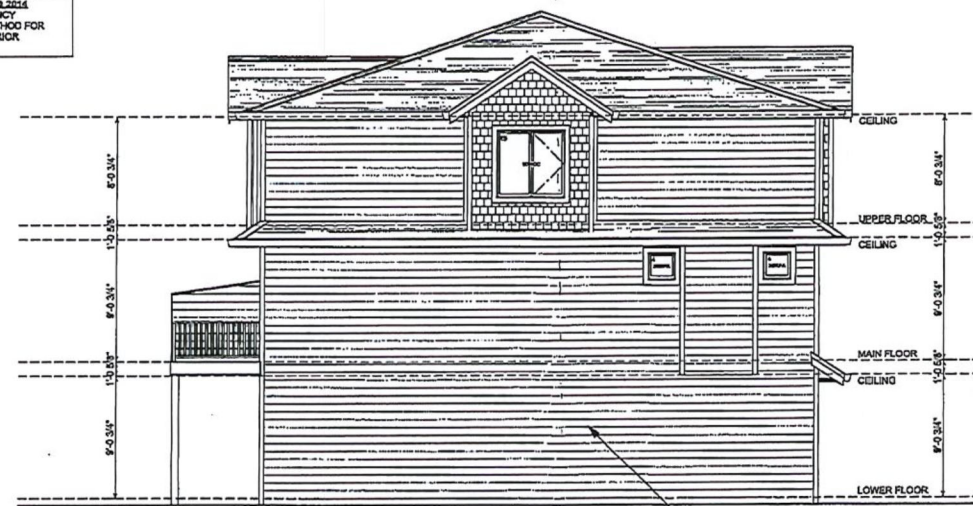
NOTE: FLASHING OVER ALL UNPROTECTED OPENINGS AND BETWEEN ALL DISSIMILAR MATERIAL

ENERGY EFFICIENCY REQUIREMENTS AS OF DEC. 15, 2014
THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR CLIMATE ZONE 5 - 7A, NORTH VANCOUVER ISLAND AND INTERIOR WITH NO H.V.A.C. (BCBC 2018 LATEST EDITION)

ELEVATION NOTES:
REFER TO CURRENT ENGINEERS DRAWINGS FOR FINISHED GRADE ELEVATIONS AND ROAD GRADING

LIMITING DISTANCE = 4.723 m
EXPOSED WALL FACE = 1,794.85 sq. ft. (165,731 sq. m.)
MAX. ALLOWABLE OPENINGS: 13.75% = 246,738 sq. ft.
ACTUAL OPENINGS = 238 sq. ft. = 1,794.88 = 13.261%

BCBC 2018 Division 9 - Part 9
Table 9.10.15.4.1.150.45
Over 100 m², 4.6 m LD = 13.75%



2 LEFT ELEVATION

LIMITING DISTANCE = 1.340 m
EXPOSED WALL FACE = 1,190.45 sq. ft. (109,67 sq. m.)
MAX. ALLOWABLE OPENINGS: 7% = 82.93 sq. ft.
ACTUAL OPENINGS = 35 sq. ft. = 1,190.45 = 2.765%

BCBC 2018 Division 9 - Part 9
Table 9.10.15.4.1.150.48
Over 100 m², 1.2 m LD = 7%

REVISION TABLE
DATE
DESCRIPTION

Future Home Designs
20331 Duncan Way
Langley BC V3A 7H3
Call: (604) 888-8818



BUILDING 1 ELEVATIONS

Project: Hillside Terrace Townhouses
Client: Debbie McGregor
Address: 1910 11 Ave NE, Salmon Arm

DRWN. BY:

W.E.

DATE:

2021-06-23

SCALE:

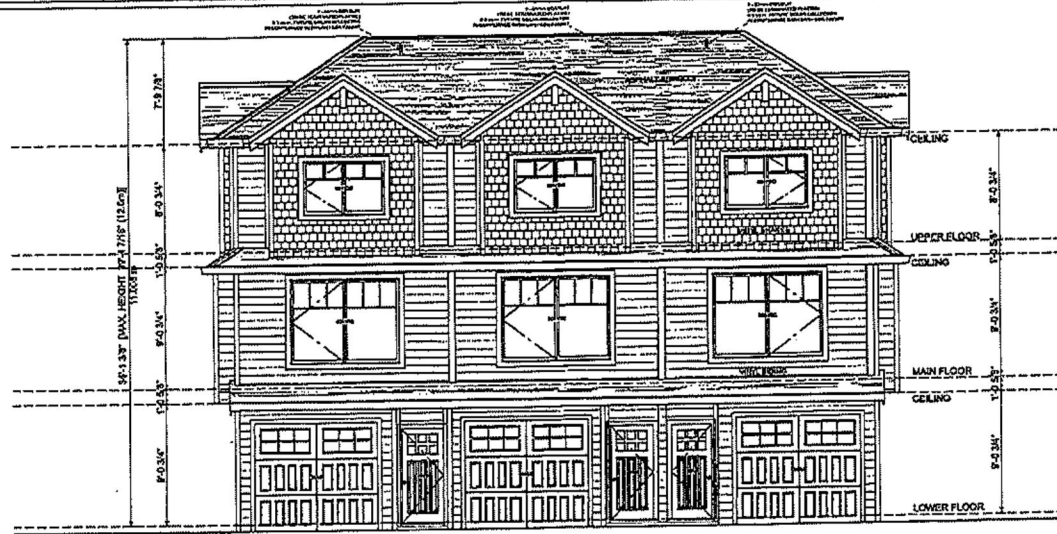
1/4" = 1' 0"

PAGE:

8 OF 29

SHEET:

A-1.07

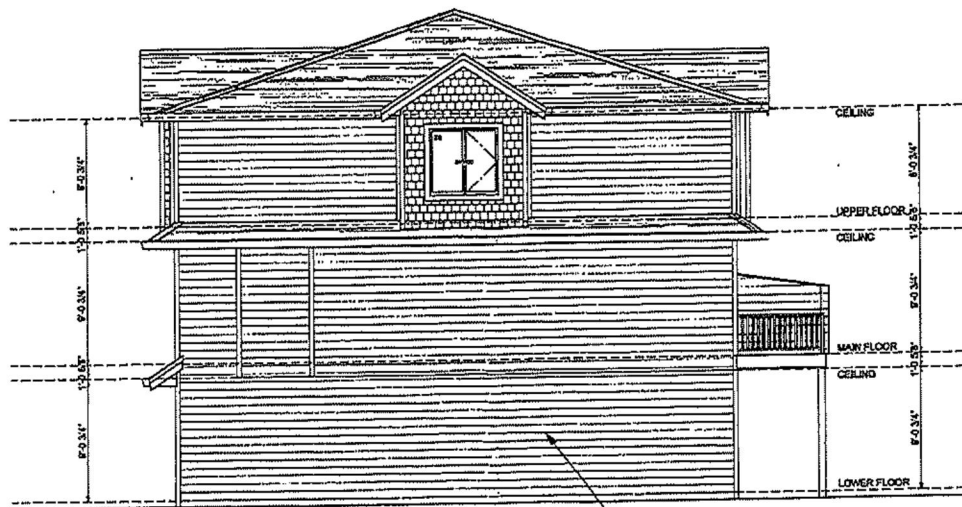


FRONT ELEVATION

NOTE: FLASHING OVER ALL UNPROTECTED OPENINGS AND BETWEEN ALL DISSIMILAR MATERIAL

ENERGY EFFICIENCY REQUIREMENTS AS OF DEC. 18 2014
THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR CLIMATE ZONE 6-7A, NORTH VANCOUVER ISLAND AND INTERIOR WITH NO H.V.A.C. (BSCC 2015 LATEST EDITION)

ELEVATION NOTES:
REFER TO CURRENT ENGINEERS DRAWINGS FOR FINISHED GRADE ELEVATIONS AND ROAD GRADING



RIGHT ELEVATION

LIMITING DISTANCE = 4.915 m
EXPOSED WALL FACE = 1,180.45 sq. ft. (109.57 sq. m)
MAX. ALLOWABLE OPENINGS: 12% = 141.655 sq. ft.
ACTUAL OPENINGS = 25 sq. ft. = 1,195.48 sq. ft. = 2.177%

BCBC 2018 Division 5 - Part 6
Table 5.10.15.4.1.180.45
Over 100 m2, 4.0m LD = 12%

REVISIONS	DATE	DESCRIPTION

Future Home Designs
and Construction
1000 10th Ave. N.
Vancouver, BC V6H 1A7
Phone: (604) 733-8211
Cell: (604) 733-8211

**BUILDING 4
ELEVATIONS**

Project: Hillside Terrace Townhouses
Client: Debbie McGregor
Address: 1910 11 Ave NE, Salmon Arm

DRWN. BY:
W.E.

DATE:
2021-06-23

SCALE:
1/4" = 1' 0"

PAGE:
28 OF 29

SHEET:
A-4.06



REAR ELEVATION

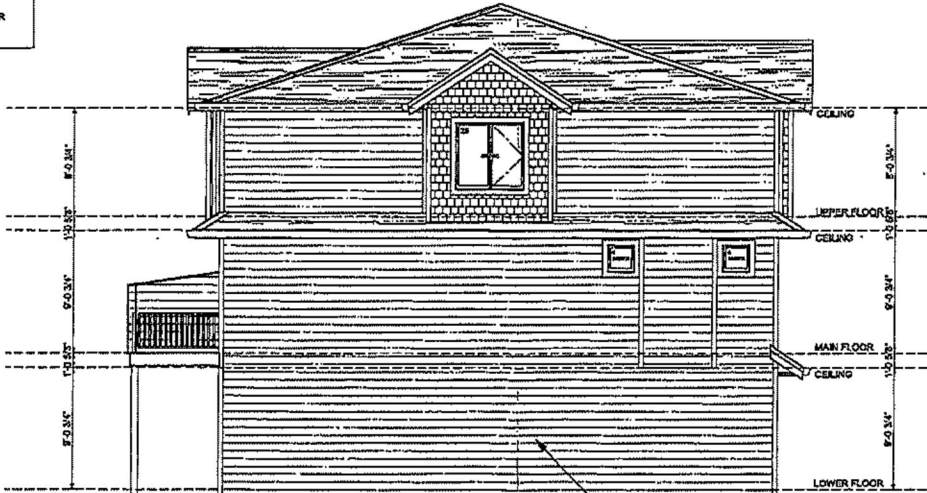
NOTE: FLASHING OVER ALL UNPROTECTED OPENINGS
AND BETWEEN ALL DISTINCT MATERIAL.

ENERGY EFFICIENCY REQUIREMENTS AS OF DEC. 18 2014
THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY
REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR
CLIMATE ZONE 5 - 7A, NORTH VANCOUVER ISLAND AND INTERIOR.
WITH NO H.V.A.C. (CBC 2010 LATEST EDITION)

ELEVATION NOTES:
REFER TO CURRENT ENGINEERS
DRAWINGS FOR FINISHED GRADE
ELEVATIONS AND ROAD GRADING

LIMITING DISTANCE = 4.749 m
EXPOSED WALL FACE = 7,333.21 sq. ft. (121,717 sq. m)
MAX. ALLOWABLE OPENINGS: 13.76% = 100.00% sq ft
ACTUAL OPENINGS = 132 sq. ft. + 7,333.21 = 8.754%

BCAC 2018 Division B - Part 2
Table 9.10.16.A.1102.45
Over 100 m2, 4.5 m LD = 13.75%



LEFT ELEVATION

LIMITING DISTANCE = 1.225 m
 EXPOSED WALL FACE = 1,140.46 sq. ft. (109.57 sq. m.)
 MAX. ALLOWABLE OPENINGS: 7% = 82.63 sq. ft.
 ACTUAL OPENINGS = 33 sq. ft. = 2.76%

BCDC 2018 Division B - Part 8
Table 9.10.15.A.1150.45
Over 100 m2, 1.2 to LD = 7%

[illegible]

Future Home Designs
 44741 Markham Rd. #200
 200331 Duncan Way
 Berkeley CA 94703
 Phone # (770) 213-9251
 Cell # (904) 692-5115



BUILDING 4 ELEVATIONS

Project: Hillside Terrace Townhouses
Client: Debbie McGregor
Address: 1910 11 Ave NE, Salmon Arm

DRWN. BY:

W.E.

DATE:

2021-06-23

SCALE:

$$1/4'' = 1' 0''$$

PAGE:

29 OF 29

SHEET:

A-4.07



Rendering colors could vary
depending on availability of
colours & supplier used

HILLSIDE TERRACE - NOVEMBER 9, 2021

Sign for Hillside Terrace will be 40" wide x 50" height. The font will be in a maroon colour, and the background will be a light cream. The sign will be made of a metal and wood application, and will be attached between the two posts.





PROJECT:
Hillside Terrace Townhouses

ADDRESS:
1910 11th Ave NE, Salmon Arm

DATE:
29 November 2021

- KEY:
- Asphalt
(Roads & Driveways)
 - Concrete
 - Synthetic Turf
 - Landscape Rock/Gravel
 - Dry River Bed
 - Mulch
 - Garden Bed
 - Posts & Split Rail Fence
 - 6 ft High Posts & Fence

- SHRUBS
- 6 - Dwarf Mugo Pine (*Pinus Pumilio*) 5g
 - 3 - Burling Bush (*Euonymus Alatus Compactus*) 5g
 - 2 - Lilac President Grevy (*Syringa Vulgaris*) 5g
 - 3 - Lilac Bloomerange (*Syringa Vulgaris*) 2g
 - 10 - Sunbath Barberry (*Berberis*) 2g
 - 9 - Concorde Barberry (*Berberis*) 2g
 - 6 - Panther Ninebark (*Physocarpus*) 2g
 - 11 - Spirea Magic Carpet 2g
 - 3 - Dogwood Ivory Halo 2g
 - 2 - Yellow Twig Dogwood 2g

- PERENNIALS
- 24 - Karl Foerster (*Calamagrostis acutiflora*) 2g
 - 26 - Hidcote Lavender (*Lavandula angustifolia*) 1g
 - 15 - Beyond Blue Fescue 1g

- TREES
- 1 - Alaskan Weeping Cedar 2.5m
 - 1 - Berliner Weeper Spruce (*Picea Omorika*) 1.5m
 - 1 - Colorado Blue Spruce (*Picea Pungens*) 2.5m
 - 1 - Weeping Birch (*Betula Pendula*) 15g

Landscaping Rocks



Example of Split Rail Fence

Synthetic Turf

5,250 square feet

Sterilized sand

Nails 6"

Bender board

¾ minus road crush for base that needs to be 4 inches thick

x \$48,200 material cost

y \$30,000 labor cost

Trees, Shrubs, Perennials, Garden Soil and Bark Mulch

6- Dwarf Mugo Pine

8 Burring Bush

2 Lilac President Grevy

3 Lilac Bloomerange

10 Sunsation Barberry

9 Concord Barberry

6 Panther Ninebark

11 Spirea Magic carpet

3 Dogwood Ivory Halo

2 Yellow twig Dogwood

24 Karl Forester

26 Hidcote Lavender

15 Beyond Blue Fescue

1 Alaskan Weeping Cedar

1 Berliner Weeper

1 Colorado blue spruce

1 Weeping Birch

84 yards of Garden mix soil

60 yards of Bark Mulch

y \$17,880 material cost

y \$13,120 Labor cost

Decorative Rock, Boulders, Cobble Stone and River Rock

- 48 yards of Decorative Rock
- 12 yards of Boulders
- 24 yards of Cobble Stone
- 24 yards of River Rock
- 3 rolls of commercial fabric
- * \$6,280. Material cost
- * \$6000. Labor cost

GST

Total	121,480.00	6,074.00	127,554.00
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✕

Landscape Details:

Backyards range from 19' – 21.5' depth Widths are 15.7' average (15'10 & 15'4")
 Front-yards range from 20.7' – 22.3' depth Driveway width 12' & walkway/garden ave. 3'7" width
 Flanking the driveways is approx. 10' landscape gravel/rock with plants, 5' grass & 5' concrete walkway

Smaller backyard grass areas are 15' depth X 13' width (7 smaller yards)

Larger backyards grass areas are 15' depth X depth X width (6 larger yards)

Largest back yard grass areas are 15' depth X 18' width Plus one piece 14' X 9' (2 largest yards)

*The pieces of grass cut-out for the patios should leave enough extra to do the 5' X 4" areas along the driveways and part of the largest backyards where seams will be required.

Backyard garden areas are 4.5 depth X 15.7' (average) Plus a section 2
 X 5' along the one side:

Bldg 1 will be 4' depth of dirt, Bldg 2 will be 6' dirt, and Bldgs 3 & 4 will be 4' depth of dirt

Front Grass area:

The Eastside along 11th Ave NE should require one 50' X 15' Roll of artificial grass

The Westside along 11th Ave NE should require one 50' X 15' roll of artificial grass, as it tapers.... seam will be required.

Landscape Details:

Backyards range from 19' – 21.5' depth Widths are 15.7' average (15'10" & 15'4")

Front-yards range from 20.7' – 22.3' depth Driveway width 12' & walkway/garden avg. 3' 7" width

Flanking the driveways is approx. 10' landscape gravel/rock with plants, 5' grass & 5' concrete walkway

Smaller backyard 'grass' areas are 15' depth x 13' width (7 smaller yards)

Larger backyard 'grass' areas are 15' depth x 19' width (6 larger yards)

Largest backyard 'grass' areas are 15' depth x 18' width PLUS one piece 14' x 9' (2 largest yards)

*The pieces of grass cut-out for the patios should leave enough extra to do the 5' x 4' areas along the driveways and part of the 'Largest' backyards (where seams will be required)

Backyard concrete patios are 9' x 9'

Backyard garden (dirt) areas are 4.5' depth x 15.7' (average) PLUS a section 2' x 5' along the one side:

Bldg 1 will be 4' depth of dirt, Bldg 2 will be 6' dirt, and Bldgs 3 & 4 will be 4' depth of dirt

FRONT GRASS area:

The Eastside along 11th Ave NE should require 'one' 50' x 15' roll of artificial grass

The Westside along 11th Ave NE should require 'one' 50' x 15' roll of artificial grass, as it tapers... seam will be required.

Artificial Turf Rolls are 15' wide and 50' in length -> our yards have 15' depths

*Based on the above, we should need 7 rolls of turf



HIGHWAY

Subject Property

Parcels

Institutional

Residential - Medium Density

Residential - High Density

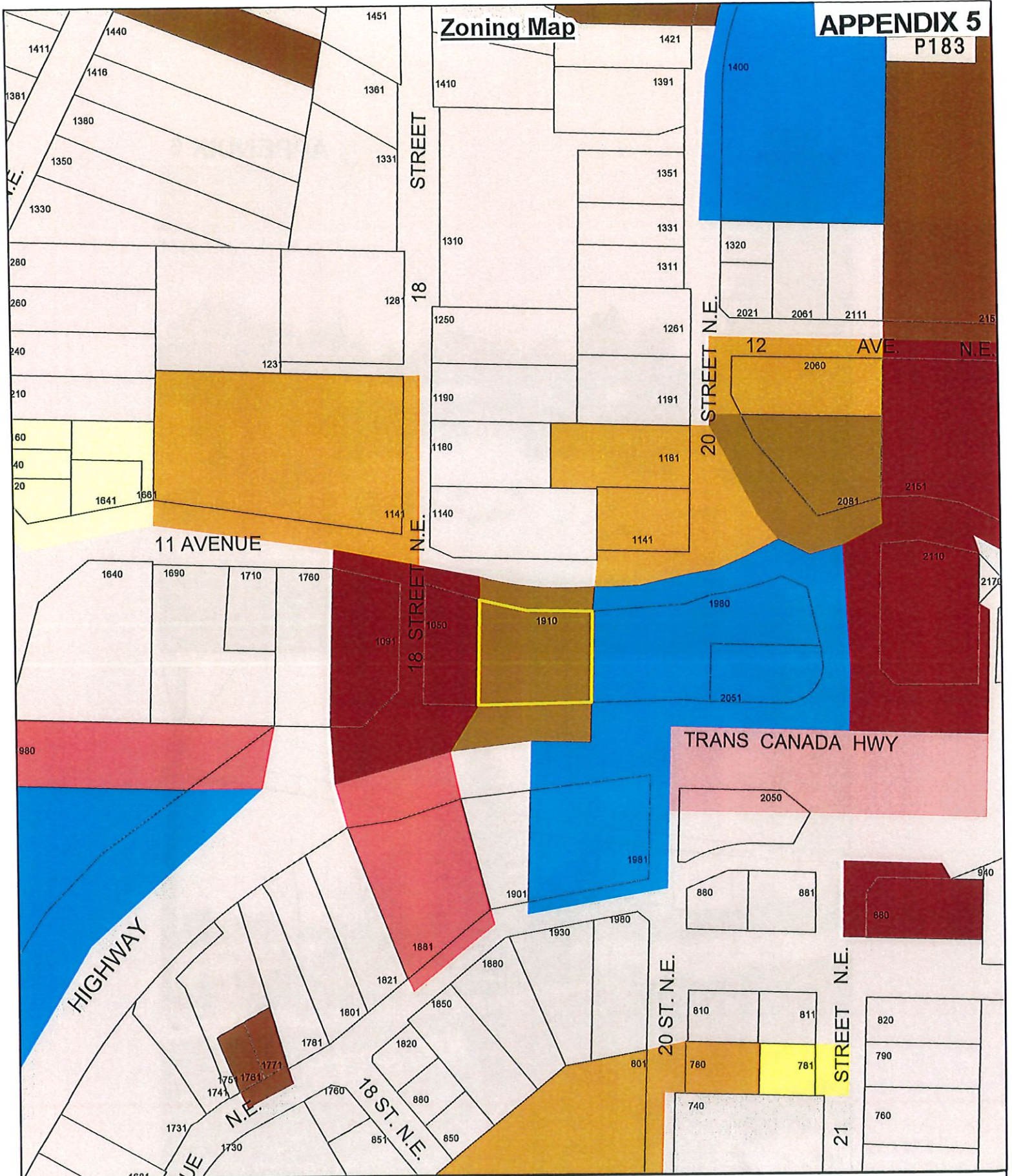
Commercial - Highway Service / Tourist



0 12.5 25 50 75 100 Meters

Zoning Map

APPENDIX 5
P183



Subject Property

Parcels

C-3 R-1

C-5 R-2

C-6 R-4

CD-7 R-5

P-3 R-8



0 12.525 50 75 100
Meters

APPENDIX 6





APPENDIX 7

Present: Paul Burrows (Panel Member)
 Trent Sismey (Panel Member)
 Marc Lamerton (Panel Member)
 Dennis Lowe (Panel Member)
 Bill Laird (Panel Member - Chair)
 Chris Larson (Senior Planner)
 Evan Chorlton (Planner)

Applications: Development Permit Applications No. DP-429, DP-437, DP-438, and DP-439

Application No. DP-429

981 12 Street SE and 1017 10 Avenue SE – Terra Civis Inc. & Heydewerk Homes Ltd.

Staff provided an overview of the proposal under the current application. Panel members discussed the proposal and the need for housing. The height variance requested was noted as reasonable based on terrain conditions. The DRP discussed how the proposed design is fairly simple and relatively utilitarian in terms of the site layout. The DRP does not support the individual garbage/recycling collection shown and recommends a fenced/screened community collection point. An opportunity for increased landscape screening is suggested, particularly adjacent the daycare site, while some form of cladding is suggested to enhance the sides of the carports on buildings D and E. With these considerations, the DRP is supportive of the proposal as such:

Panel Recommendation

THAT the DRP supports application DP-429 subject to the consideration of the following conditions:

the inclusion of a screened and shared garbage/recycling area,
 the inclusion of additional landscaping for privacy along shared parcel lines (particularly at the daycare),
 and
 the inclusion of some form of cladding to screen the outer sides of the Building D and E carports.

Application No. DP-437

700 30 Street NE – TSL Development Ltd. (Avex Architecture)

Staff provided an overview while the designer detailed the proposal under the current application. Panel members discussed the proposal and the need for a range of housing. The panel was favourable to the design presented, noting landscaping and privacy fencing. The setback variance was not of concern. The DRP discussed how the proposal is a great example of multi family design, complimenting the form of the buildings and noting how the area is well-suited to such a multi-family proposal. The DRP is supportive of the proposal as presented.

Panel Recommendation

THAT the DRP supports application DP-437 as presented noting the high quality design.

APPENDIX 7**Application No. DP-438****1910 11 Avenue NE – McGregor and Eldoros**

Staff provided an overview of the proposal under the current application. Panel members discussed the proposal and the need for housing. The setback variance requested was noted as minor and not of concern. The DRP discussed the simple site layout and conventional design, positively noting the range in the facades and finishes proposed. The DRP recommends including a fenced/screened community collection point while the inclusion of increased landscape screening is suggested, particularly adjacent the RCMP and TCH. Relative to the prominent position of this property, some form of enhancement to the somewhat blank north and south building facades is recommended to enhance the visual impact of this development relative to the adjacent streetscapes. With these considerations, the DRP is supportive of the proposal as such:

Panel Recommendation

THAT the DRP supports application DP-438 subject to the consideration of the following conditions:

the inclusion of a screened and shared garbage/recycling area,
the inclusion of additional landscaping for privacy along the RCMP and TCH parcel lines, and
the inclusion of some enhancements to the exterior buildings facades along the TCH and 11 Ave.

Application No. DP-439**2430 10 Avenue (TCH) SW – Bremmvic Holdings Ltd.**

Staff and the applicant provided an overview of their project. Panel members discussed the proposal and the need for storage relative to commercial use, the positive effort to clean up the site and address non-conforming uses. It was noted that setback variances have been requested and there may be related storm water concerns. The DRP is supportive of the proposal as presented.

Panel Recommendation

THAT the DRP supports application DP-439 as presented.



Endorsed on behalf of Design Review Panel

APPENDIX 8

TO:	Kevin Pearson, Director of Development Services
DATE:	January 27, 2022
PREPARED BY:	Mustafa Zakreet, Engineering Assistant
APPLICANT:	TSL Developments Ltd
SUBJECT:	DEVELOPMENT PERMIT AMENDMENT APPLICATION No. DP- 438
LEGAL:	Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 5510, Except Plan 14376, 24326 and KAP 48014
CIVIC:	1910– 11 Avenue NE

Further to your referral dated January 27, 2022, we provide the following servicing information.

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. At the time of development, the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
8. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer.
9. For the off-site improvements at the time of development the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work.

SUBDIVISION APPLICATION FILE: DP-438

January 27, 2022

Page 2

These plans must be prepared by a qualified engineer. As a condition of development approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 11 Ave NE, on the subject property's northern boundary, is designated as an Urban Local Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
2. 11 Ave NE is currently constructed to an Interim Local Paved Road standard. Upgrading to an Urban Local Road standard is required, in accordance with Specification Drawing No. RD-2. Upgrading may include, but is not limited to sidewalk and street lighting. Owner / Developer is responsible for all associated costs.
3. Trans-Canada Highway on the subject property's southern boundary is a provincial controlled access highway. Additional dedication/improvements will be determined by Ministry of Transportation.
4. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
5. As 11 Avenue NE is a high-traffic roadway only one access will be permitted. Internal roads shall have an appropriate turn-around to accommodate emergency and service vehicles. The existing driveway / letdown shall be removed. Owner / Developer responsible for all associated costs

Water:

1. The subject property fronts a 200mm diameter Zone 2 watermain on 11 Ave NE. No upgrades will be required at this time.
2. The proposed development is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of development, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by an unknown service from the 200mm diameter watermain on 11 Ave NE. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. Bare Land Strata developments with ground oriented access have the option of a bulk water meter installed at property line at time of subdivision with invoicing to the Strata Corporation or individual strata lot metering with invoicing to each strata lot (currently on an annual flat

SUBDIVISION APPLICATION FILE: DP-438

January 27, 2022

Page 3

rate). To qualify for the second option each unit requires a separate outside water service shut-off connected to the onsite private water main. Contact Engineering Department for more information. All meters will be provided at time of building permit by the City, at the owner/developers cost.

5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012)..
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.

Sanitary:

1. The subject property fronts a 200 mm diameter sanitary sewer on 11 Ave NE. No upgrades will be required at this time.
2. The subject property is serviced by a service of unknown size from the 200mm diameter sanitary sewer on 11 Ave NE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
3. The proposed development is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
4. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016).

Drainage:

1. The subject property fronts a 525 mm diameter storm sewer on 11 Ave NE. No upgrades will be required at this time.
2. Records indicate that the existing property is not serviced by a storm service. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced

SUBDIVISION APPLICATION FILE: DP-438

January 27, 2022

Page 4

(each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design).



Mustafa Zakreet
Engineering Assistant



Jenn Wilson P.Eng., LEED® AP
City Engineer

APPENDIX 9



Item 22.2

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Variance Permit No. VP-551 be authorized for issuance for Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17865 to vary Zoning Bylaw No. 2303 as follows:

1. Section 4.15.1 – Front Parcel Line Setback reduction from 6.0 metres to 5.3 metres to facilitate construction of a swimming pool on this property.

[Marshall, R. & N.; 1920 2 Avenue SE; Setback requirements]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

To: His Worship Mayor Harrison and Members of Council

Date: March 15, 2022

Subject: Development Variance Permit Application No. VP-551 (Setback)

Legal: Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17865
Civic Address: 1920 2 Avenue SE
Owner/Applicant: R. & N. Marshall

STAFF RECOMMENDATION

THAT: Development Variance Permit No. VP-551 be authorized for issuance for Lot 8, Section 13, Township 20, Range 10, W6M, KDYD, Plan 17865 to vary Zoning Bylaw No. 2303 as follows:

Section 4.15.1 Front Parcel Line Setback reduction from 6.0 m to 5.3 m to facilitate construction of a swimming pool on this property.

PROPOSAL

The subject parcel is located at 1920 2 Avenue SE (Appendices 1 and 2). The proposal is to construct a swimming pool in the front yard, north of the existing single family dwelling and south of the existing vegetation (Appendix 5). Due to the orientation/position of the existing single family dwelling and the steep slopes/terrain on the southern portion of the property, the proposed location of the swimming pool requires a front parcel line setback variance from 6.0 m to 5.3 m along the north property line.

BACKGROUND

The parcel is designated Medium Density Residential (MR) in the City's Official Community Plan (OCP) and is zoned R1 (Single Family Residential Zone) in the Zoning Bylaw (Appendices 3 and 4). The subject property is located just off of 20 Street and has frontage onto 2 Avenue SE. This area consists entirely of residential uses. Nearby uses include the Playcare Early Childhood Centre to the northwest, Hillcrest Elementary School to the south, with Shuswap Middle School and Little Mountain Fieldhouse to the east.

Land uses directly adjacent to the subject property include the following:

North:	Single Family Dwelling	Zoned R1
South:	Single Family Dwelling	Zoned R1
East:	Single Family Dwelling	Zoned R1
West:	Single Family Dwelling	Zoned R1

The property is 0.34 ac in area/size and currently contains a single family dwelling (with a carport and deck) and two sheds. The property owner/applicant is proposing a new 12' x 32' (384 ft²) swimming pool on the property. Asides from Section 4.15.1 of the Zoning Bylaw, the proposal meets all other zoning regulations.

Site photos are attached, as Appendix 6.

COMMENTSFire Department

No concerns.

Engineering Department

No concerns.

Building Department

No concerns. Building Permit required for siting only.

FortisBC

No issue with this proposal.


Planning Department

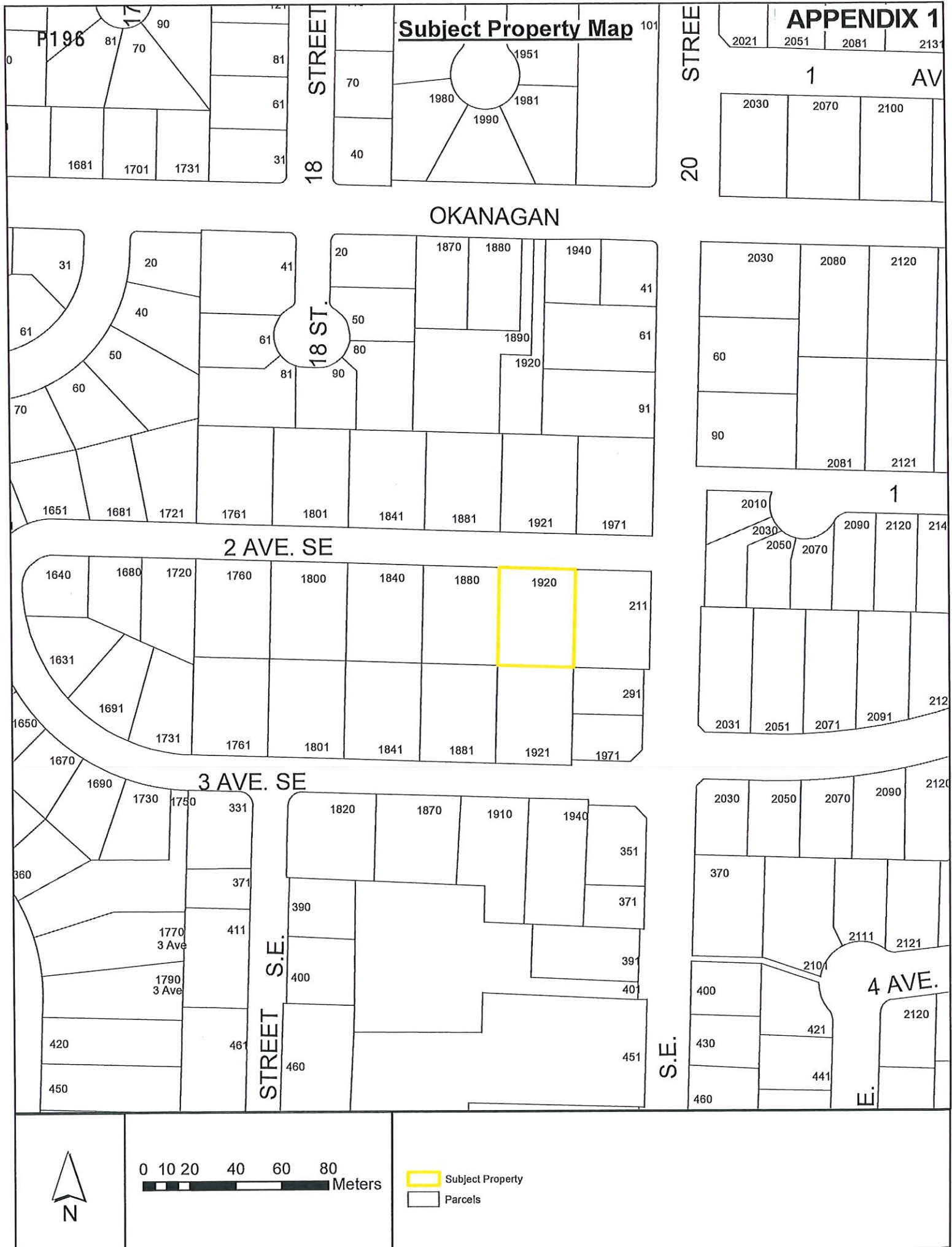
Development Variance Permits are considered on a case-by-case basis, and in doing so, a number of factors are taken into consideration. These factors include site-specific conditions, such as lot configuration, negative impact to the general form and character of the surrounding neighbourhood and negative impact(s) on adjacent properties.

As described in the letter submitted by the owner/applicant (Appendix 7), the owner wishes to install an in-ground swimming pool. Due to a number of factors, the installation would encroach into the front parcel line setback by approximately 22" (or 0.56 m). Some of the reasons why the owner is requesting a variance include a) the single family dwelling is situated on an angle, meaning the area in question is an odd shape; b) the owners would like the proposed swimming pool to be in a proper parallel position to the single family dwelling; c) the owners wish to maintain the existing landscaping and vegetation, and; d) the southern portion of the lot is sloped in such a way that it is not possible to install a swimming pool.

Historically, there have been two (2) other Variance Permits issued on 2 Avenue SE (Vp-428 in 2015/2016 and VP-529 in 2021). Both of these VP applications were to also vary one or more setbacks. Additionally, another similar variance for a swimming pool/setbacks (VP-402; 1180 23 Avenue SW) was issued in 2014, which asked for a much greater setback variance of 6.0 m to 1.5 m.

The existing hedgerow acts as a good screening buffer, and the pool will be in-ground and thus will not provide any visual obstruction, while the setback reduction requested is relatively small (0.56 m). As such, staff feel that this variance request will not unreasonably or significantly affect the character of the parcel and have no concerns with this application.


Prepared by: Evan Chorlton
Planner I
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



OrthoMap

1881

1921

1971

HEDGE ROW

APPROXIMATE
LOCATION OF
SWIMMING POOL

1880

1920

21

291

1881

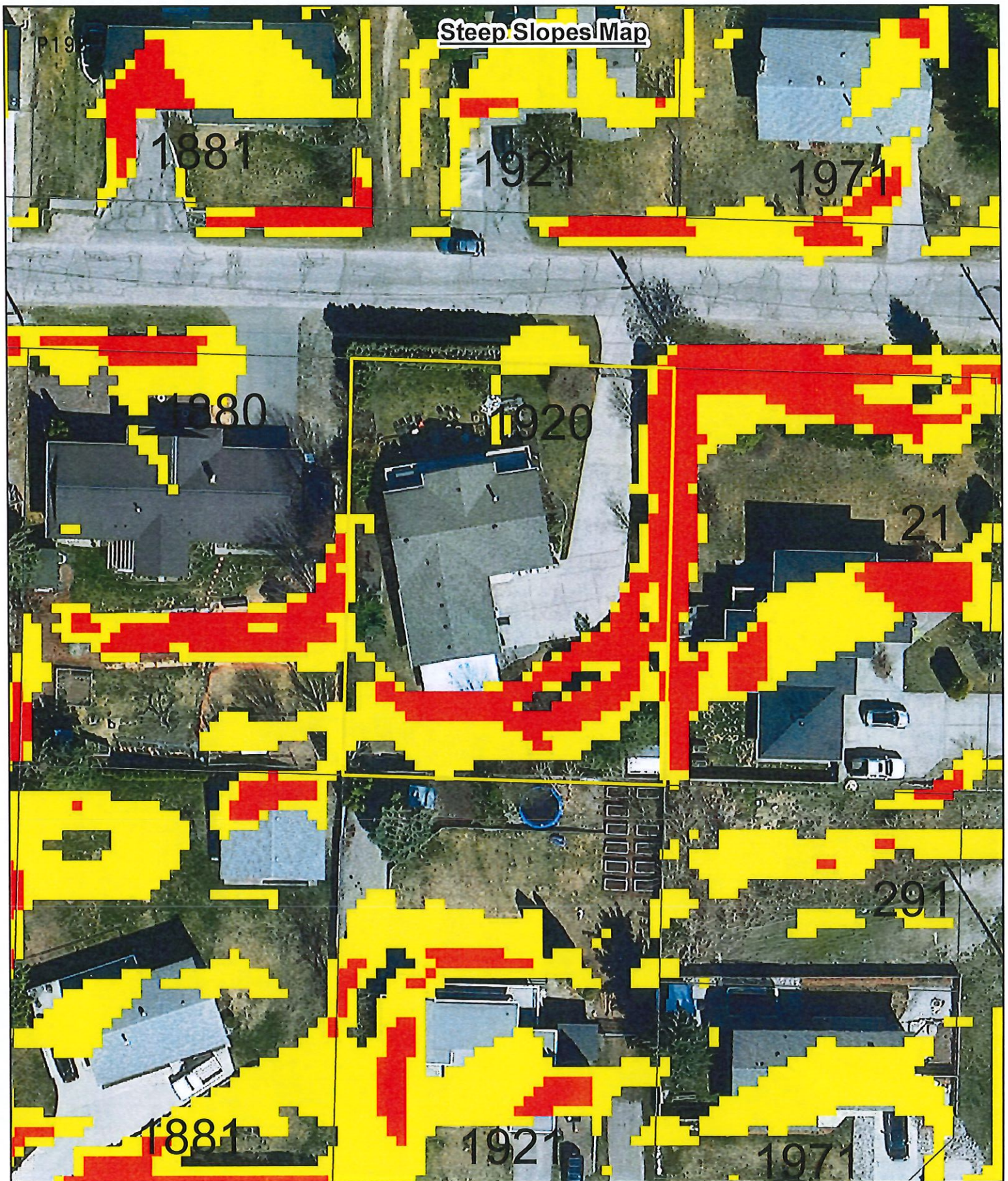
1921

1971



0 2.5 5 10 15 20 Meters

 Subject Property
 Parcels



0 2.5 5 10 15 20 Meters

-  20-30% Slope
-  >30% Slope
-  Parcels

OCP Map



0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- Neighbourhood Park
- Park
- Residential - Low Density
- Residential - Medium Density

Zoning Map

APPENDIX 4

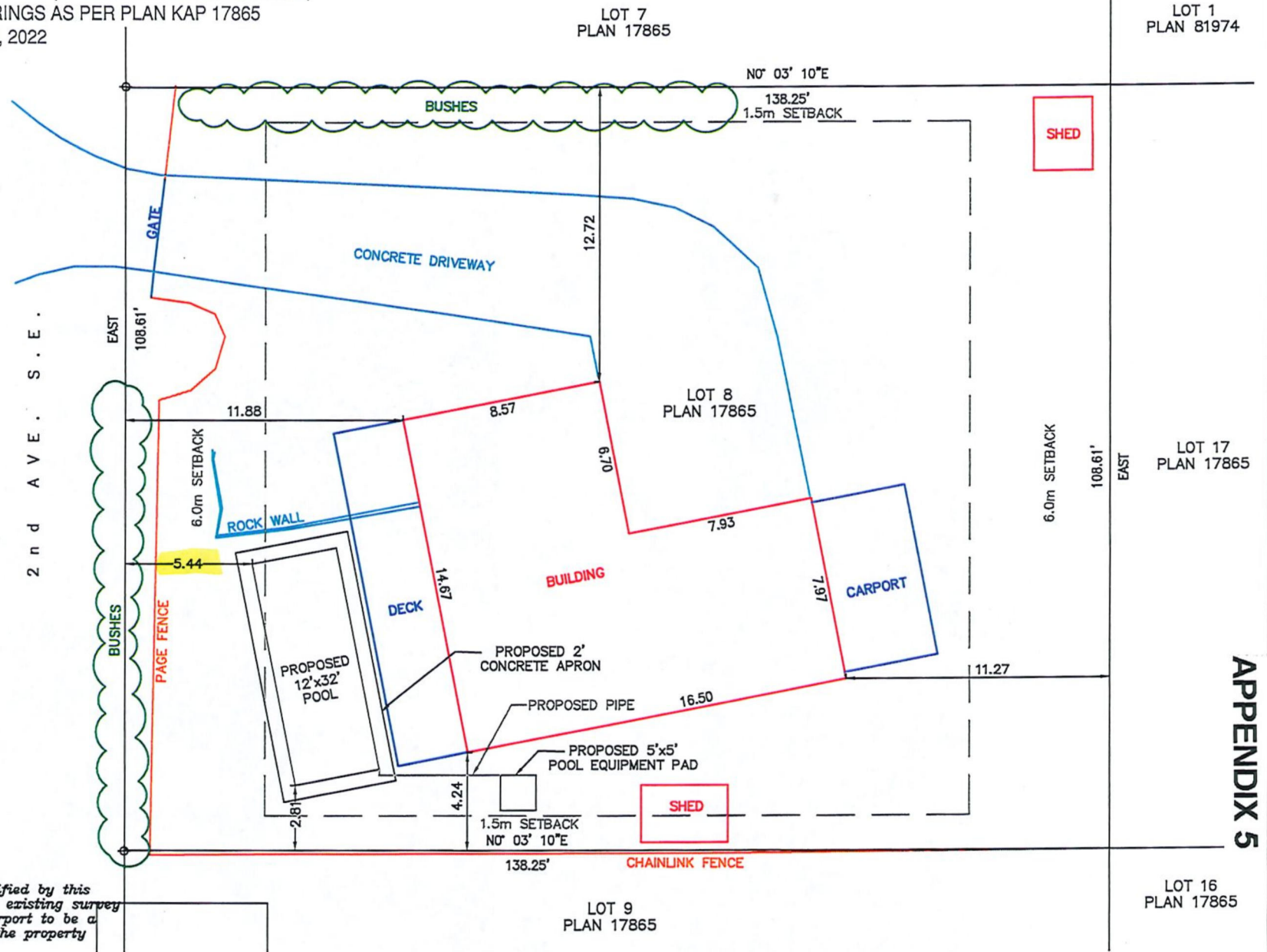


0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- R-1
- R-4
- R-8

NOTES:

- ALL DIMENSIONS ARE IN METERS (UNLESS NOTED OTHERWISE)
- LOT DIMENSIONS AND BEARINGS AS PER PLAN KAP 17865
- SURVEY COMPLETED FEB 9, 2022



The location of the features certified by this plan have been determined from existing survey monumentation and does not purport to be a location certified in relation to the property boundaries.



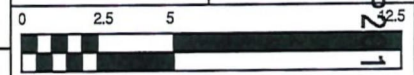
SALMON ARM, BC
(250) 832-6220
office@pinpointsurveying.com

CLIENT: ROB & NICOLE MARSHALL

PROJECT: PLOT PLAN - 1920 2nd AVE. SE, SALMON ARM

FILE: 22012

DRAWN BY: CW



SCALE 1:250

REVISION:

NO.: 1 OF 1

APPENDIX 5





Rob & Nicole Marshall
1920 - 2nd Ave SE
Salmon Arm, BC V1E 1T8
(250) 253-5889 (250) 804-3211

APPENDIX 7

February 22, 2022

City of Salmon Arm
Box 40, 500 – 2nd Ave NE
Salmon Arm, BC
V1E 4N2

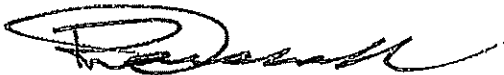
To Whom It May Concern,

Re: Application for variance – Rob & Nicole Marshall
1920 – 2nd Avenue SE, Salmon Arm – Inground Swimming Pool

Please accept this letter in support of a Variance Application for the above property to permit the installation of an inground swimming pool. This installation would encroach on the front property setback by approximately 22". This space is required for the following reasons: (a) that because the house is situated on an angle the area in question is an odd shape; (b) that the pool would be in a proper parallel position to the house; (c) that the existing hedge rows and landscaping ought to be maintained; (d) that the area to the rear of the lot is sloped and as such it is not possible to install a pool.

Thank-you for your consideration in this matter.

Regards,

A handwritten signature in black ink, appearing to read 'Rob & Nicole Marshall', with a large, stylized initial 'R'.

Rob & Nicole Marshall

Item 22.3

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Variance Permit No. VP-543 be authorized for issuance for Lot 1, Section 6, Township 20, Range 9, W6M, KDYD, Plan KAP78168 which will vary the following provisions of Subdivision and Development Servicing Bylaw No. 4163 for the development of an *accessory building* as permitted under the M-1 – General Industrial Zoning Regulations:

1. Section 5.4.2 – Waive the minimum watermain upgrade from 250mm to 200 mm; and
2. Section 5.8.1 – Waive the required fire hydrant installation of two (2) hydrants.

[0191711 BC Ltd./Dorward, C.; 4191 Auto Road SE; Servicing requirements]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council

DATE: March 10, 2022

SUBJECT: Development Variance Permit Application No. VP-543 (Servicing)
Legal: Lot 1, Section 6, Township 20, Range 9, W6M, KDYD, Plan KAP78168
Civic Address: 4191 Auto Road SE
Owner/Applicant: 0191711 BCLtd. / Dorward, C.

MOTION FOR CONSIDERATION

THAT: Development Variance Permit No. VP-543 be authorized for issuance for Lot 1, Section 6, Township 20, Range 9, W6M, KDYD, Plan KAP78168 which will vary the following provisions of Subdivision and Development Servicing Bylaw No. 4163 for the development of an *accessory building* as permitted under the M-1 – General Industrial Zoning regulations:

Section 5.4.2 - Waive the minimum watermain upgrade from 250mm to 200mm; and

Section 5.8.1 - Waive the required fire hydrant installation of two (2) hydrants.

STAFF RECOMMENDATION

THAT: Council defeat the Motion for Consideration and support the Staff Recommendation outlined in the Conclusion of this report, which notes support for:

Section 5.4.2 – Reduce the minimum watermain upgrade (cash in lieu contribution) from 100% (\$30,067.20) to 50% (15,033.60); and

Section 5.8.1 – Reduce fire hydrant installation from two (2) hydrants to one (1) hydrant.

PROPOSAL

The owners submitted a Building Permit application on February 10, 2020 for a 60 x 60 foot accessory building at 4191 Auto Road SE (Appendix 1) with a declared value of \$100,000. This application triggered upgrades as required by Subdivision and Development Servicing (SDS) Bylaw No. 4163. The required upgrades required include watermain upsizing and fire hydrant installation (no frontage road works required).

The accessory building has been constructed under Building Permit after the applicant paid the associated Development Cost Charges (\$10,960.45) and bonded for the required works (\$59,307.20). The applicant has requested (November 19, 2021) that Council vary all of the SDS Bylaw provisions. A letter of rationale has been provided (Appendix 2).

BACKGROUND

The subject parcel is located just south of the CSRD landfill and north of the Industrial Park, at the northern extent of the industrial area along Auto Road SE. The subject parcel is screened with existing

vegetation and is approximately 4 acres in size, with existing industrial / commercial development on the property.

The parcel is designated "General Industrial" in the City's Official Community Plan (OCP), is within the Urban Containment Boundary, and is zoned General Industrial (M-1) in the Zoning Bylaw (Appendix 3 & 4). The uses "recycling depot" and "office, storage building, workshop and yard for general contractor" are permitted within the M-1 zone. Site photos are attached as Appendix 5.

COMMENTS

Engineering Department

Detailed comments are attached as Appendix 6. The SDS Bylaw requires a watermain upgrade (200mm to 250mm) and the installation of two fire hydrants. Subsequent to the original referral response and based on additional information, Engineering is in agreement based on the responses from the Fire/Building Department to reduce the required hydrant installation from two to one.

Building Department

Part 9 building therefore no requirement for hydrant within 45m of principle entrance.

Fire Department

Suggest one hydrant between two existing.

Planning Department

The applicant is requesting variances to the Subdivision and Development Servicing Bylaw No. 4163 to accommodate development permitted by the present M-1 zoning. OCP policy 13.3.6 is to upgrade the capacity of services in existing serviced areas to accommodate effective redevelopment, while OCP policy 13.3.18 is to address deficiencies in fire flows via subdivision or development approval. Furthermore, given the M-1 zoning, the parcel does not qualify for exemptions. Thus, full frontage and servicing upgrades are triggered including water main upgrades and fire hydrant installation.

The purpose behind servicing requirements is to ensure that properties under development are connected to the municipal systems, and to ensure that each system (water, sanitary and storm sewers) is extended to the boundary of an adjacent property to mitigate any gaps in the systems. The larger the gap, the more expectation there is that the City should either take on the works and services to facilitate development, or allow for a reduction in standards. The subject property is in an area with a history of service requests for improvements, yet it is adjacent to the Acreage Reserve rural area where a lower service level is required when compared to parcels within the Industrial Area.

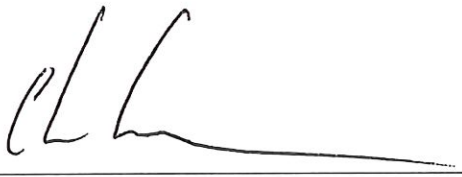
Staff note the potential benefits related to aesthetic improvements from the proposed accessory building which would serve to contain and to improve upon an existing use, rather than to enable a new use of the subject property. Should the owner choose to undertake additional future development, service upgrades will be required to the full standard of the SDS bylaw, with or without a Covenant.

Bonding for the required service and frontage works was \$59,307.20. Relative to the watermain requirement, the City is holding \$30,067.20. Should Council support the staff recommendation, a reduction of 50% would amount to \$15,033.60, which would remain in an account for future main upgrading. Related to the hydrants required, the City is holding \$29,240 which is the estimated cost to install 2 hydrants, including 25% contingency. Should Council support the staff recommendation, the City would use this money to install one hydrant under a charge out account, and then refund whatever amount is left over to the owner.

CONCLUSION

Noting the City's ongoing participation in the Fire Underwriters Survey, the need to avoid service gaps and to provide expected levels of service, as well as OCP policy; staff have recommended against the Motion.

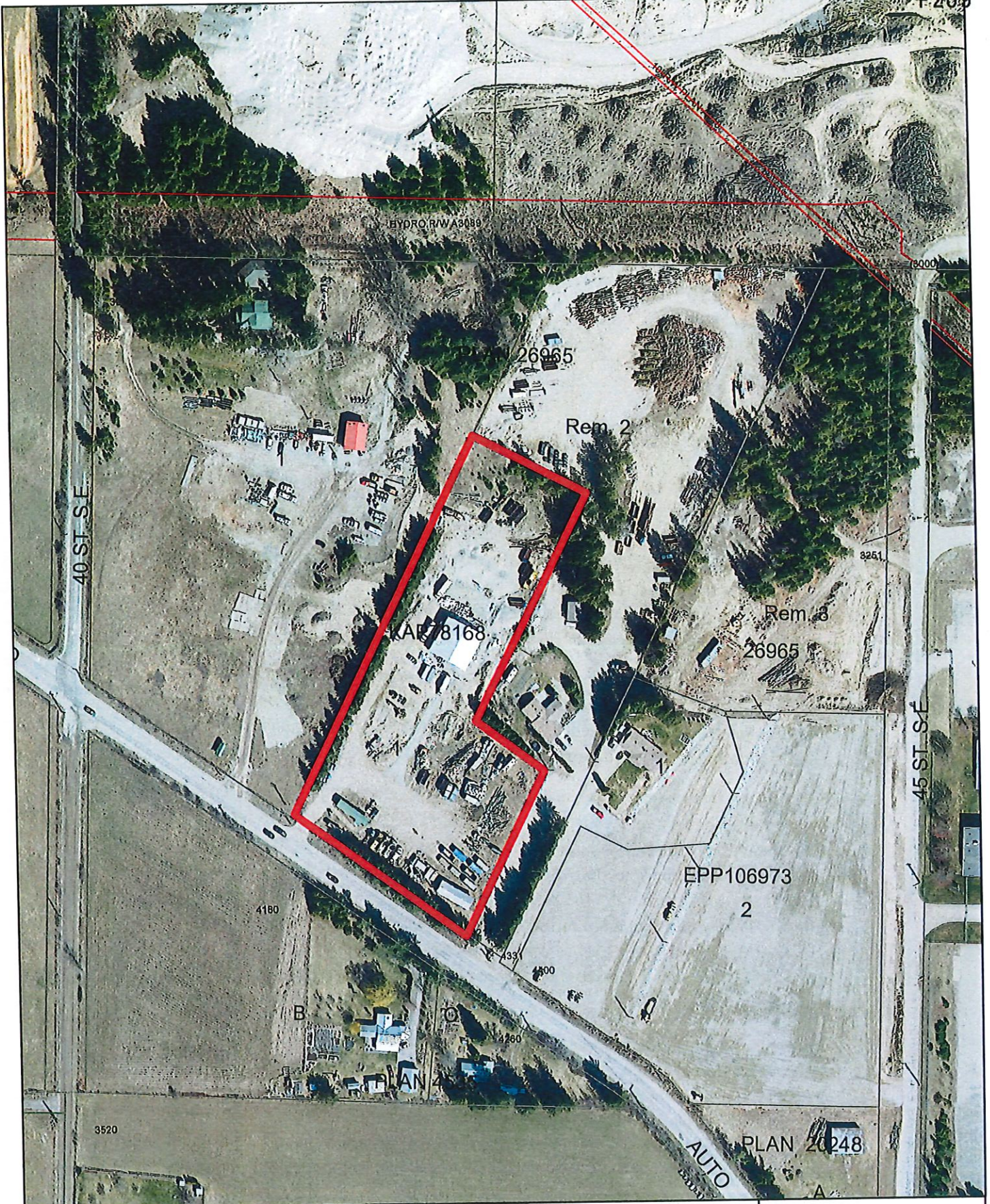
However, staff recognize the rationale behind the requested variances given the scale and cost of the proposed development, the location of the subject parcel adjacent rural lands, and have thus provided Council with a recommendation to consider, noting support for a 50% reduction for the water main and reducing the fire hydrant requirement from two to one hydrant installed.

A handwritten signature in black ink, appearing to be 'CL', followed by a horizontal line.

Prepared by: Chris Larson, MCIP, RPP
Senior Planner

A handwritten signature in blue ink, appearing to be 'Kevin Pearson', followed by a horizontal line.

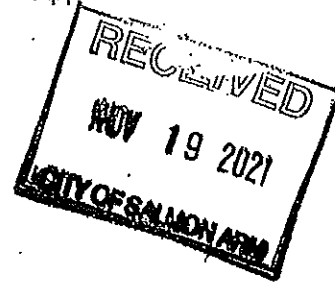
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



0 30 60 120 180 240 Meters



Subject Parcel



March 8, 2021

0191711 BC Ltd.
4191 Auto Road, Salmon Arm, BC

City of Salmon Arm
500 2nd Avenue NE Salmon Arm, BC

Dear Mayor and Council,

We are writing with respect to a Variance Permit pertaining to costs levied by the City in regards to a building permit we have been issued at 4191 Auto Road SE. The permit is to allow the construction of a basic covered structure measuring 60 ft by 60 ft. The primary use is an unheated covered work area (2/3) to facilitate the consolidation of recycling materials collected in the City and the surrounding region so that they can be efficiently hauled to the appropriate processing facilities. The remainder 1/3 houses an office, washroom, and one bay shop. The cost of the building is in the \$200,000 to \$250,000 range.

Our application for variance is based upon two separate reasons. The first pertains to the aggregate value of the fees levied by the City in relation to the value to the proposed improvements and the second is based upon the history of the City's involvement in our search for a suitable property on which to locate our business.

As the value of our improvements are minimal we feel the levied fees are disproportionate and punitive in nature. Through our past experience we understand the need for off site works or DLC's when increasing densities or during land development but the fact of the matter is that this is an existing lot. The building permit requires a ¾ inch water line which is already in place to the property. The City's reason for the proposed upgrades from a 6 inch water line to an 8 inch waterline is to enhance development further past our property. Is this not what DLC's are meant to capture and should those costs not be borne by those looking to develop land? As a whole the DLC's themselves represent a large cost given the scope of our planned work and the off site works seem completely out of line.

The opportunity to charge for new upgrades to City infrastructure, unless a land owner anticipates above normal usage, should be as new lots are created as this increases density and an increase in demand. If new services (ie. Sewage) are brought into an area with existing lots it would be understandable for fees to be charged for existing lots but that is not case here. As stated, our lot has an existing service fed from the municipal system. If the main in front of our property is no longer sufficient to service the increased demand further down the line, why is it we are being held responsible to pay for their development?

0191711-BC Ltd

Part of the DCC's were for two fire hydrants. The only reason there are two required is because we are less than one meter over the allowable distance between hydrants. Once these hydrants are placed (or even if just one is), our neighbours will not be required to pay for any as they develop their property. Their land use is the same as ours and their property is actually larger than ours; however, since they have a panhandle lot that opens up behind ours, they have minimal frontage. Burdening our property with the full cost of the improvements is unfair to say the least. They will have access to the same services at only a small fraction of the cost. They will have no hydrant costs and they will only have to pay a very small amount for the upgraded water main as they have minimal frontage.

When we purchased Cheap Garbage in December of 2017, we concurrently needed to find a suitable property on which to relocate the business to as we were committed to keeping it locally operated. At that time we researched various areas and found nothing suitable that was already zoned industrial and was available for purchase or lease. In our research and subsequent discussions with City staff (who were always very helpful) we were advised there was a block of land that was designated industrial in the OCP that was located between 10th Ave SE and 20th Ave SE. We were told there was decision on file with the Agricultural Land Commission that allowed for removal of the land from the ALR as they had previously endorsed the City's OCP designation for this land. We reviewed the old information and decision with City staff and made the choice to move forward with the purchase of the property located at the corner of 10Ave SE and Highway 97A.

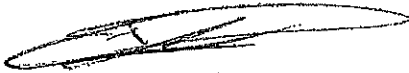
We moved our trucks, equipment and supplies onto the property and invested time and resources to make the property usable while we awaited the formal exclusion from the ALC, which was supposed to be a mere formality based on the documents provided by the City. We submitted the fees and completed the required documents to get that process moving. In the fall of 2018 we received notification from the ALC that they would not grant our application for exclusion from the ALR as they had documentation that stated their endorsement of the City's OCP did not cover the properties that fronted Highway 97b. As it turns out the original decision on file with the City was not complete as a letter was missing that outlined the limits of the ALC endorsement. In our case this missing document means that we could not use the property for the required purpose. Fortunately for us and the City we had left a subject condition in our purchase agreement that allowed use to back out of the deal. Unfortunately we had already relocated all our assets to the property and had done some property upgrades (limited excavations, gravelling, drainage works etc).

Our inability to utilize the property forced us to relocate and this is when we purchased the subject property. Although we do not blame current staff at City Hall, the lack of accurate information we received (due to incomplete historical records), has cost our company

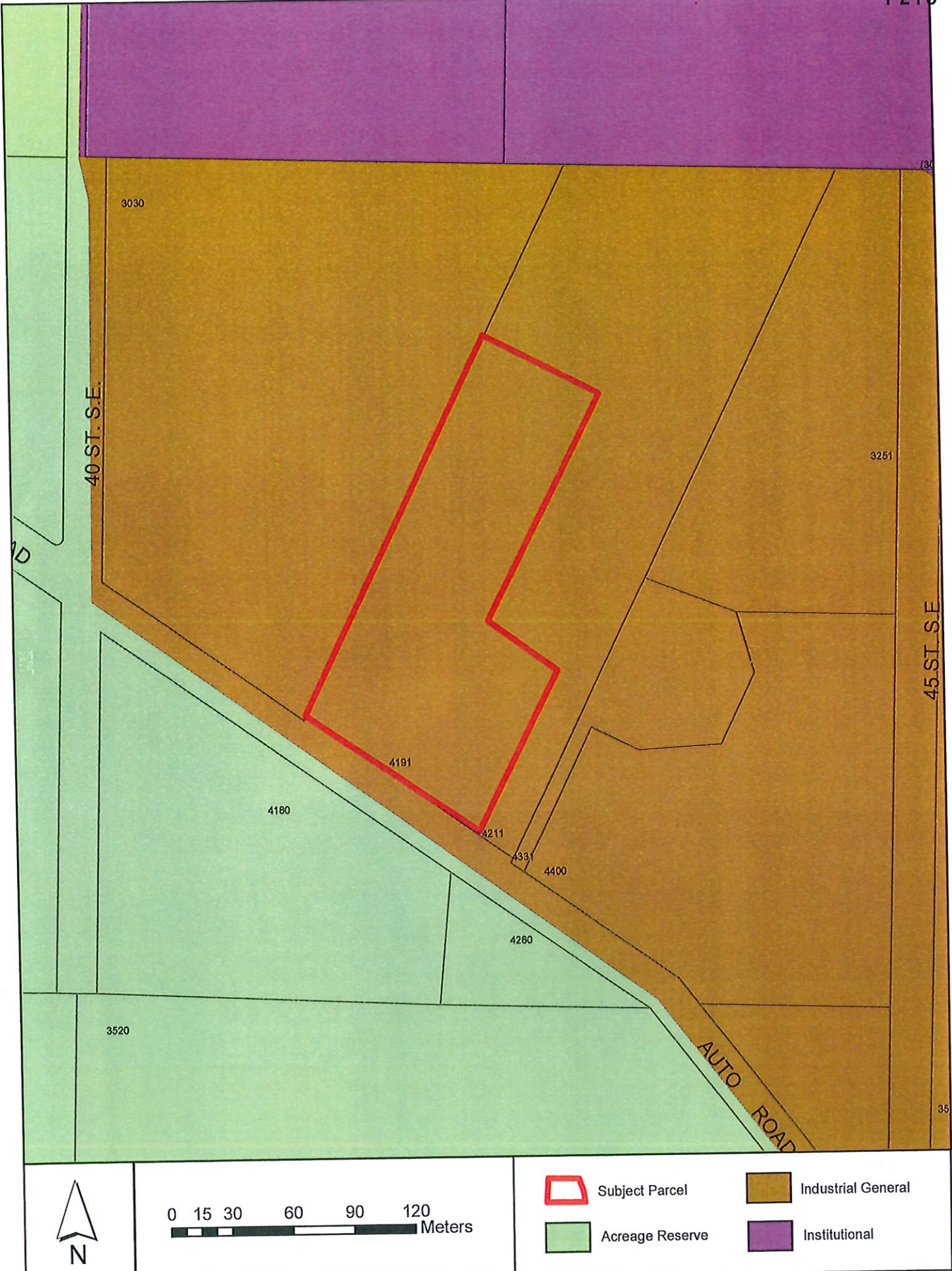
significantly. The extra moving costs, wasted site improvements, and the increased purchase price (based on cost per acre) of our current location exceed \$175,000. This extra cost does not even include the DCC's that you have charged.

We do apologize for the time it has taken to submit this application and appreciate the cooperation of City staff who have always been very understanding and accommodating. That being said we feel the historical mistakes of the City pertaining to the records kept regarding the exclusion of the property on Hwy 97B and used to prepare the OCP for that area must be considered heavily in this application for variance. In addition, the policies with which existing properties are assessed DCC's are, in our opinion, unjust and punitive. Based on either or both of these issues, we strongly believe that we should not be responsible for the costs of the off site works and as such request that you find in favour of our variance application. We are committed to growing our business and investing locally but want to be treated fairly.

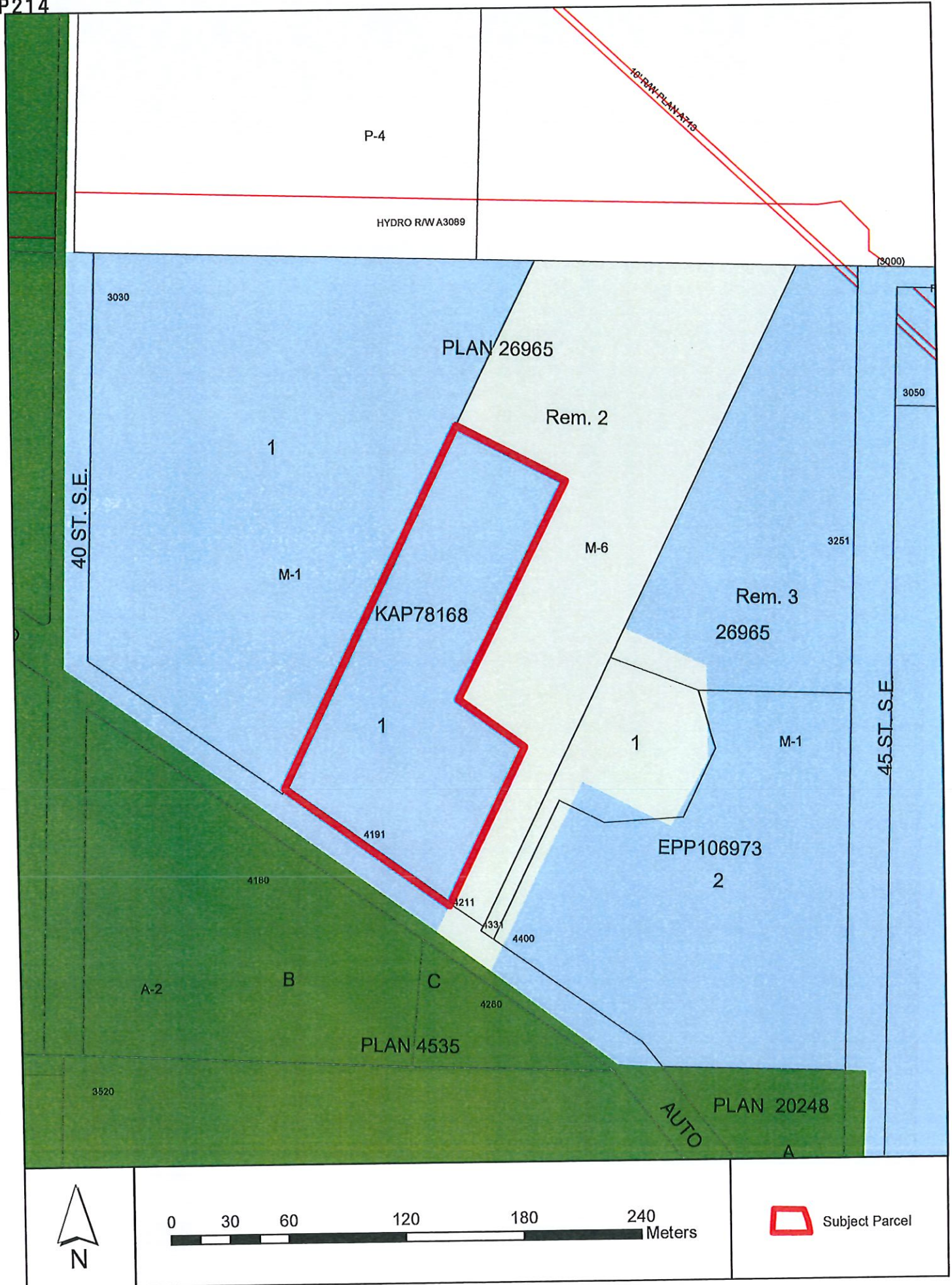
Respectfully,

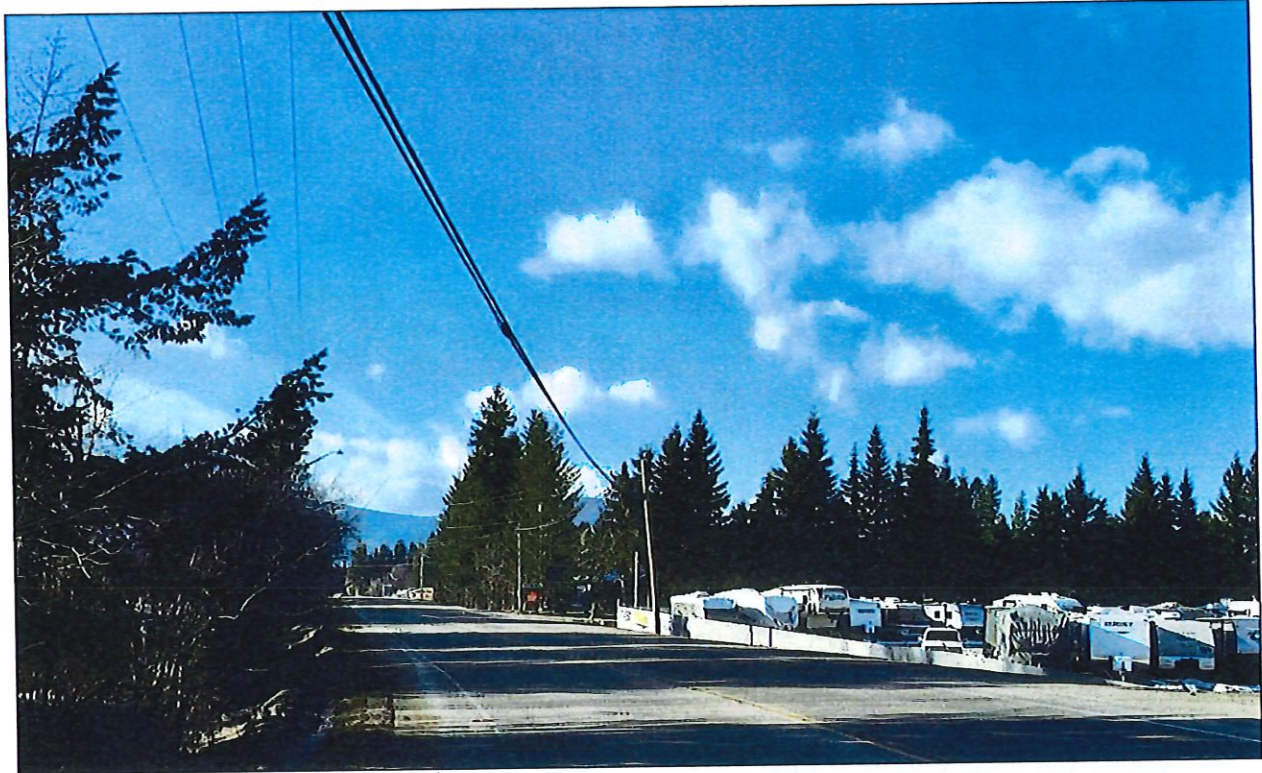


Carson Dorward
President
0191711 BC Ltd.

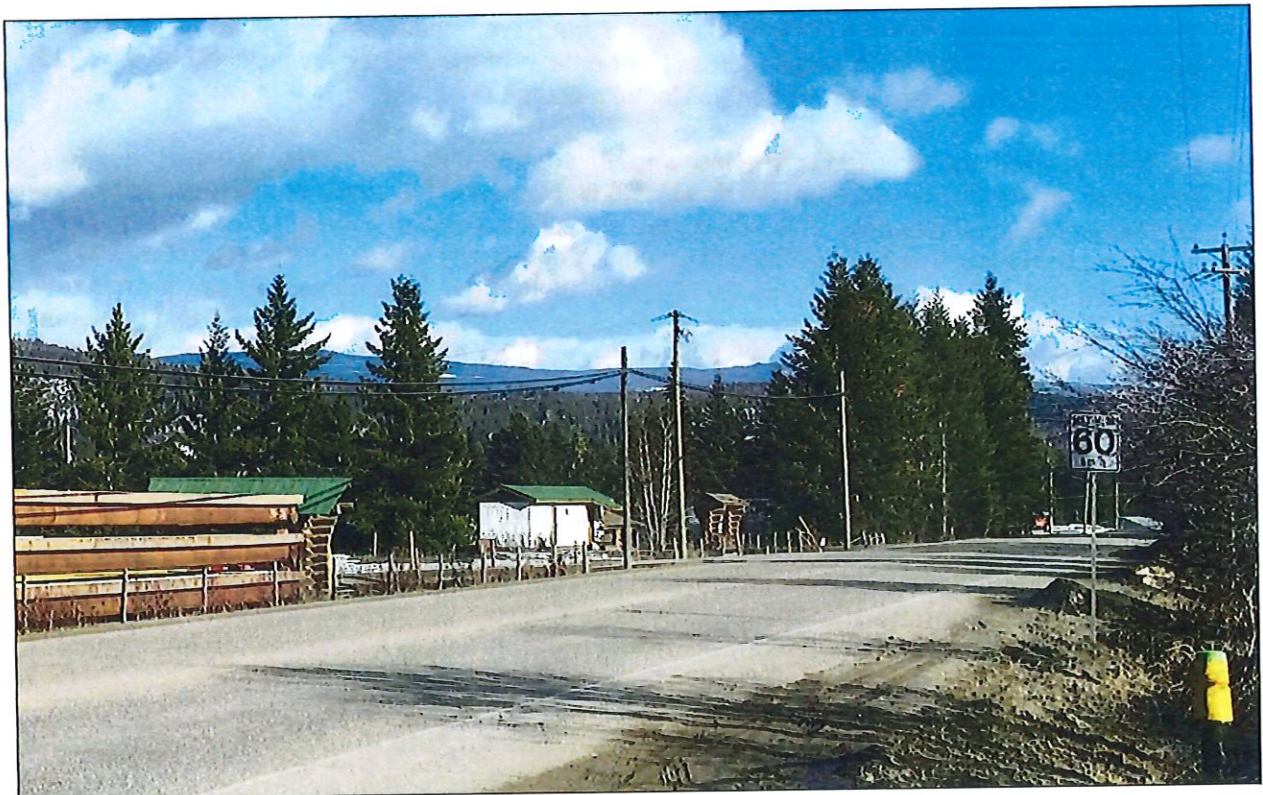


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View northwest along Auto Road SE.



View southeast along Auto Road SE.

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*Memorandum from the
Engineering and Public
Works Department*

TO: Kevin Pearson, Director of Development Services
 DATE: 12 January 2022
 PREPARED BY: Chris Moore, Engineering Assistant
 OWNER: 0191711 BC Ltd., - 869 Otter Lake Cross RD, Armstrong, BC V0E 1B6
 SUBJECT: **VARIANCE PERMIT APPLICATION FILE NO. VP- 543**
 LEGAL: Lot 1, Section 6, Township 20, Range 9, W6M, KDYD, Plan KAP78168
 CIVIC: 4191 Auto Road SE

Further to the request for variance dated December 2, 2021; the Engineering Department has reviewed the site and offers the following comments and recommendations relative to the requested variances:

This applicant is requesting a variance to waive the following requirements of Subdivision and Development Servicing Bylaw 4163 (SDSB) triggered by Building Permit:

- 1. Waive the requirement to upgrade the 200mm watermain across the frontage of the subject property to 250mm**

The subject property fronts a 200mm diameter Zone 5 watermain on Auto Road SE. Upgrading the watermain to 250mm diameter across the frontage of the property is required by the SDSB to meet the minimum size requirement for Industrial zones.

Watermain sizes are specified by the bylaw to ensure that minimum fire flows can be achieved. Industrial zones require minimum fire flows of 225l/s compared to single family residential zones minimum of 60l/s for example. This reflects the potential severity of a fire in an industrial property. However, in this location the existing watermain is 200mm and so the increase to 250mm will not be substantial and according to the 2011 Water Study fire flows already meet the minimum 225l/s. Furthermore the long term plan is to upsize the watermain on 40 Street SE to a trunk main to serve the industrial park, this would bypass the main on Auto Road SE, reducing the need to upgrade this watermain in the foreseeable future further.

Recommendation:

The existing watermain on Auto Road SE is currently meeting the required fire flows for industrial zones and future upgrading is unlikely. **The watermain sizing does not meet the requirements of the SDSB and therefore the Engineering Department would not recommend waiving the requirement to upgrade the 200mm watermain. However, at this time the Engineering Department would support a reduction of this requirement to a 50% cash in lieu payment.**

- 2. Waive the requirement to install two fire hydrants on Auto Road SE.**

Two additional Fire Hydrants are required to meet the High Density Industrial spacing requirements of 90 meters, as required by the SDSB. This is also in accordance with the recommendations of the Fire Underwriters Survey. Currently the property is approximately 90m from the nearest hydrant to the east and the west, refer to Hydrant Spacing Plan, attached.

VARIANCE PERMIT APPLICATION FILE NO. VP- 543

12 January 2022

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Recommendation:

The Engineering Department recommends that the requested variance to waive the requirement to install Fire Hydrants denied. The Engineering Department does not support waiving of safety related requirements, due to possible liability concerns.

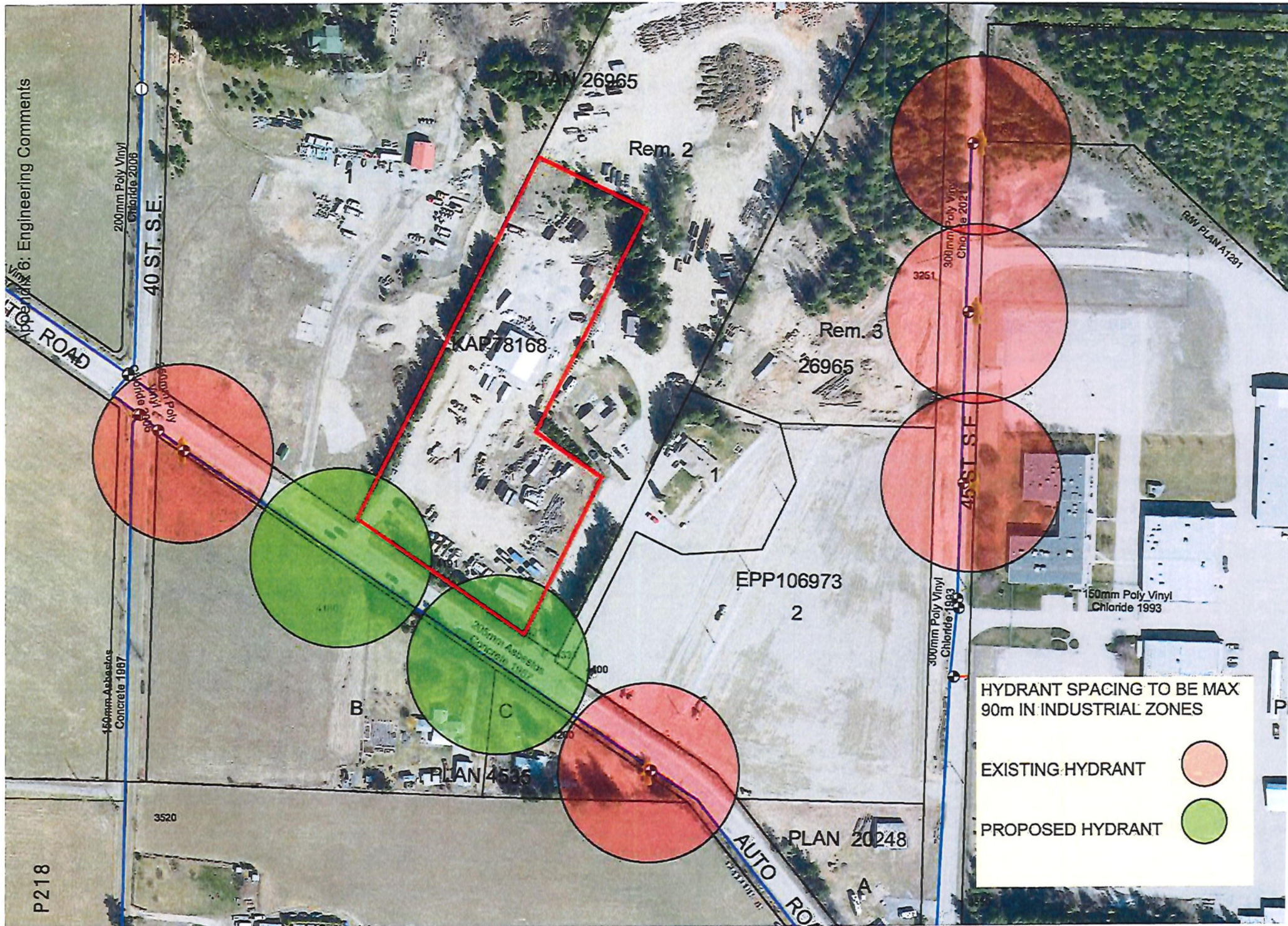
*** Subsequent to the original referral response and based on additional information, Engineering is in agreement based on the responses from the Fire/Building Department to reduce the required hydrant installation from two to one.**



Signer ID: TYLQ1ECE3K...
Chris Moore
Engineering Assistant



Jenn Wilson P.Eng., LEED ® AP
City Engineer



Item 26.

CITY OF SALMON ARM

Date: March 28, 2022

Moved: Councillor Flynn

Seconded: Councillor Wallace Richmond

THAT: the Regular Council Meeting of March 28, 2022, be adjourned.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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