



# AGENDA

City of Salmon Arm  
Regular Council Meeting

Monday, March 14, 2022  
1:30 p.m.

*[Public Session Begins at 2:30 p.m.]*  
Council Chambers of City Hall  
500 – 2 Avenue NE  
Salmon Arm, BC

Page #	Item #	Description
	1.	CALL TO ORDER
1 - 2	2.	IN-CAMERA SESSION
	3.	ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY <i>We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.</i>
	4.	ADOPTION OF AGENDA
	5.	DISCLOSURE OF INTEREST
	6.	CONFIRMATION OF MINUTES
3 - 14	1.	Regular Council Meeting Minutes of February 28, 2022
	7.	COMMITTEE REPORTS
15 - 18	1.	Development and Planning Services Committee Meeting Minutes of March 7, 2022
19 - 24	2.	Greenways Liaison Committee Meeting Minutes of January 27, 2022
25 - 30	3.	Social Impact Advisory Committee Meeting Minutes of February 18, 2022
31 - 34	4.	Active Transportation Task Force Meeting Minutes of March 7, 2022
	8.	COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE
35 - 42	1.	Board in Brief – February 2022

- 43 – 46 1. **STAFF REPORTS**
    - 47 – 50 2. Director of Engineering & Public Works – Trojan UV PLC Upgrade – Water Plant
    - 51 – 52 3. Director of Engineering & Public Works – Building Canada – Public Transportation – Active Transportation Fund
    - 51 – 52 3. Director of Development Services – RFP – City of Salmon Arm Active Transportation Network Plan
  10. **INTRODUCTION OF BYLAWS**
  - 53 – 60 1. **RECONSIDERATION OF BYLAWS**
      - 61 – 66 2. City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 [Parking Charges and Rates] – Final Reading
      - 67 – 82 3. City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 [Curbside Collection Fees] – Final Reading
      - 67 – 82 3. City of Salmon Arm Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8] – Final Reading
    12. **CORRESPONDENCE**
    - 83 – 84 1. Informational Correspondence
    13. **NEW BUSINESS**
    - 85 – 96 1. **PRESENTATIONS / DELEGATIONS**
        - 97 – 98 i. Presentation 4:00 – 4:15 p.m. (approximately)  
J. Broadwell, Manager, Ron Langridge, President and Althea Mongerson, Community and Membership Coordinator, Downtown Salmon Arm – 2021 Highlights, Year End Presentation
        - 97 – 98 i. Chief Financial Officer – Business Improvement Area – 2022 Annual Budget and 2021 Revenue & Expense Statement
      15. **COUNCIL STATEMENTS**
      - 99 - 100 1. Councillor Wallace Richmond – Shuswap Family Centre – Endorsement as recipient of SILGA's 50/50 proceeds
      16. **SALMON ARM SECONDARY YOUTH COUNCIL**
      17. **NOTICE OF MOTION**
      18. **UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS**
      - 101 - 102 1. **OTHER BUSINESS**
          - 101 - 102 1. Released from In-Camera Meeting of December 13, 2021 – Salmon Arm Tennis Club loan deferral
        20. **QUESTION AND ANSWER PERIOD**



**7:00 p.m.**

(Items 21 – 26 to follow 2021 Court of Revision – Circulated under Separate Agenda)

<b>Page #</b>	<b>Item #</b>	<b>Description</b>
	<b>21.</b>	<b>DISCLOSURE OF INTEREST</b>
	<b>22.</b>	<b>HEARINGS</b>
103 – 120	1.	Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; Setback requirements]
121 – 148	2.	Development Permit Application No. DP-437 [TSL Developments Ltd.; 700 30 Street NE; Form and Character]
149 – 164	3.	Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character]
	<b>23.</b>	<b>STATUTORY PUBLIC HEARINGS</b>
165 – 186	1.	Zoning Amendment Application No. ZON-1229 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]
187 - 198	2.	Zoning Amendment Application No. ZON-1230 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]
	<b>24.</b>	<b>RECONSIDERATION OF BYLAWS</b>
199 - 202	1.	City of Salmon Arm Zoning Amendment Bylaw No. 4493 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4] – Third Reading
203 - 206	2.	City of Salmon Arm Zoning Amendment Bylaw No. 4494 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8] – Third Reading
	<b>25.</b>	<b>QUESTION AND ANSWER PERIOD</b>
207 - 208	<b>26.</b>	<b>ADJOURNMENT</b>

THIS PAGE INTENTIONALLY LEFT BLANK

Item 2.

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

- a) THAT: pursuant to Section 90(1) (c) labour relations or other employee relations and (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; of the Community Charter, Council move In-Camera.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

THIS PAGE INTENTIONALLY LEFT BLANK

Item 6.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Regular Council Meeting Minutes of February 28, 2022, be adopted as circulated.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## REGULAR COUNCIL

Minutes of a Regular Meeting of Council of the City of Salmon Arm held in the Council Chambers of City Hall 500 – 2 Avenue NE and by electronic means, at 1:30 p.m. and reconvened at 2:30 p.m. on Monday, February 28, 2022.

### PRESENT:

Mayor A. Harrison  
Councillor T. Lavery (participated remotely)  
Councillor S. Lindgren (participated remotely)  
Councillor L. Wallace Richmond  
Councillor K. Flynn  
Councillor C. Eliason (participated remotely)  
Councillor D. Cannon

Chief Administrative Officer E. Jackson  
Director of Engineering and Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Chief Financial Officer C. Van de Cappelle  
Manager of Human Resources S. Wood  
Recorder B. Puddifant (participated remotely)

### ABSENT:

#### 1. CALL TO ORDER

Mayor Harrison called the meeting to order at 1:30 p.m.

#### 2. IN-CAMERA SESSION

0067-2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

THAT: pursuant to Section 90(1) (c) labour relations or other employee relations and (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 1:30 p.m.

Council returned to Regular Session at 2:04 p.m.

Council recessed until 2:30 p.m.

Mayor Harrison returned to the meeting at 2:30 and assumed the Chair.

#### 3. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."



4. **REVIEW OF AGENDA**

Addition of Item 19.2 to release Officer Appointments Motion 0017-2022 (ic) from In-Camera.

Addition of Item 12.2 - S. Metcalfe, President of Shuswap Minor Football – email dated February 25, 2022 – Permission requested to place a storage container at Little Mountain.

Addition to Item 24.1 – R. Keskinen – email dated February 24, 2022 - Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8].

Addition to Item 24.1 – M. Walsh – email dated February 27, 2022 - Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8].

Addition to Item 24.1 – S. Keskinen – email dated February 25, 2022 - Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8].

5. **DISCLOSURE OF INTEREST**

Councillor Wallace Richmond read a statement on the invasion of Ukraine and requested the installation of yellow and blue lights at City Hall in support of Ukraine.

19. **OTHER BUSINESS**

1. **Appointment of Chief Administrative Officer**

The following Motion was released from the In-Camera Council Meeting of February 14, 2022.

0013-2022 (ic)                      Moved: Councillor Lindgren  
    Seconded: Councillor Cannon  
    THAT: Pursuant to Section 147 of the Community Charter, Erin Jackson be appointed as Chief Administrative Officer for the City of Salmon Arm effective February 15, 2022;

    AND THAT: Motion 0013-2022 (ic) be released from In-Camera.

**CARRIED UNANIMOUSLY**

2. **Officer Appointments**

The following Motion was released from the In-Camera Council Meeting of February 28, 2022.

0017-2022 (ic)                      Moved: Councillor Flynn  
    Seconded: Councillor Cannon  
    THAT: pursuant to Sections 147 of the *Community Charter*, Robert Niewenhuizen be appointed as the Deputy Chief Administrative Officer;

    AND THAT: Robert Niewenhuizen's appointment as Acting Deputy Corporate Officer be rescinded;

19. OTHER BUSINESS - continued2. Officer Appointments - continued

AND THAT: pursuant to Section 148 of the *Community Charter*, Council appoint Sue Wood as Corporate Officer for the City of Salmon Arm;

AND THAT: pursuant to Section 66 of the *Freedom of Information and Protection of Privacy Act*, Council appoint Sue Wood as Freedom of Information and Protection of Privacy Head for the City of Salmon Arm;

AND THAT: pursuant to Section 58(1) of the *Local Government Act*, Sue Wood be appointed Chief Election Officer for the 2022 General Local Election;

AND THAT: pursuant to Section 148 of the *Community Charter*, Council appoint Erin Jackson as Deputy Corporate Officer for the City of Salmon Arm;

AND FURTHER THAT: Erin Jackson's appointment as Corporate Officer be rescinded.

CARRIED UNANIMOUSLY

6. CONFIRMATION OF MINUTES1. Regular Council Meeting Minutes of February 14, 2022

0068-2022

Moved: Councillor Lavery

Seconded: Councillor Flynn

THAT: the Regular Council Meeting Minutes of February 14, 2022, be adopted as circulated.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS1. Development and Planning Services Committee Meeting Minutes of February 22, 2022

0069-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Lindgren

THAT: the Development and Planning Services Committee Meeting Minutes of February 22, 2022, be received as information.

CARRIED UNANIMOUSLY

2. Community Heritage Commission Meeting Minutes of February 7, 2022

0070-2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

THAT: the Community Heritage Commission Meeting Minutes of February 7, 2022, be received as information.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS - continued

3. Environmental Advisory Committee Meeting Minutes of February 11, 2022

0071-2022                Moved: Councillor Lindgren  
                              Seconded: Councillor Cannon  
                              THAT: the Environmental Advisory Committee Meeting Minutes of February 11, 2022, be received as information.

CARRIED UNANIMOUSLY

4. Downtown Parking Commission Meeting Minutes of February 15, 2022

0072-2022                Moved: Councillor Eliason  
                              Seconded: Councillor Lavery  
                              THAT: the Downtown Parking Commission Meeting Minutes of February 15, 2022, be received as information.

CARRIED UNANIMOUSLY

8. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE

9. STAFF REPORTS

1. Director of Engineering & Public Works - Downtown Parking Commission - Downtown Salmon Arm Member Appointments

0073-2022                Moved: Councillor Eliason  
                              Seconded: Councillor Lindgren  
                              THAT: Council appoint the following four (4) Downtown Salmon Arm representatives to serve on the Downtown Parking Commission for the two (2) year term from February 28, 2022 to February 27, 2024:

- Jacquie Gaudreau;
- Gerald Foreman;
- Morgen Matheson; and
- Vera Chomyshen.

CARRIED UNANIMOUSLY

2. Manager of Human Resources - Budget Amendment - Server Purchase

0074-2022                Moved: Councillor Flynn  
                              Seconded: Councillor Wallace Richmond  
                              THAT: the 2022 Budget contained in the 2022 - 2026 Financial Plan Bylaw be amended to reflect the distribution between capital and operating costs attributed to the server purchase as follows:

- Server Maintenance Contracts - \$9,000.00 (decrease - \$21,000.00); and
- Servers - \$89,000.00 (increase - \$21,000.00).

CARRIED UNANIMOUSLY

9. STAFF REPORTS - continued

3. Director of Development Services - Proposed Changes to the City of Salmon Arm Community Heritage Register

0075-2022

Moved: Councillor Cannon

Seconded: Councillor Wallace Richmond

THAT: Council authorize submission of the amendments to the Community Heritage Register, outlined in the staff report dated February 16, 2022, to the Provincial Heritage Branch for deposit.

CARRIED UNANIMOUSLY

4. Director of Engineering & Public Works - Environmental Monitoring Program - Shuswap Lake

0076-2022

Moved: Councillor Flynn

Seconded: Councillor Cannon

THAT: Larratt Aquatic Consulting Ltd. be awarded the Shuswap Lake Environmental Monitoring Program for the three year term of 2022 to 2024 as follows:

2022 - \$25,678.00 plus actual laboratory costs;

2023 - \$26,449.00 plus actual laboratory costs;

2024 - \$27,242.00 plus actual laboratory costs.

CARRIED UNANIMOUSLY

5. Director of Development Services - Award of contract for Active Transportation Network Plan

0077-2022

Moved: Councillor Lavery

Seconded: Mayor Harrison

THAT: Urban Systems Ltd. be awarded the contract to complete an Active Transportation Network Plan for a fee of \$99,549.00 (plus GST).

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS

1. City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 [Parking Charges and Rates] - First, Second and Third Readings

0078-2022

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 be read a first, second and third time.

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS - continued

2. City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 [Curbside Collection Fees] - First, Second and Third Readings

0079-2022                      Moved: Councillor Eliason  
                                      Seconded: Councillor Lavery  
                                      THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw  
                                      No. 4504 be read a first, second and third time.

CARRIED UNANIMOUSLY

3. City of Salmon Arm Zoning Amendment Bylaw No. 4493 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4] - First and Second Readings

0080-2022                      Moved: Councillor Eliason  
                                      Seconded: Councillor Cannon  
                                      THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No.  
                                      4493 be read a first and second time;

                                      AND THAT: final reading of the Zoning Amendment Bylaw be withheld subject  
                                      to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

4. City of Salmon Arm Zoning Amendment Bylaw No. 4494 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8] - First and Second Readings

0081-2022                      Moved: Councillor Flynn  
                                      Seconded: Councillor Lindgren  
                                      THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No.  
                                      4494 be read a first and second time;

                                      AND THAT: final reading of the Zoning Amendment Bylaw be withheld subject  
                                      to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

11. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Fee for Service Amendment Bylaw No. 4497 [2022 Water Meter Rates] -Final Reading

0082-2022                      Moved: Councillor Wallace Richmond  
                                      Seconded: Councillor Cannon  
                                      THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw  
                                      No. 4497 be read a final time.

CARRIED UNANIMOUSLY

12. CORRESPONDENCE1. Informational Correspondence

2. BC Bike Race Team – letter dated February 17, 2022 – Request for approval to use City lands for BC Bike Race event

0083-2022

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: Council approve the 2022 BC Bike Race on Sunday, September 18, 2022 at Klahani Park and/or South Canoe Trailhead area, as outlined in the letter dated February 17, 2022, subject to the provision of adequate liability insurance and adherence with the Public Health Officer's guidelines.

CARRIED UNANIMOUSLY

Councillor Eliason left the meeting at 3:39 p.m.

1. S. Caner, Executive Director, Shuswap Food Action Society – letter dated February 22, 2022 – Requesting the City's endorsement of a Universal School Food Program

0084-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Lindgren

THAT: Council endorse the efforts of the Shuswap Food Action Society in support of a universal, cost-shared healthy school food program.

CARRIED UNANIMOUSLY

4. H. O'Hara, Executive Director, BC Farmers' Markets – letter dated February 11, 2022 – Request for letter of support for Nutrition Coupon Program

0085-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Cannon

THAT: Council provide a letter to Minister of Health Adrian Dix in support of BC Farmers' Markets ongoing funding of the Nutrition Coupon Program.

CARRIED UNANIMOUSLY

3. S. Niven – email dated February 17, 2022 – May is CF Awareness Month 2022

0086-2022

Moved: Councillor Cannon

Seconded: Councillor Wallace Richmond

THAT: Council authorize the installation of green and blue lights at City Hall during the month of May in support of Cystic Fibrosis Awareness Month.

CARRIED UNANIMOUSLY



12. CORRESPONDENCE - continued

1. Informational Correspondence - continued

7. A. Slater, General Manager, SILGA - email dated February 18, 2022 - 2022 SILGA and Convention, Salmon Arm - Registration is now open

0087-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: Council authorize Mayor and Council to attend to the 2022 SILGA AGM and Convention.

CARRIED UNANIMOUSLY

2. S. Metcalf, President, Salmon Arm Minor Football - email dated February 25, 2022 - Permission requested to place storage container at Little Mountain

0088-2022

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: Council authorize the temporary placement of a storage container at Little Mountain Field of Dreams and authorize staff to enter into an agreement with Salmon Arm Minor Football.

CARRIED UNANIMOUSLY

13. NEW BUSINESS

14. PRESENTATIONS

15. COUNCIL STATEMENTS

1. Councillor Lavery - Virtual FCM Conference - Local Solutions to Net Zero

0089-2022

Moved: Mayor Harrison

Seconded: Councillor Lindgren

THAT: Council authorize Councillor Lavery to attend the 2022 Virtual FCM Conference with the cost of \$195.00 plus applicable taxes to be funded from Council Expense.

CARRIED UNANIMOUSLY

16. SALMON ARM SECONDARY YOUTH COUNCIL

17. NOTICE OF MOTION

18. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS

**20. QUESTION AND ANSWER PERIOD**

Council held a Question and Answer session with the members of the public present.

The Meeting recessed at 3:49 p.m.

The Meeting reconvened at 7:00 p.m.

Councillor Eliason returned to the meeting at 7:00 p.m.

**PRESENT:**

Mayor A. Harrison  
Councillor T. Lavery (participated remotely)  
Councillor S. Lindgren (participated remotely)  
Councillor L. Wallace Richmond  
Councillor C. Eliason (participated remotely)  
Councillor D. Cannon  
Councillor K. Flynn

Chief Administrative Officer E. Jackson  
Director of Engineering and Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Director of Corporate Services S. Wood

**ABSENT:****21. SPECIAL PRESENTATION**

Councillor Cannon and the City of Salmon Arm Community Heritage Committee presented the Heritage Conservation Awards to Holly Ready (Skelton House/Gabe's Bunkhouse - 251 5 Street SE), Leanne Dorrish and trustees of the Congregation (Canoe United Church - 6861 50 Street NE), and Cindy Malinowski and Charles MacLennan (Lyman House - 680 2 Avenue NE). The recipients were thanked for their commitment to heritage in the City.

**22. DISCLOSURE OF INTEREST****23. HEARINGS**

24. STATUTORY PUBLIC HEARINGS

1. Zoning Amendment Application No. ZON-1227 [McCaffrey, A.; 6821 46 Avenue NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

A. McCaffrey, the applicant, outlined the application and was available to answer questions from Council.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:33 p.m. followed by comments from Council.

25. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8] - Third Reading

0090-2022

Moved: Councillor Lavery  
Seconded: Councillor Wallace Richmond  
THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4489 be read a third time.

CARRIED UNANIMOUSLY

26. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

27. ADJOURNMENT

0091-2022

Moved: Councillor Flynn  
Seconded: Councillor Lindgren  
THAT: the Regular Council Meeting of February 28, 2022, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:45 p.m.

CERTIFIED CORRECT:

\_\_\_\_\_  
CORPORATE OFFICER

Adopted by Council the      day of      , 2022.

\_\_\_\_\_  
MAYOR

THIS PAGE INTENTIONALLY LEFT BLANK

Item 7.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee Meeting Minutes of March 7, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## **DEVELOPMENT AND PLANNING SERVICES COMMITTEE**

Minutes of a Meeting of the Development and Planning Services Committee of the City of Salmon Arm held in Council Chambers, City Hall, 500 – 2 Avenue NE, Salmon Arm, BC, and by electronic means on Monday, March 7, 2022.

### **PRESENT:**

Mayor A. Harrison  
Councillor T. Lavery (participated remotely)  
Councillor L. Wallace Richmond (participated remotely)  
Councillor S. Lindgren  
Councillor K. Flynn  
Councillor D. Cannon  
  
Chief Administrative Officer E. Jackson  
Director of Engineering & Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Director of Corporate Services S. Wood  
Recorder B. Puddifant

### **ABSENT:**

Councillor C. Eliason

#### **1. CALL TO ORDER**

Mayor Harrison called the meeting to order at 8:00 a.m.

#### **2. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY**

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together".

#### **3. REVIEW OF THE AGENDA**

#### **4. DISCLOSURE OF INTEREST**

#### **5. REPORTS**

1. Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; (Setback requirements)]

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:



5. REPORTS - continued

1. Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; (Setback requirements) - continued

1. Section 36.11.1 – Front Parcel Line Setback – reduce the minimum building setback from 6.0m to 4.5m to facilitate construction of an accessory building (detached garage).

CARRIED UNANIMOUSLY

2. Development Permit Application No. DP-437 [TSL Developments Ltd.; 700 30 Street NE; Form and Character]

Moved: Councillor Wallace Richmond

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that Development Permit No. DP-437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-437 vary Zoning Bylaw No. 2303 as follows:

1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-437 be withheld subject to receipt of an estimate and Irrevocable Letter of Credit (in the amount of 125% of the estimate) for landscaping.

J. Baer, TSL Developments Ltd., the applicant, was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

3. Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character]

Moved: Councillor Lavery

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that Development Permit No. DP-439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481 Except Plans H401 and EPP70085 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

5. REPORTS - continued3. Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character] - continued

AND THAT: Development Permit No. DP-439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Real Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;
2. Section 17.9.3 – Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Rem Lot 14 on the drawings attached as Appendix 6 to the staff report dated February 24, 2022.

B. Laird, Bremmvic Holdings Ltd., the applicant, outlined the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

6. FOR INFORMATION7. CORRESPONDENCE8. ADJOURNMENT

Moved: Councillor Wallace Richmond

Seconded: Councillor Lavery

THAT: the Development and Planning Services Committee meeting of March 7, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:26 a.m.

---

Mayor Alan Harrison  
Chair

Item 7.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: the Greenways Liaison Committee Meeting Minutes of January 27, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

Minutes of the Greenways Liaison Committee (GLC) Meeting held online and in City Hall, 500 – 2 Avenue NE, Salmon Arm, BC, (GoTo Meeting) on **Thursday, January 27, 2022** at 3:30 p.m.

### PRESENT:

Chris Stromgren, Shuswap Trail Alliance  
 Brian Browning, Shuswap Trail Alliance  
 Steve Fabro, Citizen at Large  
 Rob Bickford, Citizen at Large  
 Joe Johnson, Citizen at Large – Acting Chair

Adrian Bostock, Shuswap Trail Alliance (non-voting)  
 Darin Gerow, City of Salmon Arm, Manager of Roads & Parks  
 Chris Larson, City of Salmon Arm, Senior Planner, Recorder

### REGRETS:

Janelle Rimell, Interior Health  
 Kevin Flynn, Chair

The meeting was called to order at 3:30 p.m.

#### 1. Acknowledgement of Traditional Territory

*We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.*

#### 2. Introductions

#### 3. Presentations

#### 4. Approval of Agenda and Additional Items

#### 5. Approval of Minutes of Previous Greenways Liaison Committee Meeting

Moved: Steve Fabro

Seconded: Brian Browning

THAT: the minutes of the Greenways Liaison Committee Meeting of November 18, 2021 be approved as circulated.

**CARRIED UNANIMOUSLY**

#### 6. Old Business /Arising from minutes

none

#### 7. New Business

- **2022 Budget**

Budget to be circulated for review and future discussion.

- **SASS/Bastion Bypass – General Vandalism Concerns**

Complaints have been received regarding vandalism along this corridor, and general increase in sign vandalism noted. The associated costs are expected to go into maintenance budget.

8. **Other Business &/or Updates**

- **STA Update - Planning and Projects (attached)**

The STA outlined efforts and projects in progress, as at the previous November meeting (attached). Discussion with SD83 is ongoing, the trails around the parking area at South Canoe will be upgraded in spring, while the Ida View trail is under ongoing development.

- **South Canoe Update**

Snow grooming is ongoing with more community involvement. Online updates are being provided.

- **Active Transportation Task Force**

The ATTF process was noted as ongoing, with an RFP process closing soon.

- **Wildfire Reduction Work**

Work in the Little Mountain area is ongoing. Park Hill is expected to be a future project.

9. **Next meeting – 3:30, Thursday, April 7, 2022**

Moved: Steve Fabro

Seconded: Chris Stromgren

THAT: the Greenways Liaison Committee Meeting of January 27, 2022 be adjourned.

**CARRIED UNANIMOUSLY**

The meeting adjourned at 4:00 p.m.

---

Endorsed by Meeting Chair

Received for information by Council on \_\_\_\_\_, 2022.

Attachment – STA update

Shuswap Trail Alliance Project Summary: 2021/2022

**City of Salmon Arm: Greenways Project Summary 2021/2022**

UPDATED: Jan 25, 2022 (JB)



Projects of significance within and/or directly accessible to Salmon Arm residents and visitors. Also - includes shared planning, training, marketing, and educational program development.

Pending City of Salmon Arm Greenways Projects: 2022		Partner Funding	STA Funded	In-Kind	Status		New m	Fix m	Maintain m	Plan m	Signs #
2266	Salmon Arm - Active Transportation Task Force				in progress	City SA					
1530	Salmon Arm - Bike (& School) Connectors Plan	\$2,058.95			in progress	City SA PO#40218					
2237	Salmon Arm-Foreshore (Raven) Trail-Monitoring 2022	\$2,200.00			in progress	City SA					
2207	Salmon Arm-Planning (General) 2022				in progress	City SA					
	Salmon Arm - Townie Loop Sign Project				to confirm	City SA					?
2138	Salmon Arm - West Bay				need funding	ALIB/NIB/LSLIB/CSA/IHA/CPR/CSRD/MP/MLA/STA/SCS					
	South Canoe - Skills Park and Greenspace	\$26,000.00	\$5,000.00		in progress	City SA/CFC/STA					
1956	South Canoe - Rob Nash Memorial Shelter	\$3,853.69			in progress	City SA/STA/SCF/SCOutdoor School/HNash					
	Uptown Greyways Loop				to confirm	City SA					
<b>2022 Project Total</b>		<b>\$34,112.64</b>	<b>\$5,000.00</b>	<b>\$0.00</b>			<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Combined Value</b>		<b>\$39,112.64</b>									

Additional Pending Projects of Note for Salmon Arm: 2022		Partner Funding	STA Funded	In-Kind	Status	Partners	New m	Fix m	Maintain m	Plan m	Signs #
2105	Experience Development: Tourism (General)	Shuswap Tourism/SA MRDT (see below)			ongoing	ST/EDS/Operators/TOTA/DestinationBC/STS					
2264	Kela7scen (Mt Ida) Planning				need funding	ALIB/LSLIB/NIB/Splatsin/STS/SORE/MFLNRO/CSRD/SA					
2154	LHT - East Canoe Creek Bridge	\$6,792.86			in progress	Various/EQ Dressage/Donations					
2239	LHT - General				in progress	STA/Rec Sites Trails/CitySA/CanoeFP					
2206	LHT - Non Winter Advisory & Plan				in progress	STA/Rec Sites Trails/CitySA/CanoeFP					
1846	Secwepemc Landmarks Concept	BCRDP/STS funding reserve			in progress	STS Lakes Division/CSA/SA/ArtsC/ST					
2058	Secwepemc Landmarks and Trailhead Signposts (Heritage BC)	\$13,200.00			in progress	Heritage BC/STA					
2148	Secwepemc Landmarks Phase 2 - Cerip	\$125,196.27			in progress	CERIP					
2152	Secwepemc Landmarks Phase 2 - TOTA	\$166,761.28			in progress	TOTA					
2216a	South Canoe Winter grooming/storage				in progress	SCC/STA/Voly					
2119	MRDT - Trail Signage (hike/bike icon plates)	\$2,000.00			in progress	MRDT					
2235	MRDT Georeferenced Map Use Tutorials	\$4,000.00			in progress	MRDT					
2233	MRDT Larch Hills Traverse/Rail Trail Plan	\$9,000.00			in progress	MRDT					
2236	MRDT Mountain Bike Trail Guide Reprint	\$6,000.00			in progress	MRDT					
2204	MRDT Online App & Website update 2022	\$5,500.00			in progress	MRDT					
2219	MRDT Trail Signage (hike/bike icon plates)	\$2,000.00			in progress	MRDT					
<b>2022 Additional Projects of Note Total</b>		<b>\$340,450.41</b>	<b>\$0.00</b>	<b>\$0.00</b>			<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Combined Value</b>		<b>\$340,450.41</b>									



## City of Salmon Arm: Greenways Project Summary 2021/2022

UPDATED: Jan 25, 2022 (JB)



Projects of significance within and/or directly accessible to Salmon Arm residents and visitors. Also - includes shared planning, training, marketing, and educational program development.

## Pending City of Salmon Arm Greenways Projects: 2022

Projects (Completed): 2021	Partner Funding	STA Funded	In-Kind	Status		New m	Fix m	Maintain m	Plan m	Signs #
	Partner Funding	STA Funded	In-Kind	Status		New m	Fix m	Maintain m	Plan m	Signs #
2100 Lamb Greenway Subdivision Assessment	\$537.91									
1858 Salmon Arm - Hillcrest Subdivision Greenways 2018 (Hillcrest Heights)	\$25,000.00		\$281.60	finished	City SA PO#46439	800				
2147 Salmon Arm - Shuswap Trails Website	\$31,800.00	\$184.28	\$564.08	finished	City SA/MRDT/SCF					
2108 Salmon Arm - Spring Maintenance	\$9,668.54		\$765.00	finished	City SA			43,490		
2156 Salmon Arm - Forshore Trail Upgrades	\$8,742.61			finished	City SA		280			
2116 South Canoe - Summer Students Brushing (CSJ - confirmed)	\$5,585.94	\$335.77		finished	STA/CSJ					
2057 Peter Jannink Burdock Removal (Shuswap Naturalist Club)	\$2,408.34			finished	Shuswap Naturalist Club					
2165 Yellow Flag Iris Removal	\$8,000.00		\$1,081.65	finished	CSISS/STA					
2137 Salmon Arm - Foreshore (Raven) Trail - Monitoring 2020	\$2,041.24			finished	City SA/Advisory/Nature Trust/MFLNRO/SABNES					
2116 South Canoe Upgrades/Planning/Voly-General 2020	\$2,196.00	\$9,987.78	\$6,213.14	finished	CitySA/Rec Sites/SC Advisory partners					
2107 Salmon Arm - Planning (General) 2020		\$3,699.26	\$1,822.94	finished	City SA					
2165 Salmon Arm - Active Transportation Task Force		\$1,621.66	\$365.07	in progress	City SA					
2138 Salmon Arm - West Bay		\$877.66	\$204.51	need funding	ALIB/NIB/LSLIB/CSA/IHA/CPR/CSRD/MP/MLA/STA/SCS					
1948 Trail Guide Update - Paddle Mini-Guide (Blueways)	\$4,600.00	\$4,116.54	\$1,952.28	finished	MRDT					
2104 MRDT - Trail Guide & Website update 2021	\$3,700.00		\$1,035.22	finished	MRDT					
2118 MRDT - Trail Signage (en route trail signs) (MgGuire Lk signage)	\$3,800.00		\$1,129.99	finished	MRDT					
2120 Shuswap Regional Trail Strategy Roundtable 2021	\$5,933.34	\$3,291.14	\$1,132.02	finished	Various/Rec Sites/CSRD/ST/Lks Div/Fraser Basin/IHA, WO-18-230-079					
1846 Secwepemc Landmarks Concept	\$34,103.50	\$6,436.52	\$21,323.15	in progress	STS Lakes Division/CSA/SArtsC/ST					
2058 Secwepemc Landmarks and Trailhead Signposts (Heritage BC)	\$5,000.00	\$3,200.00	\$3,968.97	in progress	Heritage BC/STA					
2148 Secwepemc Landmarks Phase 2 - Cerip	\$803.73			in progress	CERIP					
2152 Secwepemc Landmarks Phase 2 - TOTA	\$3,238.72			in progress	TOTA					
2116a South Canoe Winter grooming/storage	\$6,163.11	\$323.20	\$3,166.85	in progress	SSC/STA/Voly					
2164 Kela7scen (Mt Ida) Planning		\$5,511.78	\$1,931.96	need funding	ALIB/LSLIB/NIB/Splatsin/STS/SORE/MFLNRO/CSRD/SA					
2154 LHT - East Canoe Creek Bridge	\$5,886.42		\$68.00	in progress	Various/EQ Dressage/Donations					
2139 LHT - General		\$3,446.35	\$4,547.71	finished	STA/Rec Sites Trails/CitySA/CanoeFP					
2106 LHT - Non Winter Advisory & Plan		\$601.65	\$3,137.04	finished	STA/Rec Sites Trails/CitySA/CanoeFP					
<b>Total Projects Completed 2021</b>	<b>\$169,209.40</b>	<b>\$43,633.59</b>	<b>\$54,691.18</b>	*doesn't include GST		<b>800</b>	<b>280</b>	<b>43490</b>	<b>0</b>	<b>0</b>

THIS PAGE INTENTIONALLY LEFT BLANK

Item 7.3

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Social Impact Advisory Committee Meeting Minutes of February 18, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

Minutes of the **Social Impact Advisory Committee** meeting held electronically on Friday, February 18, 2022, at 10:00 a.m.

### PRESENT:

Councillor Louise Wallace Richmond	City of Salmon Arm, Chair
Dawn Dunlop	Canadian Mental Health Association
Paige Hilland	Shuswap Area Family Emergency (SAFE) Society
Kristy Smith	Okanagan Regional Library
Kim Sinclair	Aspiral Youth Partners
Gudrun Malmqvist	Shuswap Family Centre
Jo-Anne Crawford	Shuswap Association for Community Living
Jen Gamble	Shuswap Immigrant Services
Erin Jackson	City of Salmon Arm (entered the meeting at 10:04 a.m.)
B. Puddifant	City of Salmon Arm, Recorder

### ABSENT:

Chiara Dentrey	Okanagan College
Tim Gibson	Seniors Resource Centre
David Parmenter	Shuswap Children's Association
	Interior Health Association-Mental Health

### GUESTS:

The meeting was called to order at 10:00 a.m.

#### 1. Introductions

#### 2. Acknowledgement of Traditional Territory

*We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.*

#### 3. Presentations

**4. Approval of Agenda and Additional Items**

Addition of Item 7.a – Shuswap Immigrant Service Society – Salmon Arm Community Response Protocol

Moved: Kristy Smith

Seconded: Kim Sinclair

THAT: the Social Impact Advisory Committee Meeting Agenda of February 18, 2022, be approved with addition.

**CARRIED UNANIMOUSLY**

Erin Jackson

**5. Approval of Minutes of January 21, 2022 Social Impact Advisory Committee Meeting**

Moved: Paige Hilland

Seconded: Jo-Anne Crawford

THAT: the minutes of the Social Impact Advisory Committee Meeting of January 21, 2022 be approved as circulated.

**CARRIED UNANIMOUSLY**

**6. Old Business/Arising from minutes**

**a) New Intake for Poverty Reduction Planning & Action - Update**

Erin Jackson provided an update on the application for the Poverty Reduction Planning & Action grant and the support for the application from Interior Health, Downtown Salmon Arm and Salmon Arm Economic Development Society. The application has been submitted to the Province and receipt has been confirmed. In the event that the application is successful, the City will draft the RFP.

**7. New Business**

**a) Shuswap Immigrant Service Society – Salmon Arm Community Response Protocol**

Jenn Gamble outlined the Community Response Protocol. This Protocol will be used as a tool for social agencies and community organization to deal with racism and hate and will be distributed in the Shuswap region as the Protocol has been designed for use by multiple groups.

Moved: Jo-Anne Crawford

Seconded: Dawn Dunlop

THAT: the Committee receive the Community Response Protocol as information.

**CARRIED UNANIMOUSLY**

8. Other Business &/or Roundtable Updates
9. Next meeting – Friday, March 18, 2022 at 10:00 a.m.
10. Adjournment

Moved: Paige Hilland

Seconded: Kim Sinclair

THAT: the Social Impact Advisory Committee Meeting of February 18, 2022 be adjourned.

**CARRIED UNANIMOUSLY**

The meeting adjourned at 10:40 a.m.

---

Councillor Louise Wallace Richmond, Chair

Minutes received as information by Council at their Regular Meeting of  
, 2022.



## Are you the victim of an incident of racism or hate? Have you witnessed an incident of racism or hate?

This Community Response Protocol provides information about how to report the incident and where to find support.

Type of Incident or Crime	Definition	Steps for Response
<b>Discrimination</b>	Inequitable or unfair treatment of a person or group because of a personal characteristic like sex, race, religion, family status, disability, place of origin, gender identity or sexual orientation. This could include unequal pay at work, denial of service at a business, or denial of rent/housing.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• Refer to appropriate community support if requested</li> <li>• Identify if the employer or service provider has a protocol for addressing incidents of racism or discrimination</li> <li>• With permission of victim, call police non-emergency number</li> <li>• Alert Resilience BC Anti-Racism Network of incident; report using online form</li> </ul>
<b>Hate-Motivated Incident (Non-criminal)</b>	Actions motivated by hate against an identifiable group, based on race, national or ethnic origin, language, colour, religion, sex, age, mental or physical disability, sexual orientation, or gender identity or expression, or on any other similar factor. This could include using aggressive or abusive language in public.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• With permission of victim, call police non-emergency number</li> <li>• Refer to appropriate community support if requested</li> <li>• Alert Resilience BC Anti-Racism Network member; report using online form</li> </ul>
<b>Hate-Motivated Crime</b>	Criminal offences against people or property motivated by hate, prejudice or bias toward an identifiable group. This may include assault, threats, harassment, material on social media or graffiti/vandalism.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• Contact police at 911 in cases of emergency</li> <li>• Call the non-emergency police number in non-emergency cases</li> <li>• Refer to appropriate community support if requested</li> <li>• Alert Resilience BC Anti-Racism Network member; report using online form</li> </ul>
<b>Hate Speech, Propaganda and Material</b>	Public statements (verbal or written) in any public space that promote or incite hatred against an identifiable group, or advocate genocide toward an identifiable group. Public spaces includes non-private social media.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• Contact police at 911 if incident is taking place in real time</li> <li>• Or report the incident to police using their non-emergency number</li> <li>• Contact representatives from the targeted community</li> <li>• Connect with Resilience BC Anti-Racism Network; report using online form</li> </ul>
<b>Social Media and Internet Platforms</b>	Include apps such as Facebook and Twitter and platforms such as Zoom and gaming sites.	<ul style="list-style-type: none"> <li>• Call non-emergency police number and ask for an Officer responsible for hate crime and incident reporting.</li> <li>• Contact webmaster or hosting company</li> <li>• Connect with Resilience BC Anti-Racism Network; report using online form</li> <li>• Report on the Crimes Stoppers website</li> </ul>
<b>Hate Graffiti and Vandalism</b>	Damage or defacement of property demonstrating hate, prejudice or bias toward an identifiable group.	<ul style="list-style-type: none"> <li>• For property crime in progress, contact the police at 911 immediately</li> <li>• For other incidents, call police non-emergency number</li> <li>• Take photographs or videotape, take note of details such as location and time of incident</li> <li>• Support the victim(s) of graffiti. After documenting contact municipal or regional government for removal.</li> <li>• Refer to appropriate organization</li> <li>• Connect with Resilience BC Anti-Racism Network; report using online form</li> </ul>



## Community Response Protocol Contact Information:

### Emergency Services and Immediate Responders:

Police and Emergency Services **911**

### Non-Emergency Local Numbers:

Police reports for non-emergencies - **250-832-6044**

Police Victim Services (self-referral or through police) **250-832-4453**

Community Victim Services: **250-832-0005**

Hospital - **250-833-3600**

Mental Health Line- short-term mental health support – (no local area code) **310-6789**

Local government – **250-803-4000**

### Local Community Support Services:

Legal aid organization - **250-545-3666**

Family services - **250-832-2170**

Shuswap Immigrant Services Society-**250-804-2726** or online reporting (data collection only): **shuswapantiracismmandhate.sissociety.ca**

SAFE Society 24 hr Crisis Line - **250-832-9616**

### Provincial or National toll free numbers and websites:

BC211 – for a referral to local services - **211** or **www.bc211.ca** VictimLink - **1-800-563-0808**

Youth Against Violence Line - **1-800-680-4264**

Kids Help Phone **1-800-668-6868**

KUU-US Crisis Line-First Nations and Indigenous Line **1-800-558-8717**

Prideline - support for 2SLGBTQI+ - **1-800-566-1170**

Youth Prideline – support for 2SLGBTQI+youth – **1-855-956-1777** Crime

Stoppers **1-800-222-8477** or reporting online hate at

**bccrimestoppers.com**

Crisis Line - Short-term emotional support – **1-800-784-2433**

BC Hate Crimes - **1-855-462-5733**

Healing in Colour Therapists - **healingincolour.com**

Legal Aid BC - **1-866-577-2525**

Access Pro Bono - **1-877-762-6664**

Learn more about the Resilience BC Anti-Racism Network at **ResilienceBC.ca** or call your local network member at **250-804-2726** or email at: **outreach@sissociety.ca**

Access the confidential regional reporting form at:  
**shuswapantiracismmandhate.sissociety.ca**

We see a future free from racism and hate. The Resilience BC Anti-Racism Network is bringing communities together to do the hard work and make this vision a reality.

The Resilience BC Anti-Racism Network is funded by the Province of British Columbia and offers a province-wide approach to identifying and challenging racism.

**Data Collection and Confidentiality Policy:** No identifying information is collected or shared without signed approval



**The Resilience BC Anti-Racism Network operates on the territories of over 200 First Nations, each with their own diversity of traditions, languages and histories.**



**Anti-Racism  
Network**



**ResilienceBC**



Item 7.4

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Mayor Harrison

Seconded: Councillor Lavery

THAT: the Active Transportation Task Force Meeting Minutes of March 7, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

Minutes of the Meeting of the Active Transportation Task Force held by electronic means on Monday, March 7, 2022 at 10:00 a.m.

### PRESENT:

Mayor Alan Harrison  
Councillor Tim Lavery  
Joe Johnson  
Blake Lawson  
Camilla Papadimitropoulos  
Gary Gagnon  
Steve Fabro  
Kathy Atkins  
Phil McIntyre-Paul  
David Major  
Craig Newnes  
Lana Fitt  
Marianne VanBuskirk  
Paige Hilland  
Chris Larson  
Barb Puddifant

City of Salmon Arm, Chair  
City of Salmon Arm, Chair  
Greenways Liaison Committee  
Citizen at Large (entered the meeting at 10:06 a.m.)  
Citizen at Large  
Citizen at Large (entered the meeting at 10:10 a.m.)  
Citizen at Large  
Citizen at Large  
Shuswap Trail Alliance  
Shuswap Cycling Club  
Downtown Salmon Arm  
Salmon Arm Economic Development Society  
School District No. 83  
Social Impact Advisory Committee  
City of Salmon Arm, Senior Planner  
City of Salmon Arm, Recorder

### ABSENT:

Anita Ely  
Louis Thomas

Adams Lake Indian Band  
Interior Health  
Councillor, Neskonlith Indian Band

### GUESTS:

Jen Bellhouse  
Sarah Freigang  
Brian Patterson

Shuswap Trail Alliance  
Urban Systems  
Urban Systems

The meeting was called to order at 10:00 a.m.

#### 1. Call to Order, Introductions and Welcome

#### 2. Acknowledgement of Traditional Territory

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."

#### 3. Approval of Agenda and Additional Items

Moved: Joe Johnson

Seconded: Steve Fabro

THAT: the Agenda for the March 7, 2022 Active Transportation Task Force Meeting be approved as circulated.

CARRIED UNANIMOUSLY

**4. Approval of minutes from February 7, 2022**

Moved: Camilla Papadimitropoulos

Seconded: David Major

THAT: The minutes of the Active Transportation Committee Meeting of February 7, 2022 be approved.

CARRIED UNANIMOUSLY

Blake Lawson entered the meeting at 10:06 a.m.

Gary Gagnon entered the meeting at 10:10 a.m.

**5. Presentations**

Sarah Freigang, Transportation Planner, Urban Systems, outlined the preliminary Active Transportation Network Plan and was available to answer questions from the Task Force.

**6. Old Business / Arising from Minutes****7. Sub-Group Updates**

a) RFP sub-group - no update

b) Interim Ideas Sub-Group - no update

**8. New Business**

- a) Share planning process with the Community  
Councillor Lavery spoke regarding the upcoming involvement of Urban Systems and its approach to public and stakeholder engagement Active Transportation Plan. Councillor Lavery will organize a list of potential volunteers from the Task Force and coordinate this with Chris Larson. The support of this process by the Task Force was discussed.

**9. Other Business &/or Roundtable Updates, Ideas and Questions****10. Next Meeting**

The next meeting of the Active Transportation Task Force will be April 4, 2022 at 10:00 a.m.

**11. Adjournment**

Moved: Joe Johnson

Seconded: Steve Fabro

THAT: the March 7, 2022 Meeting of the Active Transportation Task Force be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 11:12 a.m.

---

Mayor Alan Harrison, Co-Chair

---

Councillor Tim Lavery, Co-Chair

Received for information by Council the       day of       , 2022.

Item 8.1

## CITY OF SALMON ARM

Date: March 14, 2022

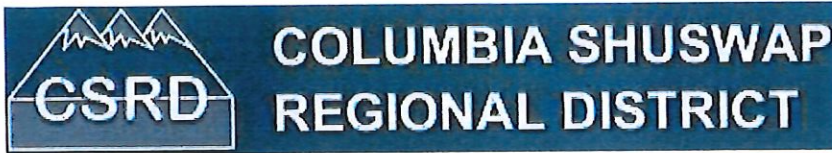
### Board in Brief – February 2022

#### **Vote Record**

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



[www.csr.bc.ca](http://www.csr.bc.ca)



## #YourCSR - February 2022

February 2022



[Web version](#)

## Highlights from the Regular Board Meeting

### Business arising from the Minutes

#### Federation of Canadian Municipalities (FCM) Annual Conference and Trade Show Attendance

The Board approved Directors Karen Cathcart, David Brooks-Hill and Rhona Martin to attend the FCM Conference to be held in Regina, Saskatchewan from June 2-5.



### Correspondence

#### SILGA 2022 Convention

Rather than draft a resolution for the Southern Interior Local Government Association

(SILGA), the Board approved a motion to send a letter to the Ministry of Forests, Lands, and Natural Resource Operations and Rural Development asking for improved public notification of blasting activities on logging roads.

The Board approved sending a resolution to SILGA calling for the Provincial government to increase funding to BC library systems.

## **Committee Reports and Updates**

### **Committee of the Whole Meeting (January 26, 2022) Recommendations**

The Board supported motions coming out of budget discussions to add a 0.29 Clerical Assistant position to the Finance Department and a full-time Freedom of Information and Records Clerk position for the Corporate Administration Department.

## **Business General & Business by Area**

### **Shuswap North Okanagan Rail Trail Governance Advisory Committee**

This item was postponed to the March 17, 2022 Regular Meeting.

### **Grant-in-Aid Requests**

The Board approved allocations from the 2022 electoral grant-in-aid budget for projects in Electoral Areas A, C, D, E and F. [View report.](#)

### **Electoral Area C: Area C Community Works Funds – Notch Hill Town Hall Association**

The Board approved spending \$32,563 plus applicable taxes from the Area C Community Works Fund for a new water well and treatment system at the Notch Hill Town Hall. [View report.](#)

### **Electoral Area E: Sicamous and District Recreation Centre Fitness Centre Equipment Upgrades – Community Works Fund**

The Board approved spending \$67,000 plus applicable taxes from the Electoral Area E Community Works Fund allocation for upgrades to the fitness centre at the Sicamous and District Recreation Centre. [View report.](#)

### **Electoral Area F: Scotch Creek Water System Negotiated RFP Design and Engineering Services**

The Board approved allocating \$60,000 plus applicable taxes from the Electoral Area



Feasibility Study Fund for design and engineering services for the new Scotch Creek Water System. [View report.](#)

**Electoral Area D: Electoral Area D Community Works Fund – Energy Efficient Upgrades for the Ranchero Deep Creek Fire Hall**

The Board approved spending up to \$45,000 plus applicable taxes from the Electoral Area D Community Works Fund allocation for energy efficient upgrades to the Ranchero Deep Creek Fire Hall Building. [View report.](#)

**Electoral Area C: South Shuswap Rides Program**

The Board supported in principle an application by the CSRD under the Rural Transit Solutions Fund on behalf of the South Shuswap Transportation Society (SSTS), subject to the following conditions:

- A formal request from an authorized signatory of the SSTS, requesting that the CSRD sponsor an application to purchase a second passenger vehicle,
- Receipt of a completed application to the extent possible. Any detail that will need to be completed by the CSRD will be handled by the CSRD,
- Confirmation from the SSTS that the Society has available funding on-hand to meet its 20 per cent funding commitment under the program.

Electoral Area C Director Paul Demenok declared a conflict of interest on this matter as he is a Director of the society. He did not participate in discussions or vote on this matter.

## **Administration Bylaws**

**Whitetooth Ski Hill Legacy Fund Administration Amendment Bylaw No. 5841, 2021**

The Board approved the bylaw amendment, which will include the concurrence of the Town of Golden on any funding application approvals for the use of the Whitetooth Ski Hill Legacy Funds. [View bylaw.](#)

**All Areas: General Local Government Election and Other Voting Amendment Bylaw No. 5844, 2022**

The Board approved a bylaw which will allow mail ballot voting at the request of an eligible voter. Previously there had been some eligibility criteria for citizens looking to vote by mail. [View bylaw.](#)

## **Delegations**

**Community Wildfire Reduction Plan for Area A**

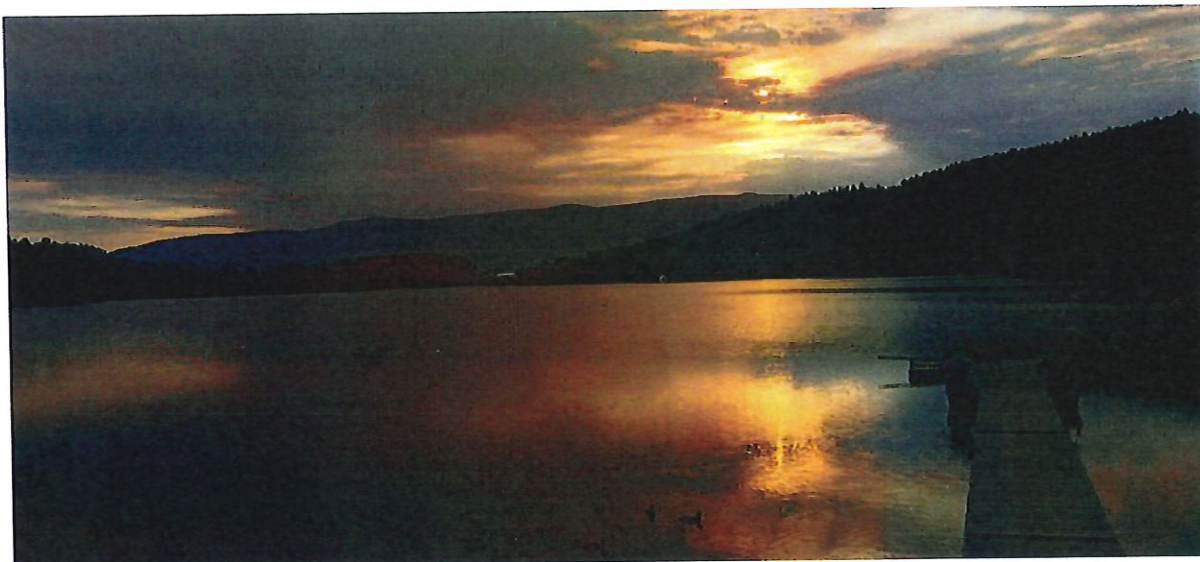
Brin Farrell and Louis Orioux from BA Blackwell and Associates Ltd. presenting the



Community Wildfire Resilience Plan for Area A. [View presentation.](#)

### **Kicking Horse Canyon Project Update**

A presentation was made to the Board by the Kicking Horse Canyon Project Team and Ministry of Transportation and Infrastructure regarding recent and upcoming construction, traffic management, and alternate routes.



## **LAND USE MATTERS**

### **Business General**

#### **Electoral Area E: BC Timber Sales Wiseman Creek Referral**

The Board made a recommendation to the Ministry of Forests, Lands, Natural Resource Operations and Rural Development that a moratorium be placed on logging activity in the Sicamous and Wiseman Creek Community Watershed areas due to the high geohazard risk created by the 2021 Two Mile Creek Fire. [View report.](#) [View press release.](#)

### **Development Permits (DPs), Temporary Use Permits (TUPs) & Development Variance Permits (DVPs)**

#### **Electoral Area B: Temporary Use Permit No. 850-15**

The owners of 1850 Westerburg Road in South Revelstoke have applied for a TUP for the owners to continue living in an existing single family dwelling (a double-wide mobile home) on their property while a new single-family dwelling is being constructed. The Board approved the TUP with conditions designed to ensure the proper removal of the mobile home once the new construction is complete. [View report.](#)

### **Electoral Area B: Development Variance Permit No. 851-09**

The subject property is located at 517 Vancouver Street in Trout Lake. The property owners have applied to reduce the minimum setback for the east exterior side parcel boundary from 4.5 m to 0.30 m, only for a new accessory building wall, and from 1 m to 0 m, only for the eaves of a new accessory building. The Board approved issuance of the DVP. [View report.](#)

### **Electoral Area F: Development Variance Permit No. 650-42**

The subject property is located at 7720 Squilax-Anglemont Road in Anglemont. The property owner reconstructed an existing deck which is located within the east interior side parcel boundary setback. The owner is also proposing to construct a new accessory building (2-car garage) with a breezeway attaching the building to the existing single-family dwelling. This application has been made to vary to the maximum parcel coverage from 30% to 34.6% to allow for the construction of the new accessory building and breezeway, and to vary the east interior side parcel boundary from 2.0 m to 0.10 m to recognize the location of the reconstructed deck. It is also proposed to recognize the location of the existing single-family dwelling within the west interior side parcel boundary from 1.0 m to 0.54 m, only for the eaves of the dwelling, and from 2.0 m to 1.51 m, only for the exterior wall of the dwelling.

The Board approved variances to parcel coverage up to 34.6% and minimum setbacks from the west interior side parcel boundary, but did not approve the variance to the east interior side parcel boundary which contains the reconstructed deck. [View report.](#)

### **Electoral Area A: Development Variance Permit No. 641-50A**

The two subject lots, located at 1753 Oberg Johnson Road, Blaeberry, are part of a three-lot boundary adjustment subdivision. This application requested a variance to the provisions of Part 8 – Assessment and Demonstration of Potable Water of Bylaw No. 641, which would allow for an exemption from proof of water requirements for these two proposed lots, which would be serviced by wells that do not meet the exemption provisions. The Board approved issuance of the DVP. [View report.](#)

## **Zoning, OCP and Land Use Amendments**

### **Electoral Areas A, B, C, D, E, & F: Subdivision Servicing Bylaw No. 680**

Subdivision Servicing Bylaw No. 680 replaces the current Subdivision Servicing Bylaw No. 641. It is designed to streamline previous regulations and improve its ease of use of the bylaw, while ensuring that the creation of new lots is done in a safe, sustainable manner. The Board unanimously approved adoption of the bylaw. [View report.](#)

### **Electoral Area E: Electoral Area E Official Community Plan Bylaw No. 840 and Electoral Area E Zoning Bylaw No. 841**



Directors voted unanimously to adopt the new Official Community Plan and Zoning Bylaw that applies to Electoral Area E (Rural Sicamous, Swansea Point and Malakwa). The new OCP and Zoning Bylaw replaces the land-use policies and regulations for the area previously covered by Rural Sicamous Land Use Bylaw No. 2000 and introduces new policies and regulations for the remainder of Electoral Area E. [View report](#). [View press release](#).

### **Electoral Area F: Lakes Zoning Amendment Bylaw No. 900-29F**

The subject property is located at Strata Plan EPS611, St. Ives. The property owners wanted to rezone their foreshore to allow for up to nine private mooring buoys and three floating docks. After Board discussion of the staff recommendation to allow one dock and nine buoys, the Board approved an amended motion to allow for two docks and nine buoys. [View report](#).

## **Release of In-Camera Resolutions**

The following resolutions were released from the In-Camera (Closed) session of the February 17, 2022 meeting:

THAT: Dylan Hardy and Veronika Stevenson be reappointed to the Revelstoke Area Economic Development Commission for a two-year term ending on February 28, 2024.

THAT: the Board empower the authorized signatories to enter into an agreement with Morrison Hershfield to complete a Solid Waste Management Plan Effectiveness Review for a total cost not to exceed \$45,462 plus applicable taxes.

THAT: the Board release the public statement from In Camera portion of the meeting. This statement was regarding the retirement of Charles Hamilton, Chief Administrative Officer of the CSRSD. It can be read [here](#).

## **NEXT BOARD MEETING**

The Regular CSRSD Board Meeting will be held Thursday, March 17, 2022 in the CSRSD Boardroom, 555 Harbourfront Drive NE, Salmon Arm. The Regular Board meeting public session generally starts at 9:30 AM.

Any scheduling changes to the meeting start time will be noted on the Events tab of the CSRSD's website.

In-person attendance is available to the public in accordance with current provincial health orders. Seating is limited and will be first-come, first-served.

The public is strongly encouraged to join the meeting via Zoom. Information on how to register for the Zoom meeting access is on the Events tab of the CSRSD website under the

Board meeting date.



Columbia Shuswap Regional District  
555 Harbourfront Drive NE, PO Box 978  
Salmon Arm, BC V1E 4P1  
[www.csrld.bc.ca](http://www.csrld.bc.ca) | 250.832.8194

You are receiving this because you are  
currently involved in or were previously  
involved with one of the CSRDP's programs;  
or have subscribed to the CSRDP  
Newsletter.

[Unsubscribe](#)

Item 9.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council approve the purchase of two (2) new replacement PLC's from Ramtech Environmental for the Trojan Swift 24 UV Reactors at the Water Plant. The quote includes materials, programming, configuration and testing of the new PLCs as well as travel and labour for a total price of \$23,155.40 plus applicable taxes;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of the material and to authorize sole sourcing of same to the provincial distributor of this product, Centrix Control Solutions.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

File: 2022-09

---

TO: His Worship Mayor Harrison and Members of Council

FROM: Robert Niewenhuizen, Director of Engineering and Public Works

PREPARED BY: Gerry Rasmuson, Manager of Utilities

DATE: March 7, 2022

SUBJECT: **TROJAN UV PLC UPGRADE – WATER PLANT**

---

**STAFF RECOMMENDATION**

**THAT:** Council approve the purchase of two (2) new replacement PLC's from Ramtech Environmental for the Trojan Swift 24 UV Reactors at the Water Plant. The quote includes materials, programming, configuration and testing of the new PLC's as well as travel and labour for a total price of \$23,155.40 plus applicable taxes.

**AND THAT:** The City's Purchasing Policy No. 7.13 be waived in the procurement of the material and to authorize sole sourcing of same to the provincial distributor of this product, Centrix Control Solutions.

---

**BACKGROUND**

The Canoe Water Treatment Plant was placed online in May 2009 to treat the raw water from Shuswap Lake to meet the parameters specified under the Drinking Water Protection Act. The City utilizes a direct filtration process followed by Ultra Violet and Chlorine disinfection prior to distributing to the water network for consumption.

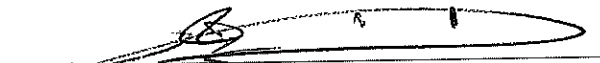
The Ultra Violet Disinfection process is accomplished through the use of two (2) Trojan UV Reactors. These units have been in operation since the Water Plant went online in 2009. The current System Controller Center (SCC) utilizes Allen Bradley L32e CompactLogix PLC's. These processors are now obsolete and require upgrading to the Allen Bradley CompactLogix L33er. This PLC replacement and upgrade to the UV disinfection process is critical to meeting Canadian Drinking Water Regulations and the upgrade has been approved in the 2022 Capital budget with an anticipated expenditure of \$25,000.

### **STAFF COMMENTS**

Ramtech Environmental Products in Calgary are the Western Canada distributor for Trojan Technologies. As such, staff views this as a sole source project under Policy No. 7.13 Section 3 whereby it is a non-competitive situation due to the proprietary nature of the materials and required work to be performed.

Along with the new PLC's there will be the necessary programming of the software upgrades for a total price of \$22,155.40, plus applicable taxes. Not included in this price is an estimated air fare of \$1000.00 for the programmer to attend our plant to conduct the installation and programming, Freight costs are still to be determined.

Respectfully submitted,

  
Robert Niewenhuizen, ASCT  
Director of Engineering and Public Works

cc. Chelsea Van de Cappelle, CFO

THIS PAGE INTENTIONALLY LEFT BLANK



Item 9.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: The 2022 Budget contained in the 2022 – 2026 Financial Plan Bylaw be amended to increase the scope and budget of the 16 Avenue NE (16 St – 10 Ave) Sidewalk Upgrade to Multi-use path project budget in the amount of \$395,000.00 to be funded from the following source:

- \$360,000.00 Building Canada Active Transportation Fund Grant
- \$40,000.00 Cenotaph Intersection (Budget \$40,000.00)

AND THAT: Council authorize submission of a grant application under the Building Canada – Public Transportation, Active Transportation Fund for the 16 Avenue NE (6 Avenue– 20 Street NE) Sidewalk Upgrade to Multi-use path project, estimated cost \$605,000.00 plus taxes.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council  
FROM: Robert Niewenhuizen, Director of Engineering and Public Works  
PREPARED BY: Jennifer Wilson, City Engineer  
DATE: March 3, 2022  
SUBJECT: **Building Canada – Public Transportation – Active Transportation Fund**

---

**RECOMMENDATION:**

**THAT:** The 2022 Budget contained in the 2022 - 2026 Financial Plan Bylaw be amended to increase the scope and budget of the 16 Ave NE (16 St – 10 Ave) Sidewalk Upgrade to Multi-use path project budget in the amount of \$395,000 to be funded from the following source:

- \$360,000.00 Building Canada Active Transportation Fund Grant
- \$40,000.00 Cenotaph Intersection (Budget \$40,000)

**AND THAT:** Council authorize submission of a grant application under the Building Canada – Public Transportation, Active Transportation Fund for the 16 Ave NE (6 Ave -20 Street NE) Sidewalk Upgrade to Multi-use path project, estimated cost \$605,000.00 plus taxes;

**BACKGROUND:**

The Government of Canada have recently announced an intake for grant applications for the Building Canada – Public Transportation - Active Transportation Fund program (ATF).

The ATF is to help support a modal shift away from cars and toward active transportation in support of Canada's National Active Transportation Strategy. Funding for municipalities is available up to a maximum 60% cost-share up to a maximum of \$50,000,000. There is no limit on the number of applications that a municipality can submit and projects of a like kind can be bundled.

Eligible projects will be evaluated against the following merit Criteria:

- Improved community connectivity and accessibility
- Economic benefits (Employment opportunities, tourism, active trans to business district)
- Environmental and Climate Benefits (GHG reductions; land use intensification, protection of green spaces, use of green technologies)
- Improved Use Mobility and Support of a Safe and Secure Environment (safety or security issues addressed, ensure safe and secure environment for vulnerable populations)
- Viability (part of AT strategy, significant community support, planning work is in an advanced state)



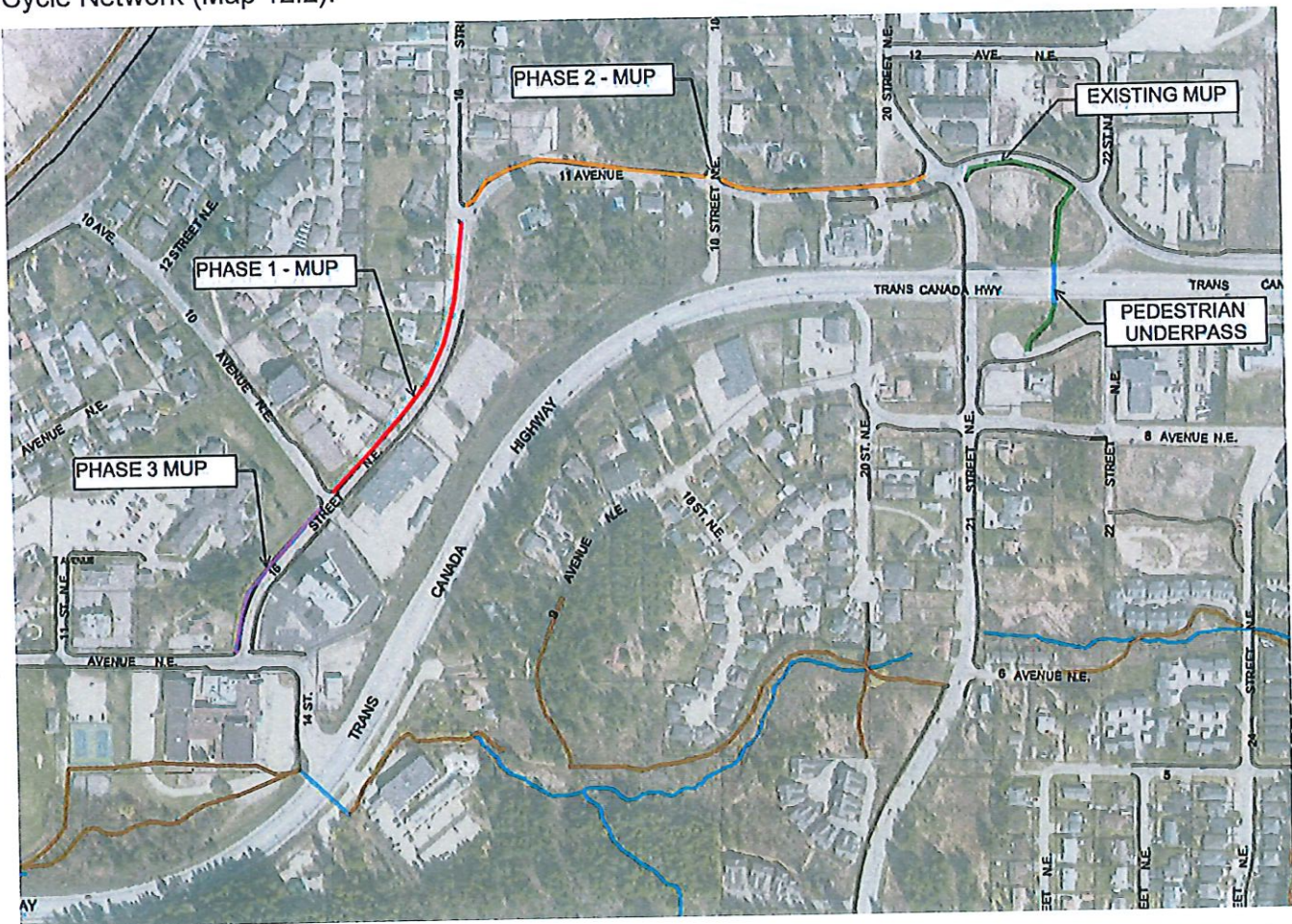
Projects are not required to be shovel ready, but as noted above, the state of the project planning is a consideration in the award of the funding. All project work must be completed by March 31, 2026.

The deadline for grant applications is **March 31, 2022**.

Potential Projects for submission:

### **16 Street/11 Ave NE sidewalk upgrade to Multi-Use Path**

The 2022 Capital Budget included the 16 Ave NE (16 St – 10 Ave) sidewalk, curb & gutter project in the amount of \$205,000. The scope of work included replacing the curb & gutter and sidewalk along the subject portion of roadway with a 3.0m offset multi-use path. This project is Phase 1 of a planned 3-Phase project to replace the deteriorating sidewalk on the north side of the roadway from the intersection of 16 Street & 6 Avenue NE (high school) to 20 Street & 11 Avenue NE (RCMP Station), refer to figure below. This route is identified in the Official Community Plan as a key corridor within our Cycle Network (Map 12.2).



The total project value is estimated at \$605,000, which would require an additional \$ 40,000 to be funded by the City to meet our required 40% contribution. The Cenotaph Intersection is being delayed to insufficient budget to complete the project.

A successful Building Canada ATF grant would allow all three phases to be completed with a small amount of additional City funding.

**STAFF COMMENTS**

Staff recommend that Council authorize submission of a grant application under the Building Canada Public Transportation, Active Transportation Fund for the 16 Ave NE (6 Ave -20 Street NE) Sidewalk Upgrade to Multi-use path project, estimated cost \$605,000.00. The project already has substantial city funding committed and increases connectivity between schools, downtown, Recreation Centre, etc., making the project a good fit for the Building Canada ATF grant.

Respectfully submitted,



---

Robert Niewenhuizen  
Director of Engineering and Public Works

cc Chelsea Van De Cappelle, CFO

X:\Operations Dept\Engineering Services\5220-CAPITAL\2021\2021-99 GRANTS\Canada Community Revitalization Fund\WWM Canada Community Revitalization Fund.docx

Item 9.3

## CITY OF SALMON ARM

Date: March 14, 2022

Director of Development Services  
RFP – City of Salmon Arm Active Transportation Network Plan  
For Information

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond






---

To: His Worship Mayor Harrison and Members of Council

Date: March 3, 2022

Subject: RFP – City of Salmon Arm Active Transportation Network Plan

---

**Background:**

Using the Request for Proposals (RFP) document developed with the Active Transportation Task Force (Appendix 1), City staff advertised for the services of a qualified consulting team to create an ATNP with a budget of \$100,000.00 via BCBid. Six (6) submissions were received by the January 28, 2022 deadline:

<u>Company</u>	<u>Quote</u>	<u>Rank</u>
Urban Systems Ltd.	\$ 99,549, plus GST	1
EXP Services	\$ 99,040, plus GST	2
Bunt & Associates	\$ 89,900, plus GST	3
WATT Consulting Group	\$ 75,170, plus GST	4
ISL Land Services	\$ 94,330, plus GST	5
Copenhagenize Design	\$101,200, plus GST	6

At the February 28, 2022 Regular Council meeting Staff recommended and Council moved that Urban Systems Ltd. be awarded the contract to complete an Active Transportation Network Plan (ATNP) for a fee of \$99,549.00 (plus GST).

The memo to Council dated February 24, 2022 noted in error that 3 submissions were compliant with the RFP requirements. In fact, all 6 submissions met the mandatory criteria of the RFP. As a correction and for transparency, the rank of all 6 submissions received is provided here for Council's information.

All submissions received were independently reviewed and ranked by staff, with the top ranked submissions remaining consistent and unchanged.

 A handwritten signature in black ink, appearing to read "Kevin Pearson", is written over a horizontal line.
 

Kevin Pearson, MCIP, RPP  
Director of Development Services

Item 11.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 be read a final time.

[Parking Charges and Rates]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



File: 0360.30.02

TO: His Worship Mayor Harrison and Members of Council

FROM: Rob Niewenhuizen, Director of Engineering and Public Works

DATE: February 11, 2022

SUBJECT: **AMENDMENT TO THE FEE FOR SERVICE BYLAW NO. 2498 – DOWNTOWN PARKING RATES**

## RECOMMENDATION

**THAT:** “City of Salmon Arm Fee for Service Amendment Bylaw No. 4503” be read a first, second and third time.

## BACKGROUND:

The Downtown Parking Plan was completed by ISL Engineering & Land Services in August of 2021. The Downtown Parking Commission (DPC) in reviewing the Salmon Arm Downtown Parking Plan (Plan) have made a recommendation to City Council to increase the “on-street” and “reserved” off street parking lot rates. These increased rates will allow more resources to further enhance the efficiency of the parking systems including investments in advanced parking meter technology and enforcement.

It has been well over 20 years since any of the parking rates have been modified or increased. The existing on-street parking fee within the City of Salmon Arm (City) downtown area is currently \$0.25 per hour. As per the Plan, this is significantly lower than the average fee for similar municipalities (Appendix A – Excerpt from the Plan).

The Plan does not specifically address reserved off-street parking rates, however staff have conducted an internal survey of reserved rates of the same comparable municipalities surveyed within the Plan and note that the City is again below the average (Appendix B).

Staff are proposing an amendment to establish new parking rates effective, **July 1, 2022:**

	Current	Proposed
On-Street Parking Meter Rate	\$0.25	\$1.00
Reserved Off-Street Parking Stalls	\$25.00 per Month*	\$50.00 per Month*
Reserved, Personalized Off-Street Parking Stalls	\$35.00 per Month*	\$60.00 per Month*

\*Plus taxes as applicable

It is also recommended that the City no longer offer a 10% discount for the purchase of a six (6) month reserved parking pass, which is also consistent with comparable municipalities.

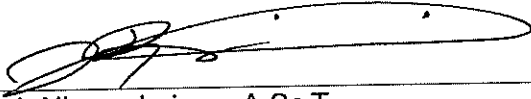


**Fee For Service Amendment – Downtown Parking Rates**

---

Following the adoption of the recommended parking rates, notice will be provided to all existing reserved parking pass holders, advertised on the City social media platforms, posted at City Hall and on the City website.

We respectfully recommend that Schedule B, Appendix 3, Subsection 5 of the Fee for Service Bylaw No.2498 be amended to reflect the revised downtown parking rates as recommended by the DPC.



---

Rob Niewenhuizen, A.Sc.T.  
Director of Engineering and Public Works

cc Chelsea Van De Cappelle, Chief Financial Officer

X:\Operations Dept\Engineering Services\BYLAWS & POLICIES\Fee For Service Bylaw\2022\HWM - Water Meters Rates 2022.docx

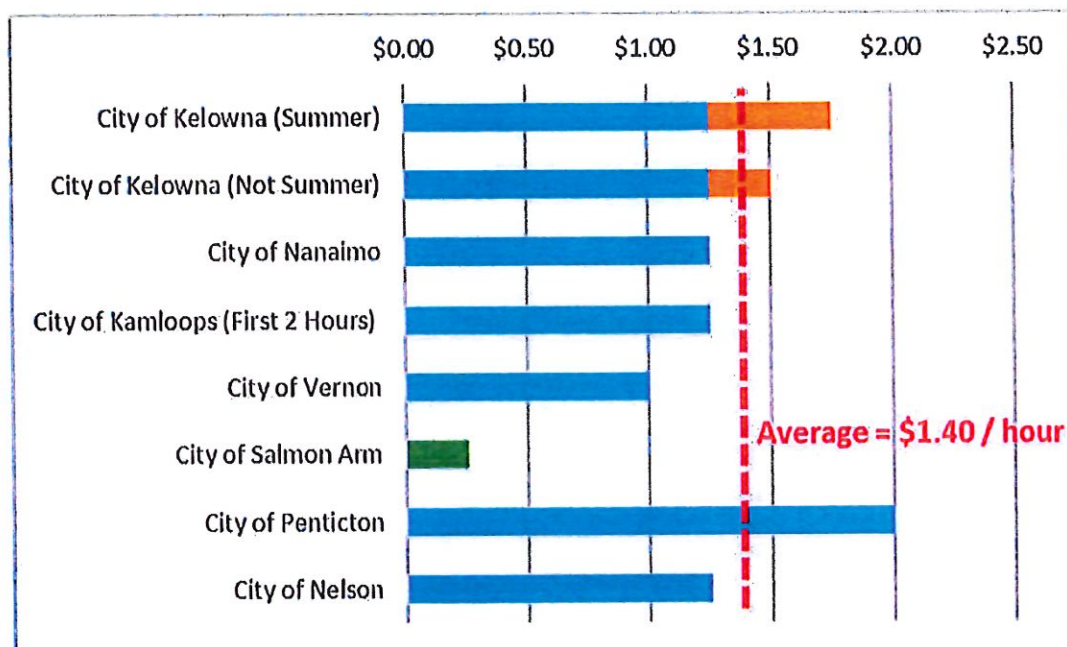


Figure ES.1: Downtown Parking Fee for Comparable BC Municipalities

Based on the review of similar BC municipalities, there is an average on-street parking fee of \$1.40 per hour during the first two hours. The existing parking fee within the City of Salmon Arm downtown area is currently \$0.25 per hour, significantly lower than the average fee for similar municipalities. With the recent public survey results in mind, the implementation of paid on-street parking should be accompanied with an educational initiative, potentially in collaboration with the Downtown Business Association and Downtown Parking Commission, to discuss the benefits of implementing paid parking and how the additional revenue generated will positively impact the surrounding local businesses.

A memo (*Parking Enforcement Technologies*) prepared by the City of Salmon Arm was reviewed in order to identify potential types of methods and technologies that could be implemented including Single Space Metering (Smart Meter) and the multi-space metering (kiosk-based metres). Some basic assumptions were applied when calculating the Cost-Benefit for the two potential parking technologies (i.e., Smart Meter versus Kiosk-based Meter) and the summary can be found in **Table ES.1**.

Overall, it was found that both technologies will have a similar cost per space and the estimated payback period for both technologies will be short; 1 year, 1 months for the Kiosk-based meters and 1 year and 5 month for the smart meter.

Fee For Service Survey  
Reserved Off-Street Parking

## Appendix B

Comparable Municipality	Reserved Type	Monthly Rate	Average	Average
City of Kelowna	Off Street Res.	\$ 150.00	\$ 115.90	
	Random Permit	81.79		
City of Nanaimo	Off Street Res.	60.00	60.00	
City of Kamloops	Off Street Res.	40.00 - 75.00	55.83	
City of Vernon	Off Street Res.	60.00	60.00	
City of Penticton	Off Street Res.	50.00 - 60.00	55.00	\$ 69.35
City of Nelson	Parkade Only	100.00	100.00	

## CITY OF SALMON ARM

BYLAW NO. 4503**A bylaw to amend "District of Salmon Arm Fee for Service Bylaw No. 2498"**

WHEREAS it is deemed desirable and expedient to alter the fees imposed by "District of Salmon Arm Fee for Service Bylaw No. 2498";

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. Schedule "B", Appendix 3 - Miscellaneous Fee Schedule, Subsection 5 of "District of Salmon Arm Fee for Service Bylaw No. 2498" is hereby deleted in its entirety and replaced with Schedule "B" Appendix 3 - Miscellaneous Fee Schedule, Subsection 5 attached hereto and forming part of this bylaw.

5.	<b>Pay Parking</b> Per hour	\$1.00
	<b>Hudson Avenue NW Parking Lot (Salmar Lot)</b> Reserved - per month Reserved - per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>Marine Park NE Parking Lot</b> Daily Regular Truck and Trailer and/or Motorhome	\$4.00 (GST included) \$6.00 (GST included)
	<b>Inner Core NE Parking Lot</b> Reserved - per month Reserved - per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>Avon NE Parking Lot</b> Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>4th Street NE Parking Lot</b> Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>Firehall No. 3 Parking Lot</b> Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

Fee for Service Amendment Bylaw  
(Parking Rates) No. 4503

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force on July 1, 2022.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Fee for Service Amendment Bylaw No. 4503".

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS 28 DAY OF February 2022

ADOPTED BY COUNCIL THIS DAY OF 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

THIS PAGE INTENTIONALLY LEFT BLANK

Item 11.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 be read a final time.

[Curbside Collection]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

# CITY OF SALMON ARM

To: Mayor Harrison and Members of Council  
 Date: February 14, 2022  
 From: Chelsea Van de Cappelle, Chief Financial Officer  
 Subject: Fee for Service Amendment – Curbside Collection Fee's

## Recommendation

That: Bylaw No. 4504 cited as "City of Salmon Arm Fee for Service Amendment Bylaw No. 4504" be given 3 readings.

## Background

As Council is aware, the City introduced Food Waste Collection in July of 2019. The program has been running successfully and as expected, the City has seen a reduction in garbage tonnage taken to the landfill. At this time, Council adopted a Fee for Service Amendment (Current Fees) related to Curbside Collection. While the fees have been reviewed annually, no changes were recommended since this time.

Following a review of the City of Salmon Arm Fee for Service charges associated with Curbside Collection this year, it has been determined that the cost associated with the procurement of Additional Food Waste Containers has increased. This increased pricing is a result of an unprecedented rise in the market price of resin due to material shortages. An amendment to the Fee for Service Bylaw is required in order to ensure full cost recovery. Staff are proposing an amendment to establish a revised charge for Additional Food Waste Containers.

	Current Fee	Proposed Fee
Curbside Household	\$101.00 per year	\$101.00 per year
Additional Food Waste Container	\$25.00 plus GST and PST per container	\$30.00 plus GST and PST per container
Additional Food Waste Collection	\$60.00 per year per additional container	\$60.00 per year per additional container
Extra Food Waste Tag	\$3.00 per tag	\$3.00 per tag
Extra Refuse Tag	\$3.00 per tag	\$3.00 per tag

During the preparation of the 2022 Budget, staff reviewed the annual Curbside Household fee and Additional Food Waste Collection fee and while the program as a whole is projecting a deficit in



2022, staff recommended that this deficit be offset by a transfer from the Solid Waste and Recycling Reserve rather than a fee increase at this time.


The reserve was established as a result of past surpluses within the Solid Waste and Recycling function. The intent of the reserve is to absorb further increases to expenditures associated with the collection of solid waste and recycling and service changes. The reserve also serves as a contingency plan when and if the Recycle BC program is phased out or eliminated. The reserve also provides the City with flexibility to address future issues or cost implications without impacting the users in terms of:

- Opportunities to gather user data and establish historical trends for decision-making;
- Tipping fee increases to projected expenditure levels;
- Contract changes and increases;
- Cushion future cost increases associated with:
  - Conversion of sanitation vehicles from diesel fuel to natural gas;
  - Program expansion;
  - Further expansion of the organic yard waste collection;
  - Continued advertising/educational campaign to enhance and promote recycling and reduction of solid waste; and
  - Recycling audit, etc.

Staff do not recommend a change to the Extra Refuse/Food Waste Tag fees as they are currently consistent with those charged by the CSRD at the landfill.

We respectfully recommend that Schedule B, Appendix 10 – Curbside Collection, Section 3 of the Fee for Service Bylaw No. 2498 be amended to reflect the increase in costs associated with Additional Food Waste Containers.

Respectfully Submitted,

  
\_\_\_\_\_  
Chelsea Van de Cappelle, CPA  
Chief Financial Officer

## CITY OF SALMON ARM

### BYLAW NO. 4504

A bylaw to amend "District of Salmon Arm Fee for Service Bylaw No. 2498"

---

WHEREAS, it is deemed desirable and expedient to alter the fees imposed by "District of Salmon Arm Fee for Service Bylaw No. 2498";

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled enacts as follows:

1. Schedule B - Appendix 10 - Curbside Collection Fee, Section 3 of "District of Salmon Arm Fee for Service Bylaw No. 2498" is hereby deleted in its entirety and replaced with Schedule B - Appendix 10 - Curbside Collection Fee, Section 3 attached hereto and forming part of this bylaw.

#### SEVERABILITY

2. If any portion of this Bylaw is held invalid by a Court of competent jurisdiction, then that invalid portion shall be severed and the remainder of this Bylaw shall be deemed to have been adopted without the severed portion.

#### ENACTMENTS

3. Any enactments referred to herein is a reference to an enactment of British Columbia and regulations thereto, as amended, revised, consolidated or replaced from time to time.

#### EFFECTIVE DATE

4. This Bylaw shall come into full force and effect upon adoption of same.

CITATION

5. This Bylaw may be cited as the "City of Salmon Arm Fee for Service Amendment Bylaw No. 4504"

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS 28 DAY OF February 2022

ADOPTED BY THE COUNCIL DAY OF 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

## BYLAW NO. 2498

## APPENDIX 10

## SCHEDULE "B"

## CURBSIDE COLLECTION FEE

3. The Curbside Collection Fee shall be as follows:

Curbside Household	\$101.00 per year
Additional Food Waste Container	\$30.00 plus GST and PST per container
Additional Food Waste Collection	\$60.00 per year per additional container
Extra Food Waste Tag	\$3.00 per tag
Extra Refuse Tag	\$3.00 per tag

Item 11.3

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fee Zoning Amendment Bylaw No. 4489 be read a final time.

[ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: January 13, 2022

Subject: Zoning Bylaw Amendment Application No. 1227

Legal: Lot 3, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597  
 Civic Address: 6821 46 Street NE  
 Owner/Applicant: A. McCaffrey

### STAFF RECOMMENDATION

**THAT:** a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 3, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R1 (Single Family Residential) to R8 (Residential Suite Zone).

**AND FURTHER THAT:** final reading of the zoning amendment bylaw be withheld subject to:

- 1) registration of an SRW, as required by BC Hydro, and
- 2) approval by the Ministry of Transportation and Infrastructure.

### PROPOSAL

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) in order to permit the development of a secondary suite within the existing single family dwelling.

### BACKGROUND

The subject property is located in the new Turtle Ridge subdivision in the Canoe neighbourhood (Appendix 1 & 2). The parcel is designated Residential Low Density in the City's Official Community Plan (OCP), and zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North:	Vacant lot	Zoned R1
South:	Vacant lot	Zoned R1
East:	Vacant lots, Single Family Dwelling	Zoned R1
West:	Vacant lot (future subdivision)	Zoned R1

The subject property is approximately 846.4m<sup>2</sup> in area. An approximate 236.0m<sup>2</sup> (2540ft<sup>2</sup>) single family dwelling is proposed. The proposed basement suite is 56.3m<sup>2</sup> (606ft<sup>2</sup>). The plans show that the entrance to the proposed suite will be on the south side of the building (Appendix 5). Drawings provided in support of the rezoning application are attached as Appendix 5. Parking is to be provided onsite in the proposed two-car garage and driveway. The site contains a 6.0m wide statutory right of way along the east property line. The right of way protects BC Hydro and Power Authority utility connections. The proposed development would not impact this right of way area. To date, there are no R-8 zoned properties in this subdivision and approximately ten (10) R8 properties within the greater Canoe community. Site photos are attached as Appendix 6.



Policy 8.3.25 of the OCP provides for the consideration of secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

#### COMMENTS

##### Fire Department

No concerns.

##### Building Department

No concerns. British Columbia Building Code (BCBC) will apply.

##### FortisBC

No issues with this proposal.

##### Engineering Department

No concerns.

##### BC Hydro

BCH needs a blanket Distribution Statutory right-of-way.

##### Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

##### Planning Department

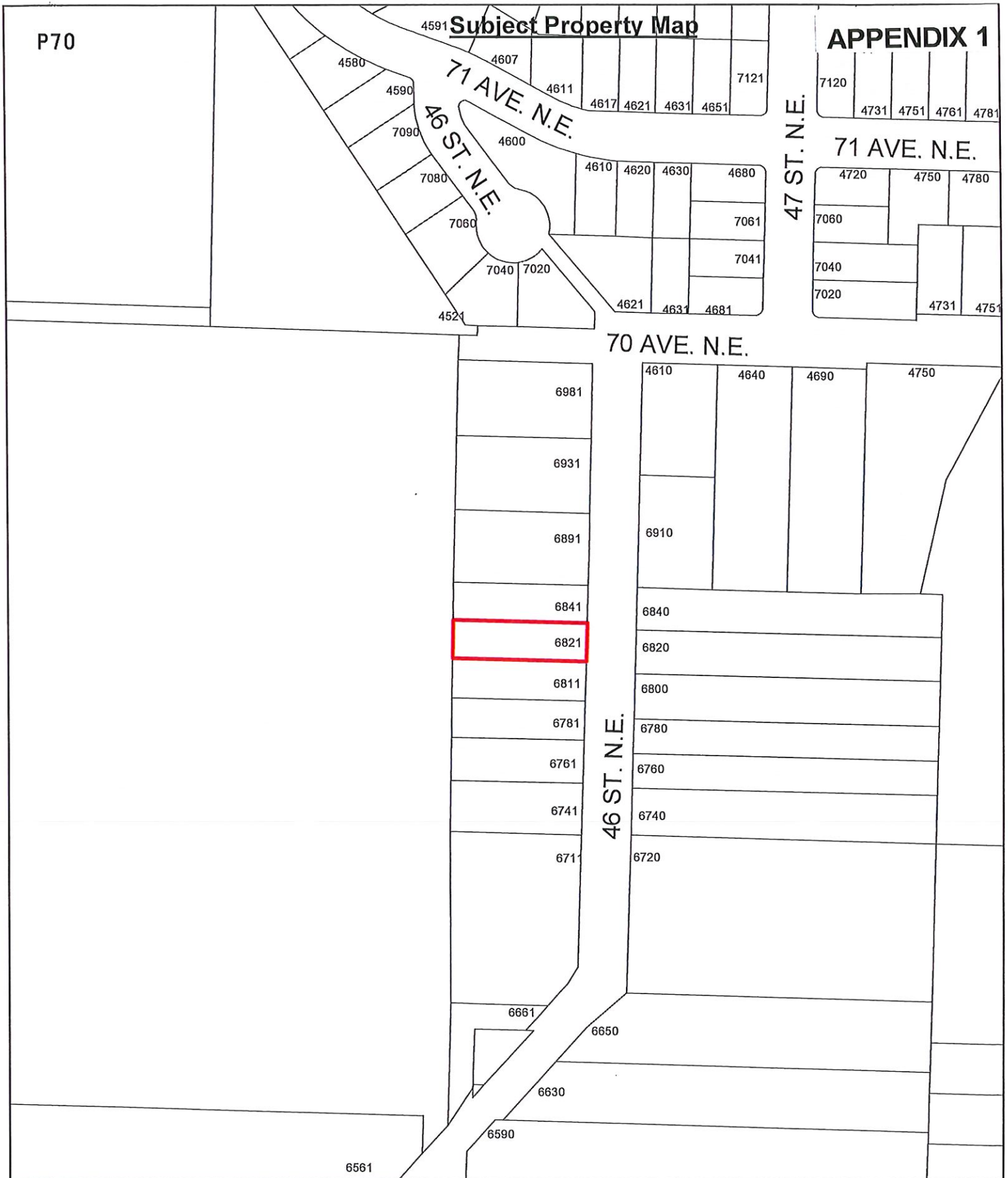
Based on parcel area, the subject property has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by the previously mentioned OCP policy and the proposed layout of the unit is compliant with zoning requirements, including an additional off-street parking space for the suite (on the proposed driveway). Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

  
Prepared by: Evan Chorlton  
Planner I  
Reviewed by: Chris Larson, MCIP, RPP  
Senior Planner

P70

# Subject Property Map

## APPENDIX 1

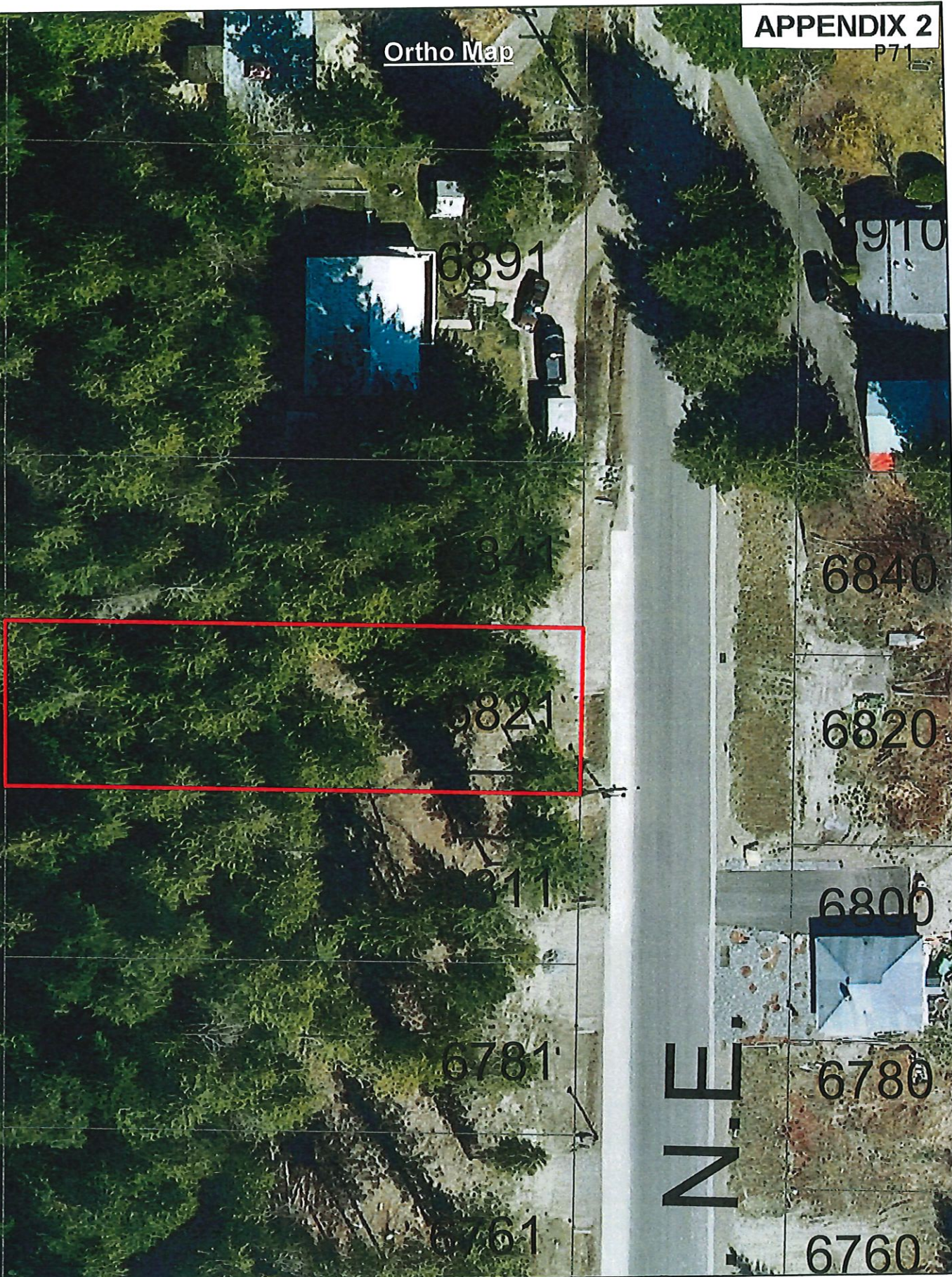


0 10 20 40 60 80 Meters

Subject Property  
 Parcels



Ortho Map



W  
N

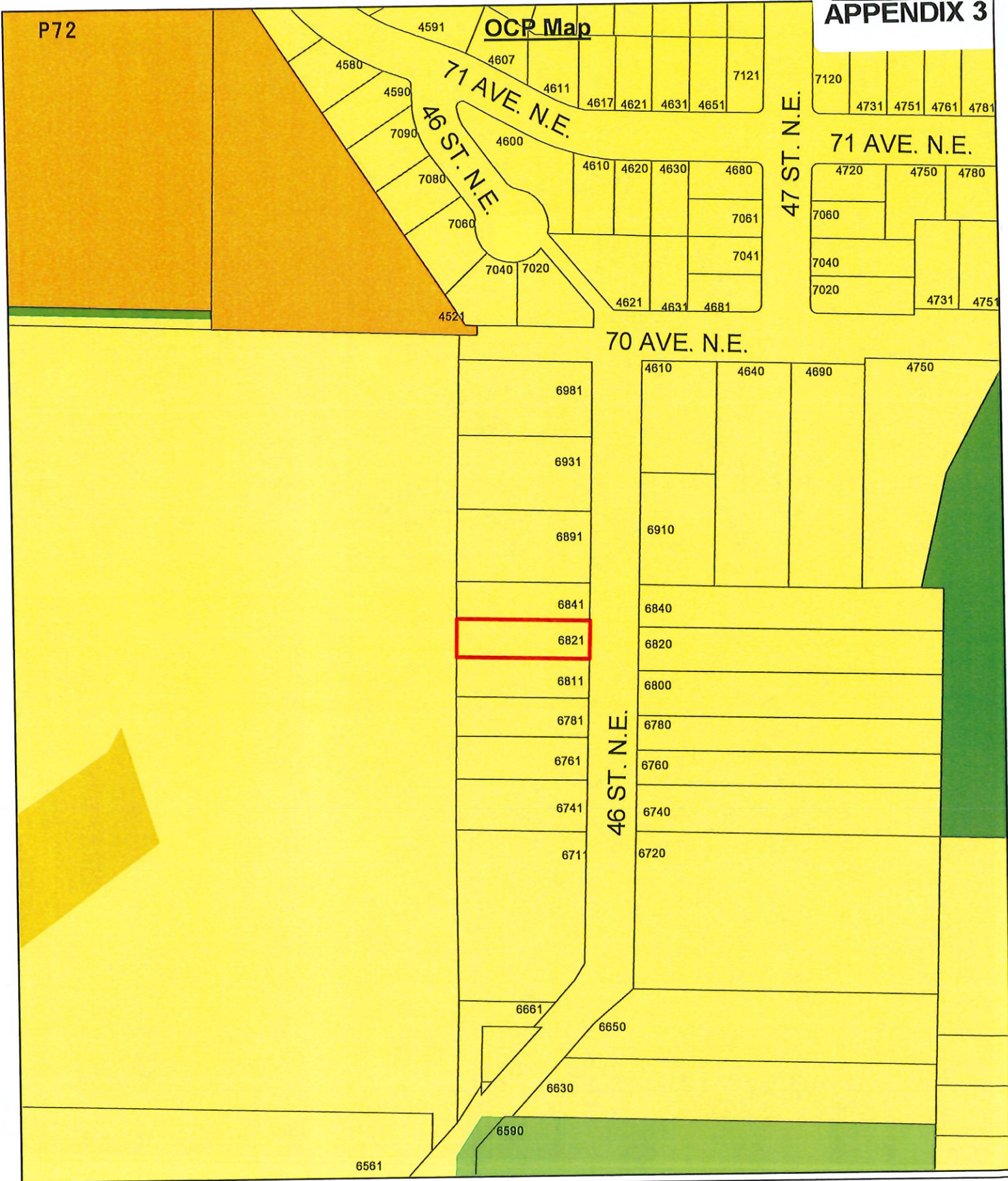


0 2.5 5 10 15 20 Meters

- Subject Property
- Parcels



OCP Map



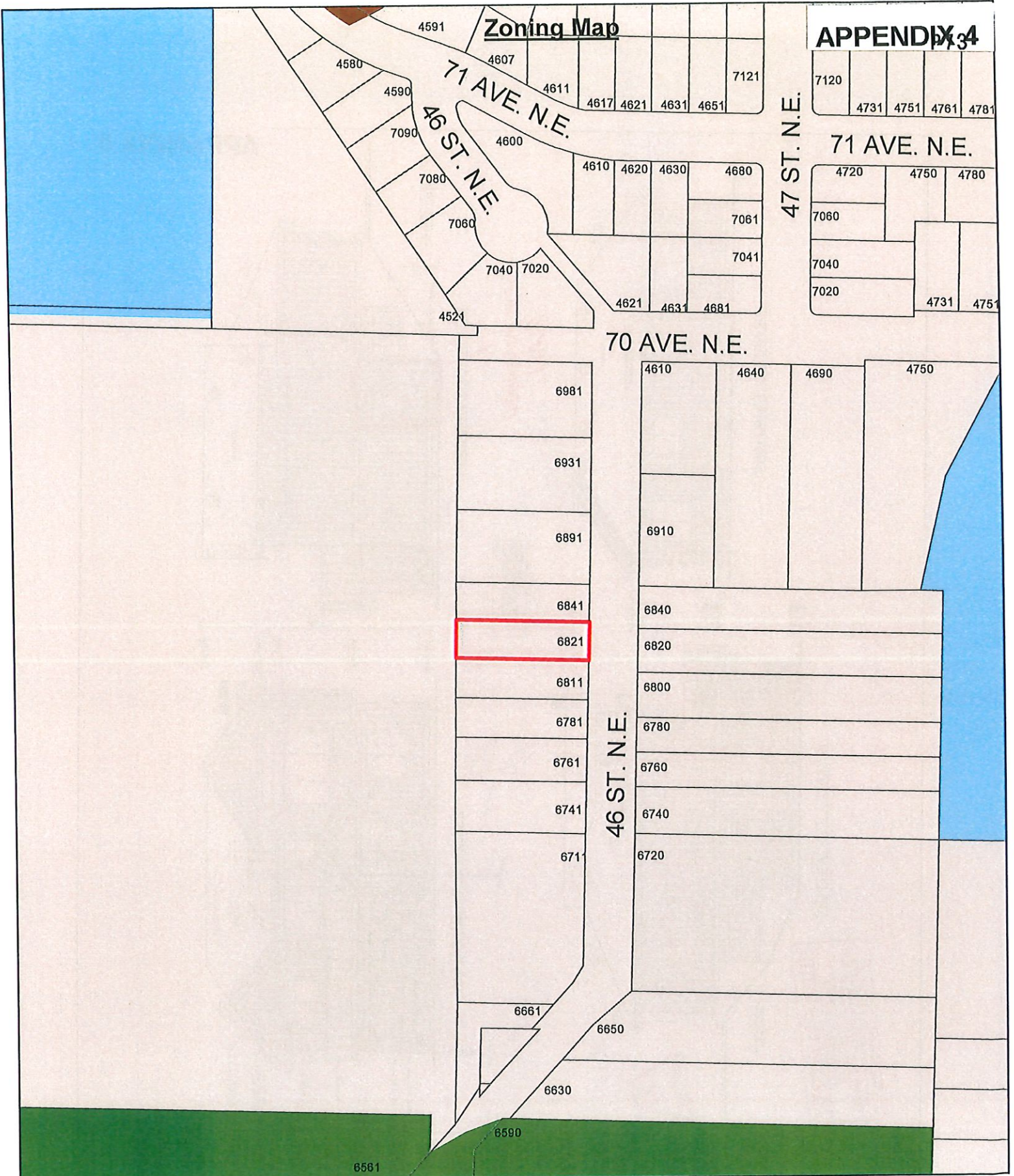
0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- Community Park
- Park
- Neighbourhood Park
- Residential - Low Density
- Acreage Reserve
- Residential - Medium Density



# Zoning Map

## APPENDIX 34



0 10 20 40 60 80 Meters

Subject Property

Parcels

A-2

P-1

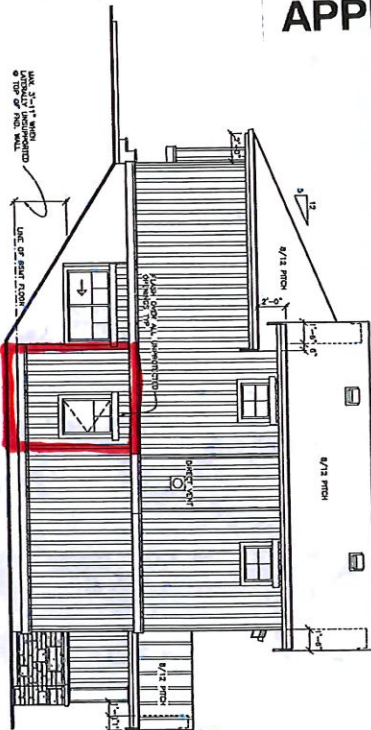
R-1

R-8



# APPENDIX 5

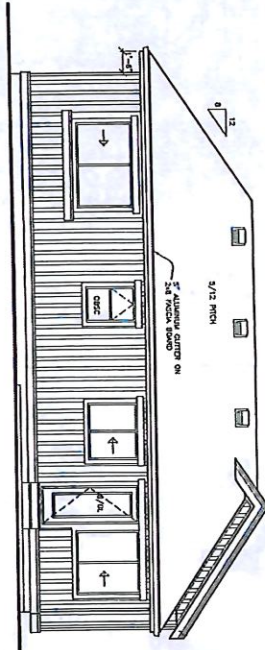
LEFT ELEVATION



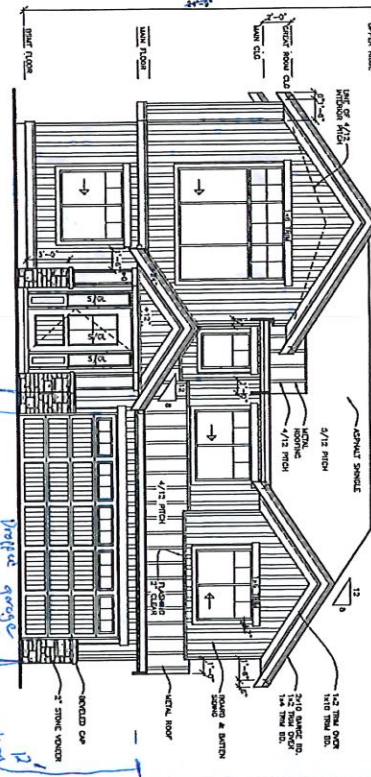
SEE AMENDED  
PLAN.

NOTES:  
GLASS AREA MAY NEED TO BE  
CHECKED WITH LOCAL BY LAWS &  
BUILDING CODE.

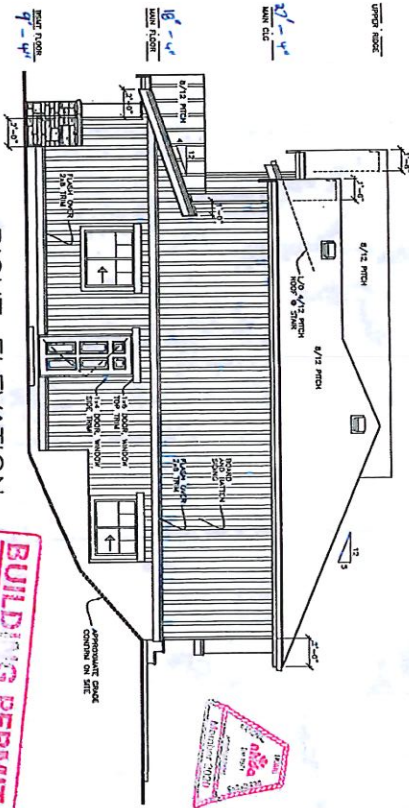
REAR ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



**BUILDING PERMIT**  
**COPY ONLY**  
THIS STAMP MUST APPEAR IN RED INK  
ON THE DOWN-SIDE LAYOUT OF CHARTER

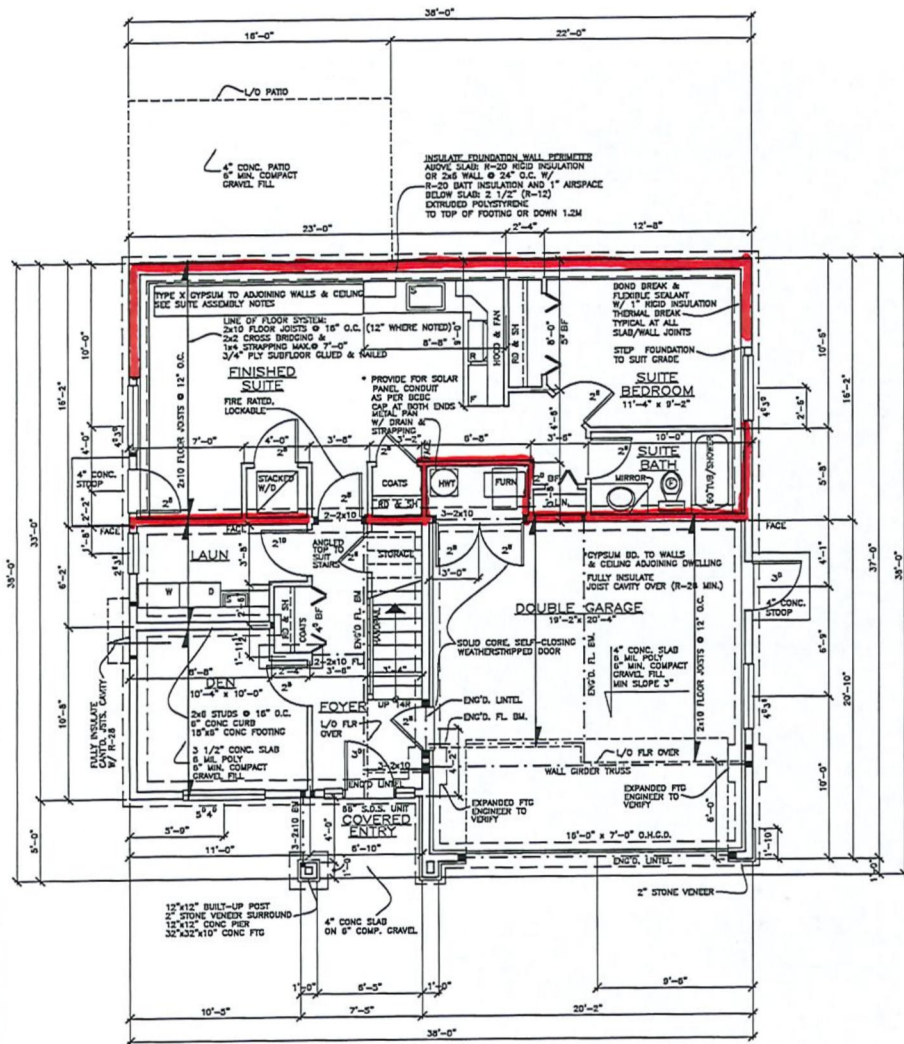


**JENISH HOUSE DESIGN LIMITED**

HEAD OFFICE:  
331-1158 CONNOR AVE.  
KILGORE, B.C. V1P 6A8  
639-655-5541  
TOLL FREE 1-888-458-5135

DATE	17
SCALE	1/4\"=1'-0\"
SHEET	4 OF 5
PLAN NUMBER	2-2-775
DATE	2016





## BASEMENT/ FOUNDATION PLAN

SCALE: 1/4"=1'-0"

FINISHED AREA = 316 SQ. FT.

SUITE AREA = 606 SQ. FT.  
GARAGE AREA = 413 SQ. FT.

GARAGE AREA = 413 SQ. FT.

PROVIDE ROUGHEN SUBFLOOR DEPRESSURIZATION SYSTEM,  
4" GRANULAR FILL BELOW SLAB AND PROVIDE 4" PIPE WITH  
CONNECTION FOR FUTURE DEPRESSURIZATION EQUIPMENT AND AIRTIGHT CAP  
TO BE PASSIVELY VENTED TO EXTERIOR, TO BE TERMINATED OUTSIDE

**SECONDARY SHUTT WALL AND CEILING ASSEMBLIES**  
(30 MINUTE FIRE RATING & 43 TYP. XPSM)

**CEILING: 30 MINUTE FIRE RATING & 43 TYP. XPSM**  
BCSG TABLE 9.10.3.1.1-4 R/FB/e  
= 2x10 FLOOR JOISTS  
= RESIDENT METAL CHANNELS @ 24" O.C. (78x8), OR  
= 18" O.C. W/ MIN. 0.5" INSULATION IN Cavity (78x8)  
= 1 LAYER 5/8" TYPE 1 XPSM

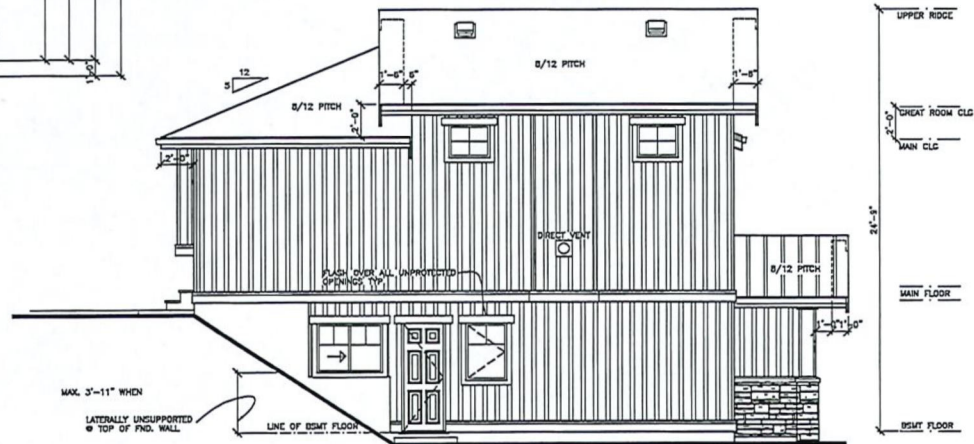
**FLOOR JOISTS**  
**FLOOR INSULATION**  
**RESIDENT METAL CHANNEL**  
**TYPE 1 XPSM**

**2x4/2x6 DOING WALL: 43 MINUTE FIRE RATING & 43 TYP. XPSM**  
BCSG TABLE 9.10.3.1.1-4 W/B  
= SIDE A: 1 LAYER 1/2" TYPE 1 XPSM  
= 2x4/2x6 STUDS @ 16" (OR 24") O.C. W/ 3/5" INSULATION  
= SIDE B: RESIDENT METAL CHANNELS @ 24" (OR 24") O.C.  
= SIDE B: 1 LAYER 1/2" TYPE 1 XPSM

**2x4 STUDS (OR 2x6)**  
**BATT INSULATION**  
**RESIDENT METAL CHANNEL**  
**TYPE 1 XPSM**

**30 MINUTE FIRE RATED SEPARATING DOOR**

\* MUST PROVIDE PHOTOELECTRIC FIRE ALARMING,  
WITH A FIRE RATING UNDER 90 MINUTES.



LEFT ELEVATION

NOTE:  
REMOVAL OF JHDL LOGO, TITLE  
BLOCK OR WATER MARK IS AGAINST  
CANADIAN COPYRIGHT LAWS



APPENDIX 6



46 STREET NE





46 STREET NE

24. STATUTORY PUBLIC HEARINGS

1. Zoning Amendment Application No. ZON-1227 [McCaffrey, A.; 6821 46 Avenue NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

A. McCaffrey, the applicant, outlined the application and was available to answer questions from Council.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:33 p.m. followed by comments from Council.

## CITY OF SALMON ARM

### BYLAW NO. 4489

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on February 28, 2022 at the hour of 7:00 p.m. was published in the February 16, 2022 and February 23, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 3, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 Single Family Residential Zone to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4489"

READ A FIRST TIME THIS                      24th                      DAY OF                      January                      2022

READ A SECOND TIME THIS                      24th                      DAY OF                      January                      2022

READ A THIRD TIME THIS                      28th                      DAY OF                      February                      2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE    9th            DAY OF    March, 2022

\_\_\_\_\_  
"E. KEAM"  
For Minister of Transportation & Infrastructure

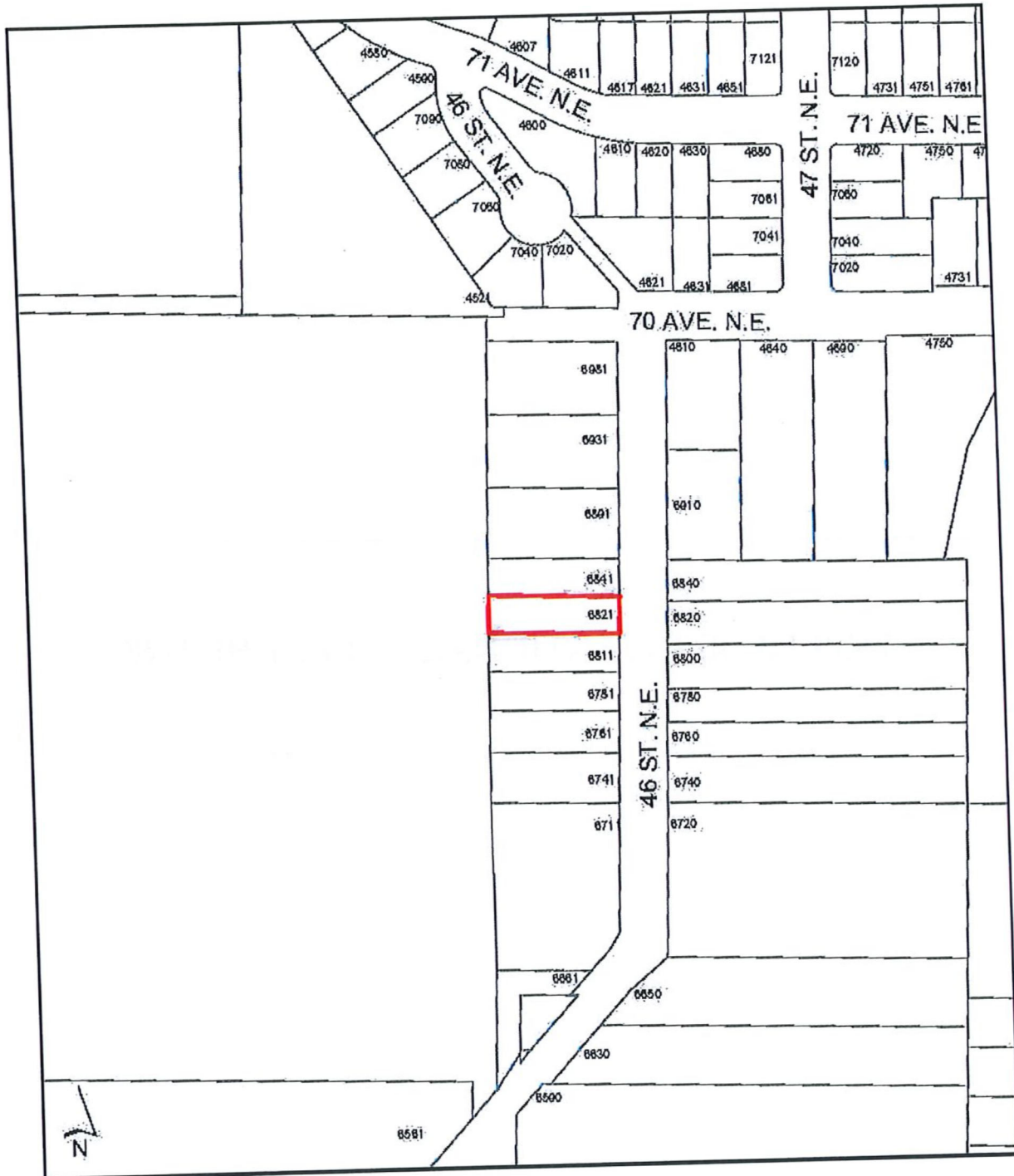
ADOPTED BY COUNCIL THIS                      DAY OF                      2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



Schedule "A"



THIS PAGE INTENTIONALLY LEFT BLANK

## INFORMATIONAL CORRESPONDENCE – March 14, 2022

1.	Building Department – Building Statistics – February 2022	N
2.	Building Department – Building Permits – Yearly Statistics	N
3.	V. J. Howard – email dated February 25, 2022 – Transit route and transit ticket purchase locations	R
4.	L. Francis – email dated March 5, 2022 – Mobs of people	R
5.	C. Askew – email dated February 28, 2022 – Request for safety improvements	R
6.	C. Holowachuk – email dated March 8, 2022 – Housing	N
7.	M. Vroom, Shuswap Vintage Car Club – email dated March 8, 2022 – Shuswap Vintage Car Club car show	A
8.	M. Brock, Girl Guide Leader & District Commissioner – letter dated March 8, 2022 – Roadside clean-up	A
9.	T. Kutschker, Director/Curator – Salmon Arm Arts Centre – letter dated March 9, 2022 – Letter of Support for Salmon Arm Pride Project	R
10.	J. McEwan, Salmon Arm Fall Fair Manager – letter dated March 7, 2022 – Noise Bylaw Extension Request	A
11.	G. Nichols, PhD Candidate, Department of Population Medicine, Ontario Veterinary College, University of Guelph – email dated March 8, 2022 – Request to conduct tick research at two site in Salmon Arm	A
12.	K. Perez, Community Engagement Assistant, Parkinson Society British Columbia – email dated March 3, 2022 – Parkinson's Awareness Month 2022 Proclamation Request – City of Salmon Arm	S
13.	C. Dean, GBS/CIDP Liaison, GBS/CIDP Foundation of Canada – email dated March 7, 2022 – Proclamation Request	N
14.	Interior Health Info Bulletin – March 2, 2022 – New locations for COVID-19 vaccine clinics in the Interior	N
15.	A. Slater, General Manager, Southern Interior Local Government Association – email dated February 28, 2022 – 2022 SILGA Nomination Report	N
16.	FCM – email dated February 23, 2022 – Registration for AC 2022 launching tomorrow	R
17.	D. Sharman, BC Hydro – email dated February 25, 2022 – Southern Interior Community Relations Annual Report	N
18.	BC Multiculturalism and Anti-Racism Awards 2022 – Invitation	N
19.	S. Nichols, Corporate Officer, City of Maple Ridge – email dated February 28, 2022 – Mayor Morden to Minister Dix – Vaccine Restrictions	N
20.	B. Mader, Town of Oliver – letter dated February 22, 2022 – BC Wildfires Petition – Letter of Support	N
21.	C. Peters, BC anti-human trafficking educator, speaker, advocate – email dated March 9, 2022 – My script presentation to Federal Justice Committee re prostitution in Canada	N

N = No Action Required  
A = Action Requested

S = Staff has Responded  
R = Response Required

THIS PAGE INTENTIONALLY LEFT BLANK

Item 14.1

**CITY OF SALMON ARM**Date: March 14, 2022**Presentation 4:00 p.m. (approximately)**

**NAME:** Jennifer Broadwell, Manager, Ron Langridge, President and Althea Mongerson, Community and Membership Coordinator, Downtown Salmon Arm

**TOPIC:** 2021 Highlights, Year End Presentation

**Vote Record**

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



Mayor and Council  
City of Salmon Arm  
PO Box 40  
Salmon Arm, BC V1E 4N2

March 8, 2022

Dear Mayor and Council

Downtown Salmon Arm 2021 Year End Presentation to Council

Amid the upheaval of normal operations, we welcomed familiar faces as the DSA staff structure received a refresh in 2021. Together, with the Board of Directors, we sought out meaningful programming to enhance the value for both members of and visitors to Downtown Salmon Arm.

As we adapted to the inevitable change of year two in a global pandemic and oppressive weather conditions, many of our traditional programs remained unable to proceed or required considerable restructuring. In lieu of providing you a comprehensive list of every activation of 2021, we have chosen to highlight the following few shared experiences.

*Small City, Big Growth*

With the success from the 2020 SUPPORT LOCAL campaign, several established downtown businesses were able to shift into new and larger retail spaces in 2021. As the year progressed, we welcomed more than 30 new businesses to the membership of Downtown Salmon Arm. This diverse business mix brought rejuvenation of empty storefronts into bustling spaces of commerce on what had been quiet city blocks.

Additionally, with overwhelming support from the City, we had an impressive thirteen outdoor dining patios, including five sidewalk cafés. This allowed some eateries within our business district the opportunity to explore alternative business hours.

*Small City, Big Support*

Our members remained our #1 priority. Acknowledging the need for clear and concise communication with both new and established members, we implemented a more effective strategy. We developed and distributed NEW MEMBER PACKAGES providing explanations and benefits of DSA membership, an overview of typical annual programming, introduction to Downtown Dollars, detailed parking map, and ways to become active members in their downtown community. We began implementing biweekly membership emails providing general information and updates on Downtown activity. And most importantly, we began regular in-person visits with our members to ensure they knew the team that is working on their behalf.



### *Small City, Big Network*

We celebrated the shift in our visitors' services and welcomed the Street Team and Mobile Outreach unit to downtown events. We value the vibrancy of their presence at local events and appreciate the advertising reach the mobile unit provides by taking our program materials to venues outside the downtown core.

Working with a renewed connection to COSA Bylaw, we implemented a new street entertainment program offering musicians' opportunities to perform while respectfully observing COSA noise and street solicitation bylaws. Working together allowed us to identify deficiencies in the program and work to increase awareness within our community of appropriate playing stations and conditions.

Collaborations with the Salmon Arm Fair enabled the first ever Salmon Arm Christmas Parade to roll through the streets of downtown lined with eager parade-goers and volunteers. We anticipate the growth of this seasonal community celebration for generations to enjoy.

Proud supporters, we were eager to participate again with the Salmon Arm Pride Project. The downtown community's response has been overwhelmingly strong to "find creative ways to include the whole community in furthering 2SLGBTQ+ awareness, visibility, and acceptance, using the arts as a binding force."

Gratefully, we accepted the invitation to participate in the community-wide wayfinding signage campaign initiated by MRDT and Salmon Arm Economic Development which included unifying downtown route communication.

### *Small City, Big Connections*

Most importantly, we acknowledge the vital intercommunication between our organization and City of Salmon Arm Council and Staff. We rely heavily on this relationship for creating and implementing programs that support our downtown businesses and ensure an engaging downtown core that is beautiful, safe, and accessible for all.



Your Downtown Improvement Association is honoured to be one of many key players for team Salmon Arm. As we look ahead, we are eager to continue building strong connections with our community partners. We believe these ties increase the value for property owners and business operators of Downtown Salmon Arm.

Included in this package, please find our 2021 Year End Financial Statement, the 2022 annual operating budget, and our prepared visual presentation planned for the March 14 Council meeting. Should you have any questions or concerns ahead of our meeting, please contact me.

Thank you for your support, time, and attention.

Respectfully submitted,

Jennifer Broadwell, Manager

Ron Langridge, President

# ***SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION***

---

## **Financial Statements**

**December 31, 2021**

December 31, 2021

**Contents**

	<u>Page</u>
<b>Compilation Engagement Report</b>	1
<b>Financial Statements</b>	
Statement of Financial Position	2
Statement of Operations and Changes in Net Assets	3
Notes to Financial Statements	4
Schedule 1 - Program Expenses (Recovery)	5



Allen Finch\*  
CPA, CGA, ASSOCIATE  
allen@acuitycpa.ca

Eric Penner\*  
CPA, PARTNER  
eric@acuitycpa.ca

Harlan Anderson\*  
CPA, CA, PARTNER  
harlan@acuitycpa.ca

\* ILLINOIS PROFESSIONAL CORPORATION

## COMPILATION ENGAGEMENT REPORT

To Management of Salmon Arm Downtown Improvement Association

On the basis of information provided by management, we have compiled the statement of financial position of Salmon Arm Downtown Improvement Association as at December 31, 2021, the statement of operations and changes in net assets for the year then ended, and Note 1, which describes the basis of accounting applied in the preparation of the compiled financial information.

Management is responsible for the accompanying financial information, including the accuracy and completeness of the underlying information used to compile it and the selection of the basis of accounting.

We performed this engagement in accordance with Canadian Standard on Related Services (CSRS) 4200, *Compilation Engagements*, which requires us to comply with relevant ethical requirements. Our responsibility is to assist management in the preparation of the financial information.

We did not perform an audit engagement or a review engagement, nor were we required to perform procedures to verify the accuracy or completeness of the information provided by management. Accordingly, we do not express an audit opinion or a review conclusion, or provide any form of assurance on the financial information.

Readers are cautioned that the financial information may not be appropriate for their purposes.

*Acuity Advisors* LLP

**Chartered Professional Accountants**

Salmon Arm, BC  
February 9, 2022

# **SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION**

## **Statement of Financial Position**

**As at December 31, 2021**

	2021	2020
<b>Assets</b>		
<b>Current</b>		
Cash	\$ 49,019	\$ 30,142
Accounts receivable	8,164	9,405
Deposits	5,975	5,950
	63,158	45,497
<b>Equipment</b>	37,282	33,963
	\$ 100,440	\$ 79,460
<b>Liabilities</b>		
<b>Current</b>		
Accounts payable and accrued liabilities	\$ 15,843	\$ 16,076
Deferred income	7,975	5,710
	23,818	21,786
<b>Net assets</b>	76,622	57,674
	\$ 100,440	\$ 79,460

**On behalf of the board:**

\_\_\_\_\_ Member

The accompanying notes are an integral part of these financial statements



# **SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION**

## **Statement of Operations and Changes in Net Assets**

**For the year ended December 31, 2021**

	2021	2020
<b>Revenue</b>		
Grants	\$ 195,759	\$ 188,230
Street cleaning	17,546	17,202
Interest income	43	73
	<b>213,348</b>	<b>205,505</b>
<b>Operating expenses</b>		
Amortization	17,066	13,139
Bookkeeping	1,563	1,788
Consulting Fees	2,085	2,183
Employee benefits	5,225	6,860
Insurance	3,017	1,969
Meals and entertainment	200	-
Office	11,484	6,230
Office and equipment maintenance	1,930	1,387
Professional fees	1,725	1,630
Program expenses (Schedule 1)	58,717	60,684
Rent	11,227	12,022
Salaries	78,765	83,799
Training and planning	(685)	4,871
Unrecovered GST	1,811	2,482
Website	270	1,384
	<b>194,400</b>	<b>200,428</b>
<b>Excess of revenues over expenditures</b>	<b>18,948</b>	<b>5,077</b>
<b>Net assets, beginning of year</b>	<b>57,674</b>	<b>52,597</b>
<b>Net assets, end of year</b>	<b>\$ 76,622</b>	<b>\$ 57,674</b>

The accompanying notes are an integral part of these financial statements

# SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION

## Notes to Financial Statements

December 31, 2021

### 1. Basis of Accounting

The basis of accounting applied in the preparation of the statement of financial position of Salmon Arm Downtown Improvement Association as at December 31, 2021 and the statement of operations and changes in net assets for the year then ended is on the historical cost basis, reflecting cash transactions with the addition of:

- Accounts receivable
- Prepaid expenses and deposits
- Accounts payable and accrued liabilities

### 2. Property and equipment

			2021	2020
	Cost	Amortization	Net Book Value	Net Book Value
Banners	\$ 65,701	\$ 64,336	\$ 1,365	\$ 2,276
Computer equipment	12,718	12,104	614	1,216
Computer software	934	932	2	3
Decorations	65,768	33,315	32,453	26,908
Office equipment	26,128	24,732	1,396	1,745
Signage	5,025	3,573	1,452	1,815
	\$ 176,274	\$ 138,992	\$ 37,282	\$ 33,963

Property and equipment are recorded at cost and are amortized over their estimated useful lives on the diminishing balance method at the following rates, except in the year of acquisition when only one-half of the rate is applied:

Banners	- 40%	diminishing balance
Computer equipment	- 55%	diminishing balance
Computer software	- 30%	diminishing balance
Decorations	- 40%	diminishing balance
Office equipment	- 20%	diminishing balance
Signage	- 20%	diminishing balance

# **SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION**

## **Schedule 1 - Program Expenses (recovery)**

For the year ended December 31, 2021

	2021	2020
Annual General Meeting	\$ 153	\$ -
Alexander Plaza	6,719	-
Applefest	-	-
Banner Project	682	-
Christmas	8,997	12,541
Community Clean Up Day	-	-
Covid Project	-	6,762
Downtown Cares	-	(16)
Downtown Live	-	920
Downtown Gift Boxes	(228)	2,942
Farmers Market	(15)	612
Flower Bed	500	132
Gift Vouchers	1,190	-
Halloween Treat Trail	80	-
Marketing and Advertising	12,739	7,657
Membership Engagement	283	2,113
Multicultural Day	84	64
Outside Movie	23	-
Project Supplies	3,314	6,620
Pride Project	59	-
Recycling Receptacles	-	(1,200)
Roots & Blues	118	-
SASCU - Dollars	665	-
Seasonal Decorations	3,669	-
Sinage	16	-
Sponsorships	184	-
Street Cleaning	19,485	21,081
Street Lights - Power	-	456
	\$ 58,717	\$ 60,684

**SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION**  
**Budget for the year ending: December 31, 2022**

		BUDGET		
		OPERATIONAL	PARTNERSHIP	TOTAL
<b>INCOME:</b>				
Levy		\$ 203,589.00		
Total DIA Levy				\$ 203,589.00
Street Cleaning			\$ 17,546.00	
Donations				
Total Partnership Income				17,546.00
2021 Surplus				18,948.00
<b>TOTAL INCOME</b>				<b>\$ 240,083.00</b>
<b>EXPENSES:</b>				
<b>OFFICE ADMINISTRATION</b>				
Accounting & Legal		\$ 1,909.00		1,909.00
Bookkeeping		2,310.00		2,310.00
Insurance		3,200.00		3,200.00
Memberships		750.00		750.00
Communication (Tel. Cell. IT.)		3,000.00		3,000.00
Website		2,000.00		2,000.00
Office Maintenance		5,000.00		5,000.00
Office Supplies & Expense		14,800.00		14,800.00
Awards & Gifts		1,000.00		1,000.00
Professional Development		3,000.00		3,000.00
Rent Office		13,200.00		13,200.00
Sponsorships		820.00		820.00
Wages		79,950.00		79,950.00
Benefits		8,200.00		8,200.00
CPP/EI/WCB Expense		7,200.00		7,200.00
<b>TOTAL OFFICE ADMINISTRATION</b>		<b>\$ 146,339.00</b>		<b>\$ 146,339.00</b>
<b>PROJECT EXPENSES:</b>				
AGM		750.00		750.00
Marketing & Advertising & Trade Shows		7,000.00		7,000.00
Street Cleaning			17,546.00	17,546.00
Banners		2,500.00		2,500.00
Capital Projects -Act Transportation		11,000.00		11,000.00
Street Lights - Power		800.00		800.00
Seasonal Decorations		7,500.00		7,500.00
Beautification		5,000.00		5,000.00
Graffiti Removal		1,000.00		1,000.00
Branding		-		-
Events		32,648.00	-	32,648.00
Early Year	Community Clean Up	500.00		500.00
	Bike Month / Salty Street Fest	750.00		750.00
	Flower Bed	750.00		750.00
Summer	Multicultural Day	800.00		800.00
	Alexander Plaza	8,500.00		8,500.00
	Downtown Live	3,500.00		3,500.00
Fall	Farmers Market	1,000.00		1,000.00
	Applefest	750.00		750.00
	Halloween Treat Trail	750.00		750.00
Holidays	Christmas	13,000.00		13,000.00
Other	Membership Engagement	2,500.00		2,500.00
	Project Supplies	1,848.00		1,848.00
Gift Vouchers				
<b>TOTAL PROJECT EXPENSES:</b>				<b>-</b>
GST Expense (50% payable)		\$ 70,198.00	\$ 17,546.00	\$ 87,744.00
Amortization Expense		2,000.00		2,000.00
<b>TOTAL EXPENSES:</b>		<b>4,000.00</b>		<b>4,000.00</b>
		<b>222,537.00</b>	<b>17,546.00</b>	<b>240,083.00</b>
<b>SURPLUS/DEFICIT</b>				

Item 14.1.i

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council approve the Business Improvement Area 2022 Budget and 2021 Financial Statements as presented.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



# **CITY OF SALMON ARM**

---

To: Mayor Harrison and Members of Council  
Date: March 8, 2022  
From: Chelsea Van de Cappelle, Chief Financial Officer  
Subject: Business Improvement Area - 2022 Annual Budget and 2021 Revenue & Expense Statement

---

## **Recommendation**

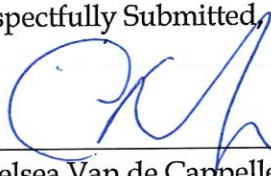
That Council approve the Business Improvement Area 2022 Budget and 2021 Financial Statements as presented.

## **Background**

Pursuant to Bylaw No. 4357, the Downtown Improvement Association (DIA and also known as Downtown Salmon Arm) must submit to Council the Business Improvement Area budget for the upcoming year as well as an accounting of the previous year's operations.

Jennifer Broadwell will attend the Regular Council Meeting of March 14, 2022, to present the Business Improvement Area 2022 Budget and 2021 Financial Statements. Ms. Broadwell will address any questions Council may have with respect to the 2022 Business Plan.

Respectfully Submitted,

  
\_\_\_\_\_  
Chelsea Van de Cappelle, CPA

Item 15.1

## CITY OF SALMON ARM

Date: March 14, 2022

Councillor Wallace Richmond – Shuswap Family Centre –  
Endorsement as recipient of SILGA's 50/50 proceeds

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

THIS PAGE INTENTIONALLY LEFT BLANK

Item 19.1

## CITY OF SALMON ARM

Date: March 14, 2022

### OTHER BUSINESS

The following Motion was released from the In-Camera Council Meeting of December 13, 2021:

0122-2021 (ic)

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: Council authorize a two (2) year deferral of loan payments as requested by the Salmon Arm Tennis Club effective January 2022 to December 2023.

CARRIED UNANIMOUSLY

#### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

THIS PAGE INTENTIONALLY LEFT BLANK



Item 22.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:

1. Section 36.11.1 - Front Parcel Line Setback - reduce the minimum building setback from 6.0m to 4.5m to facilitate construction of an accessory building (detached garage).

[Walus, A.; 6360 37 Street NE; Setback requirements]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: February 28, 2022

Subject: Development Variance Permit Application No. VP-548 (Setback)

Legal: Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577  
 Civic Address: 6360 37 Street NE  
 Owner/Applicant: A. Walus

### **STAFF RECOMMENDATION**

**THAT:** Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:

**Section 36.11.1 – Front Parcel Line Setback – reduce the minimum building setback from 6.0 m to 4.5 m to facilitate construction of an accessory building (detached garage).**

### **PROPOSAL**

The subject parcel is located at 6360 37 Street NE (Appendices 1 and 2). The proposal is to construct a detached garage southwest of the existing single family dwelling in place of the existing accessory building/structure (shed) (Appendix 5). Due to the steep slopes/terrain and the existing retaining wall on the property, the proposed location of the accessory building requires a front parcel line setback variance from 6.0 m to 4.5 m along the west property line.

### **BACKGROUND**

The parcel is designated Low Density Residential (LR) in the City's Official Community Plan (OCP) and is zoned A3 (Small Holding) in the Zoning Bylaw (Appendices 3 and 4). The subject property is located in the Canoe area and has frontage onto 37 Street NE. This immediate area largely consists of residential uses. Nearby uses include the Park Hill Trail System and Canoe Beach.

Land uses directly adjacent to the subject property include the following:

North:	Single Family Dwelling and Accessory Building	Zoned A3
South:	Single Family Dwelling and Accessory Building	Zoned A3
East:	Golf Course	Zoned CD13/P1
West:	Single Family Dwelling and Accessory Building(s)	Zoned A3

The property is 1.055 ha in area/size and currently contains a single family dwelling and a shed. The property owner/applicant is proposing a new 23' x 16' (368 ft<sup>2</sup>) detached garage on the property. Aside from Section 36.11.1 of the Zoning Bylaw, the proposal meets all other A3 – Small Holding Zone regulations.

Site photos are attached, as Appendix 6.

COMMENTSFire Department

No concerns.

Engineering Department

If the retaining wall is greater than 4 feet, it will need to be reviewed by a Structural Engineer or a Geotechnical Engineer due to the load change.

Building Department

All applicable code requirements of the BCBC must be adhered to at the Building Permit Stage.


Planning Department

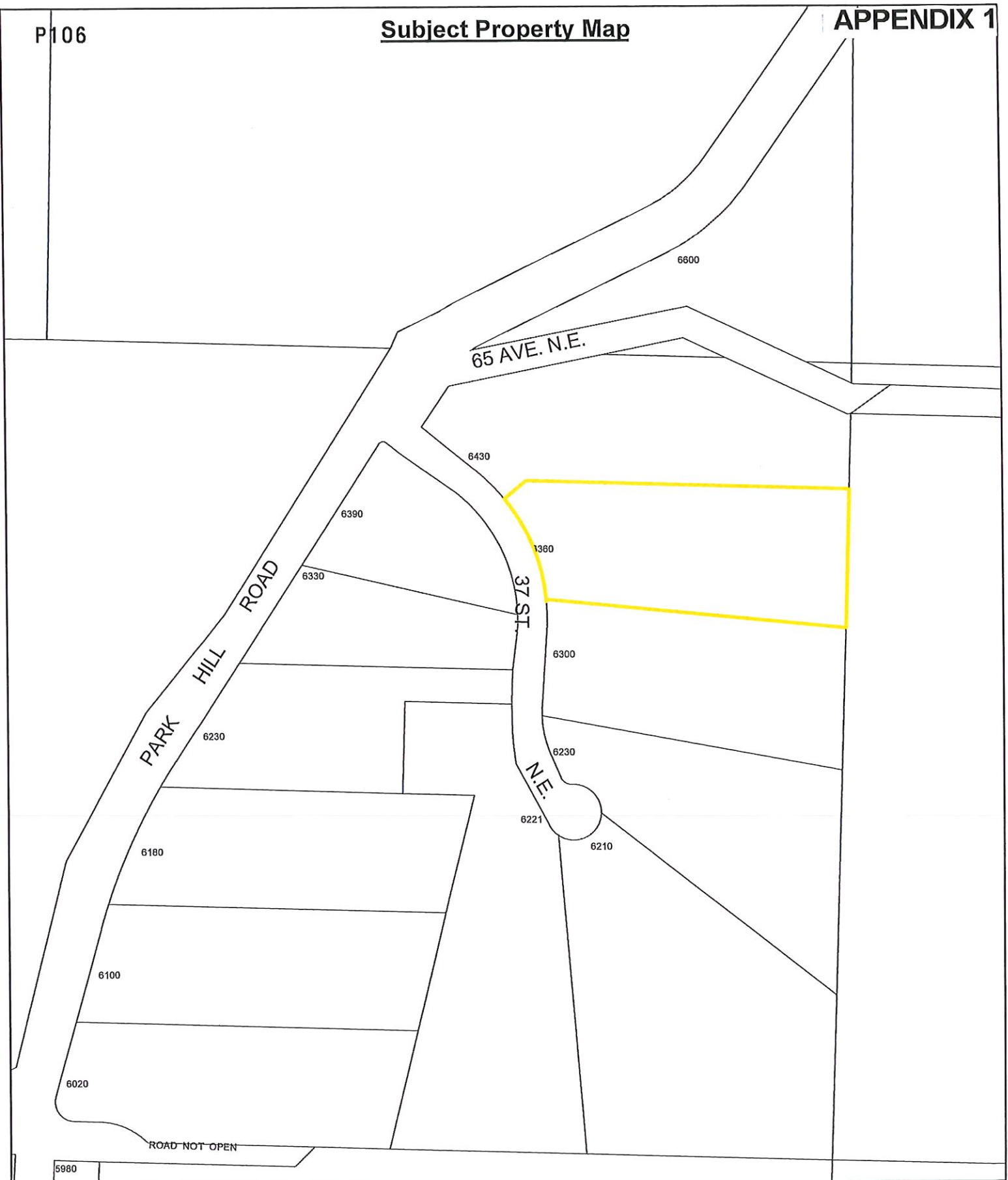
Development Variance Permits are considered on a case-by-case basis, and in doing so, a number of factors are taken into consideration. These factors include site-specific conditions, such as lot configuration, negative impact to the general form and character of the surrounding neighbourhood and negative impact(s) on adjacent properties.

Historically, there has only been one other Variance Permit issued on 37 Street NE (VP-152; 1997). This was to vary the maximum height of the principal building on the adjacent property to the south (6300 37 Street NE).

As described in the letter submitted by the owner/applicant (Appendix 7), the owner wishes to build a detached garage close to the existing single family dwelling. However, to build a garage to accommodate 2 vehicles, the owner will need to build closer to the front property line and will need to be a minimum of 4.7 m instead of the required 6.0 m from the front property line. This is because the property is restricted by the existing retaining wall and steep slopes further east on the property.

Staff feel that this variance request is reasonable considering the slope and terrain, and will not unreasonably or significantly affect the character of the parcel or streetscape, and have no concerns with this application.

  
Prepared by: Evan Chorlton  
Planner I  
Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



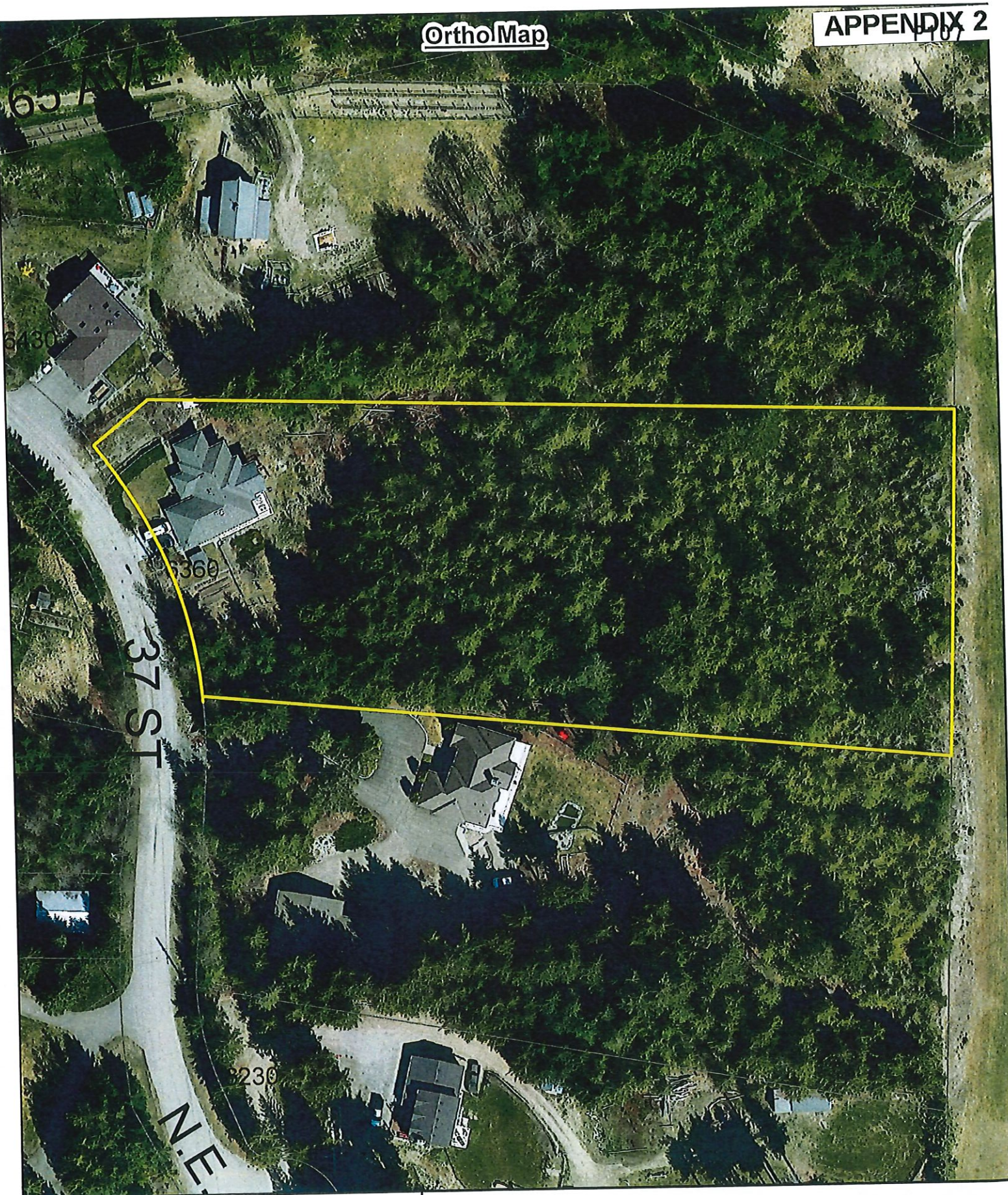
5980



0 12.525 50 75 100  
Meters

 Subject Property  
 Parcels

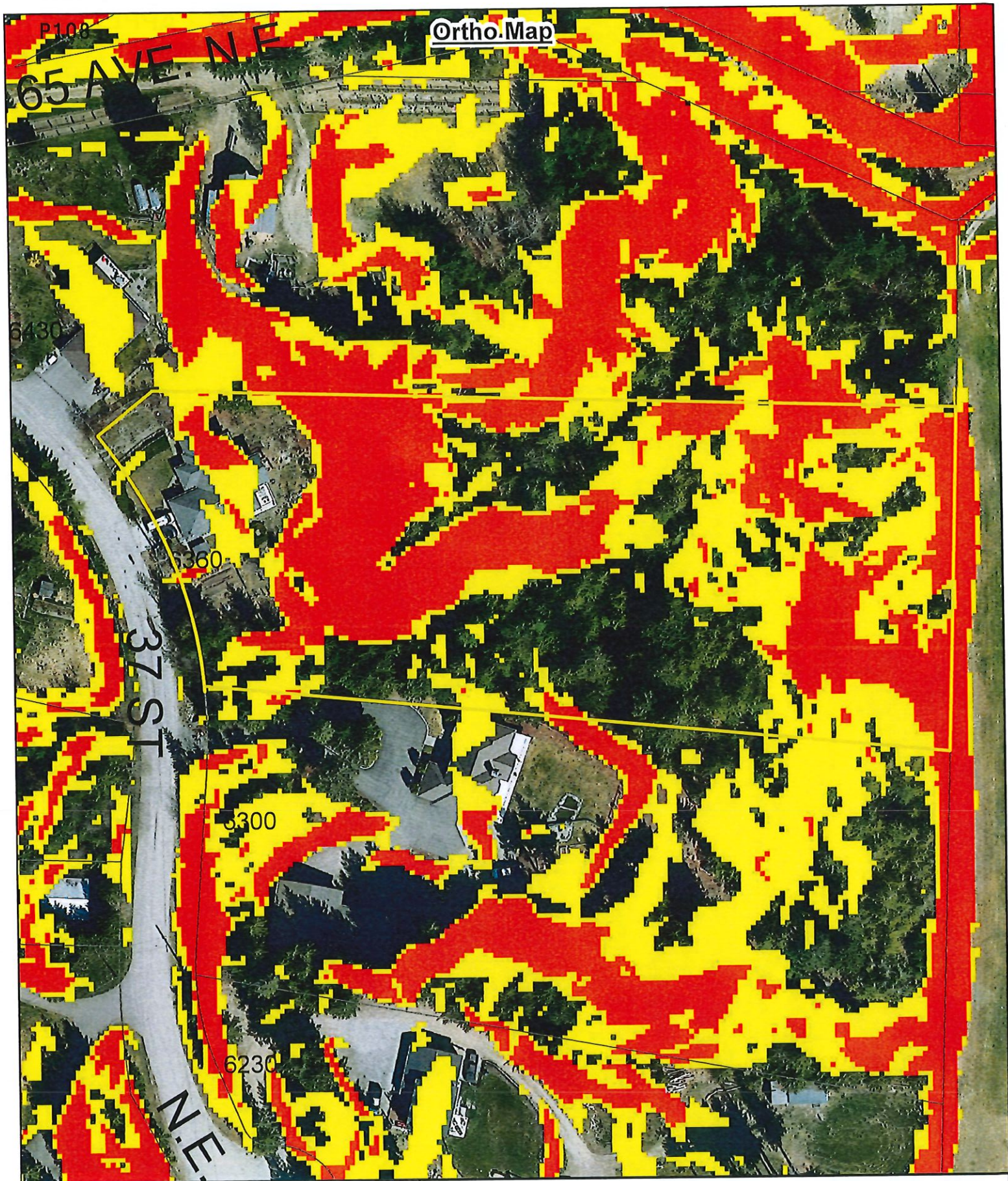




0 5 10 20 30 40 Meters

Subject Property  
Parcels

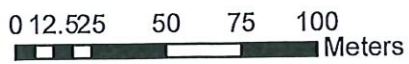
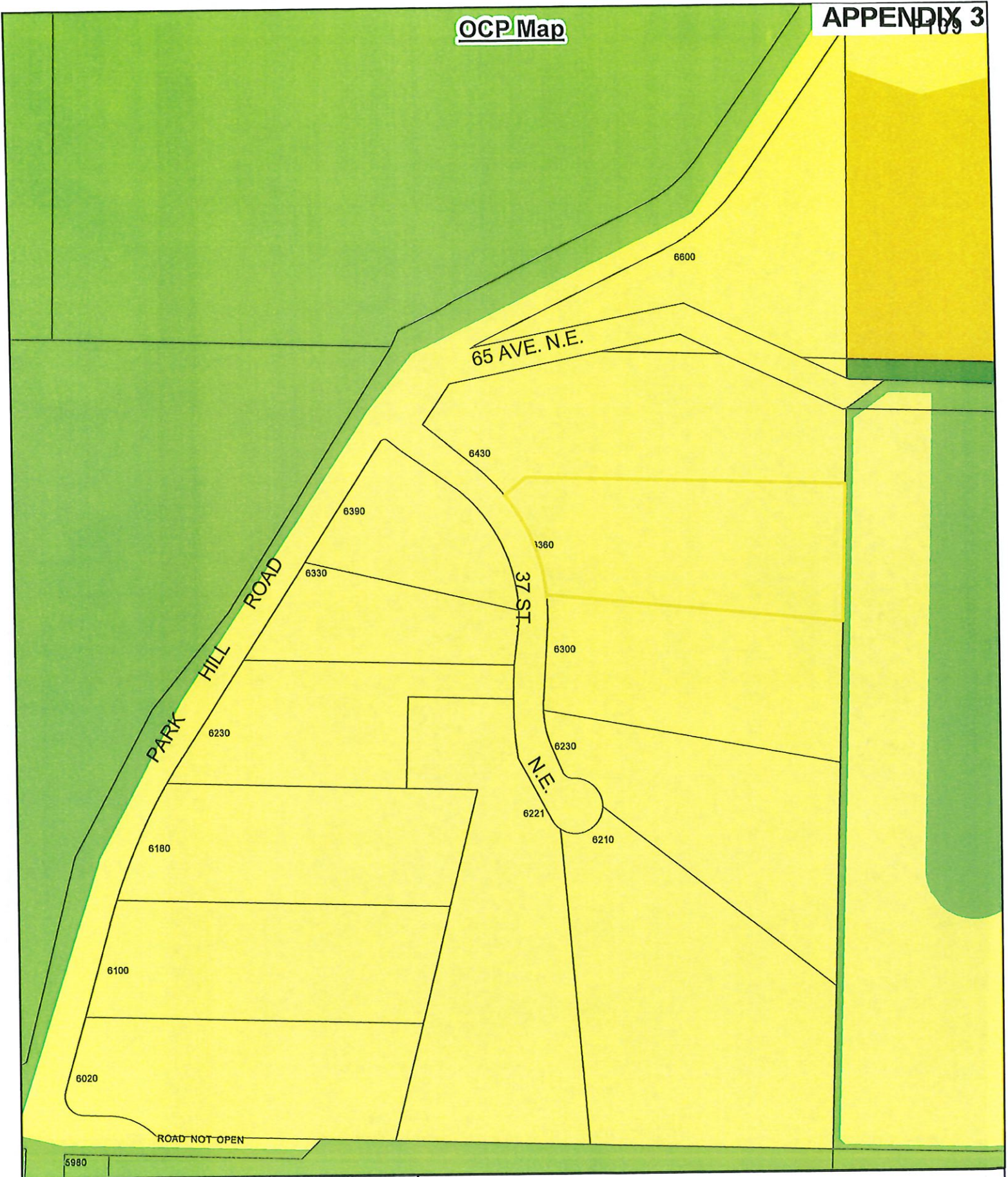




0 5 10 20 30 40  
Meters

- 20 - 30% Slope
- 30% + Slope
- Parcels





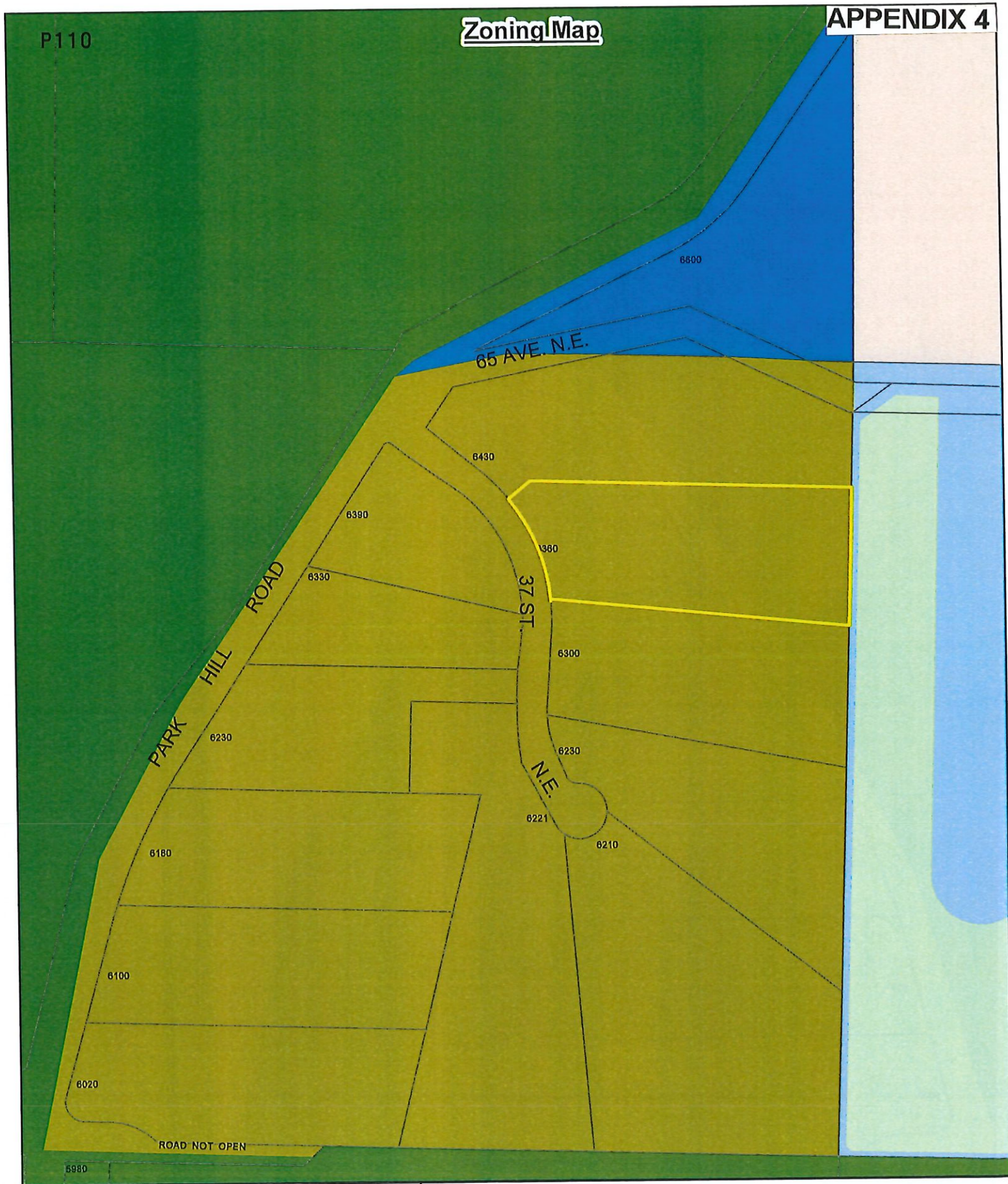
- Subject Property
- Parcels
- Neighbourhood Park
- Acreage Reserve
- Residential - Low Density
- Residential - Medium Density



P110

# Zoning Map

APPENDIX 4



0 12.525 50 75 100 Meters

Subject Property



Parcels



A-2



A-3



CD-13



P-1



R-1



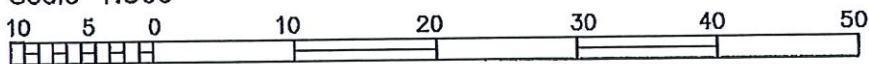
R-9



**APPENDIX 5**

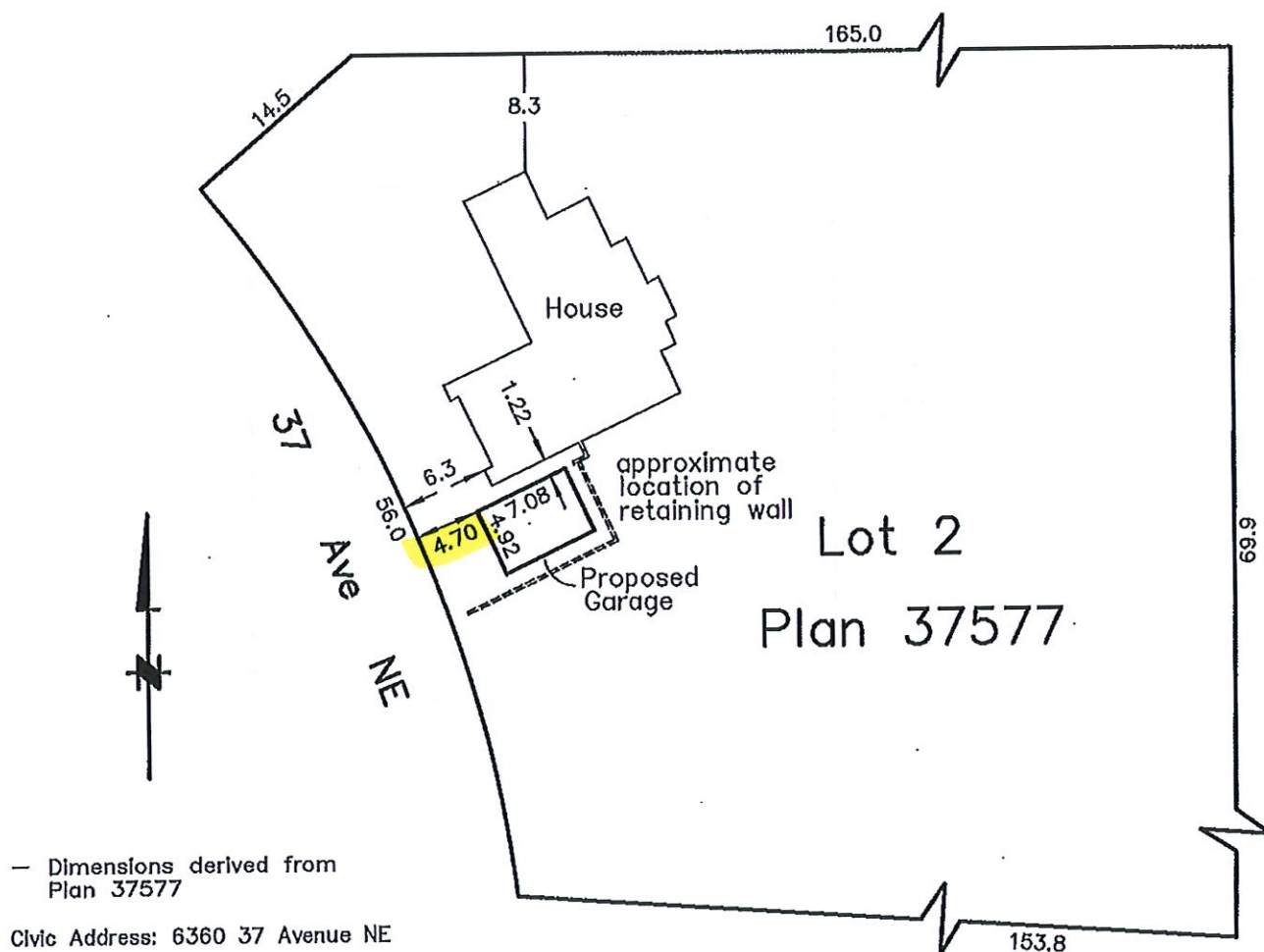
# Plan Showing Proposed Garage on Lot 2, Sec 31, Tp 20, Rge 9, W6M, KDYD, Plan 37577

Scale 1:500



All distances are in metres.

The intended plot size of this plan is 215mm in width by  
280mm in height (A size) when plotted at a scale of 1:500



— Dimensions derived from  
Plan 37577

Civic Address: 6360 37 Avenue NE

Parcel Identifier(PID): 005-725-666

List of documents registered on title which  
may affect the location of improvements:  
None

This plan was prepared for construction  
planning purposes and is for the exclusive use  
of our client. BROWNE JOHNSON LAND  
SURVEYORS accepts no responsibility or liability  
for any damages that may be suffered by a  
third party as a result of reproduction,  
transmission or alteration to this document  
without consent of BROWNE JOHNSON LAND  
SURVEYORS.

January 31, 2022

BROWNE JOHNSON LAND SURVEYORS  
B.C. AND CANADA LANDS  
SALMON ARM, B.C. 250-832-9701  
File: 35-22

P112

FOUNDATION  
PLAN.

4.88 m / 16'

10m REBAR 16" o/c  
BOTH WAYS.

7.01 m / 23'

N

S

8" 12" 4" THICK SLAB.

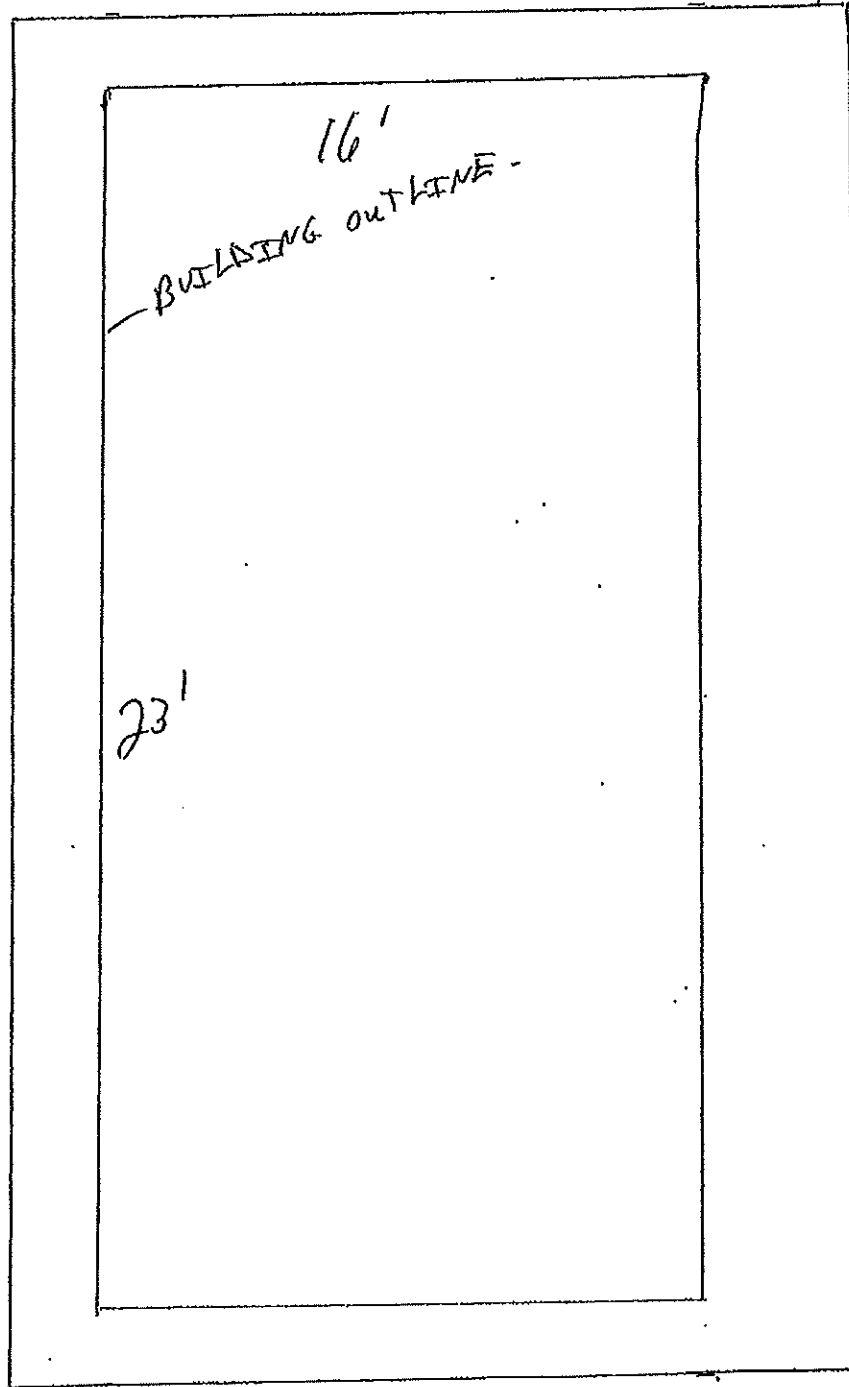
THICKEN EDGE ALL SIDES.



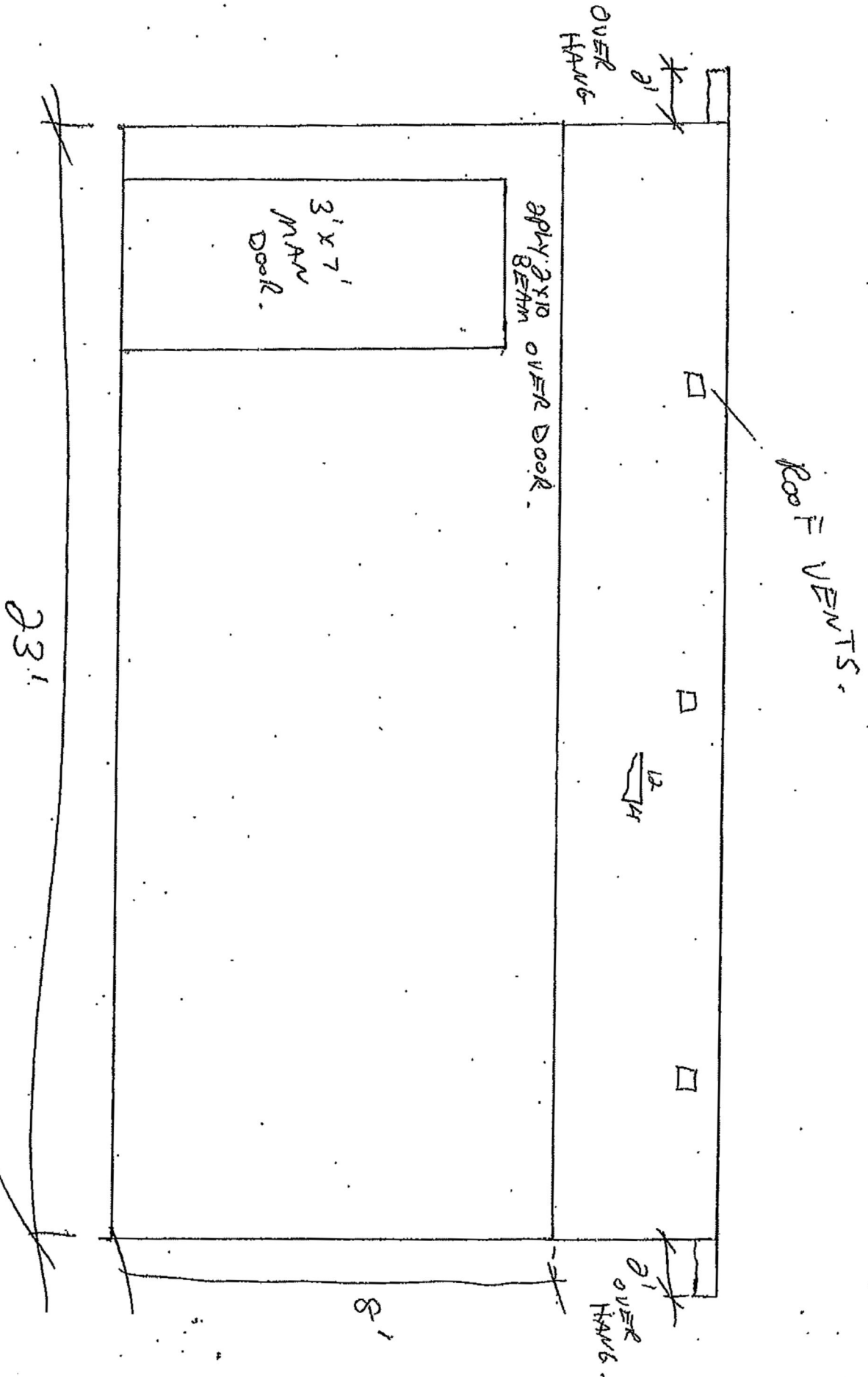
EAST

Roof plan.  
ENG. TRUSSES  
BY SUPPLIER.

Roof  
out LINE

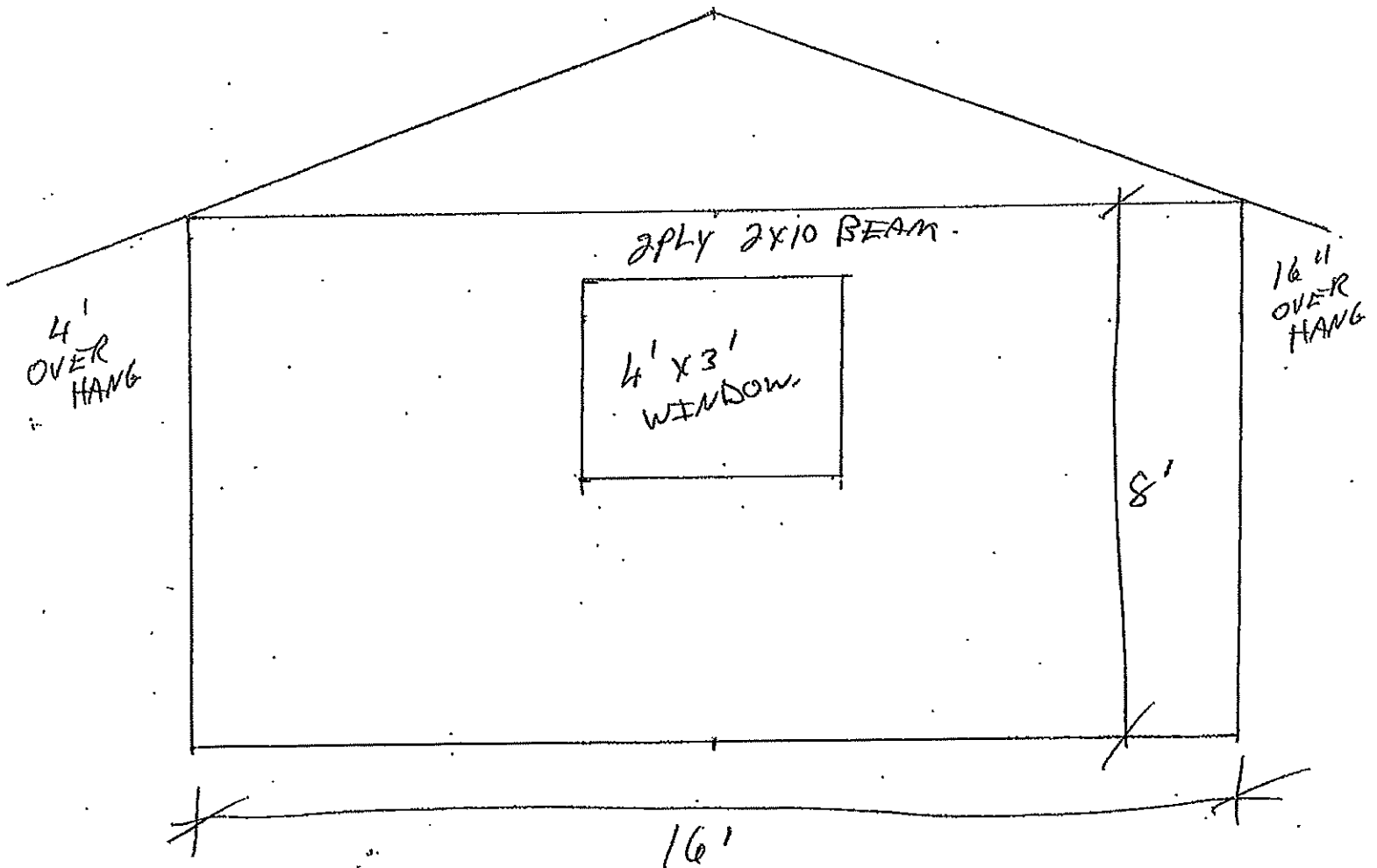


North E.L.

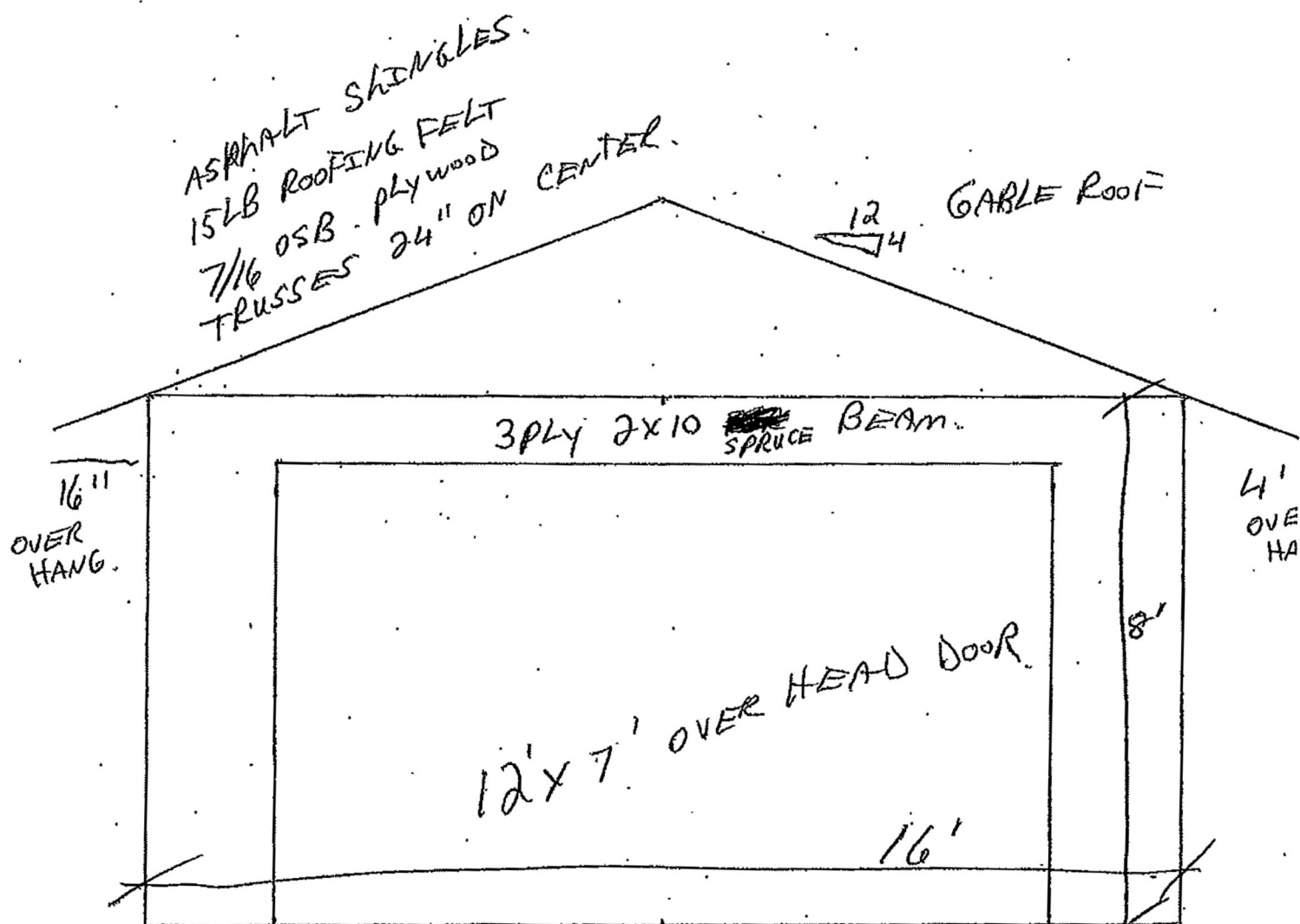


EAST EL.

P115



WEST EL.



WALL FRAMING 2x6 24" ON CENTER. WITH TREATED  
 7/16 OSB, PLYWOOD. BOTTOM PLATE  
 BUILDING WRAP: SILL GASKET  
 HARDIE BOARD SIDING.  
 WALL FRAMING TO BE ANCHORED DOWN WITH  
 1/2" x 1/2" QUICK BOLTS AT 4' ON CENTER.

South E.L.

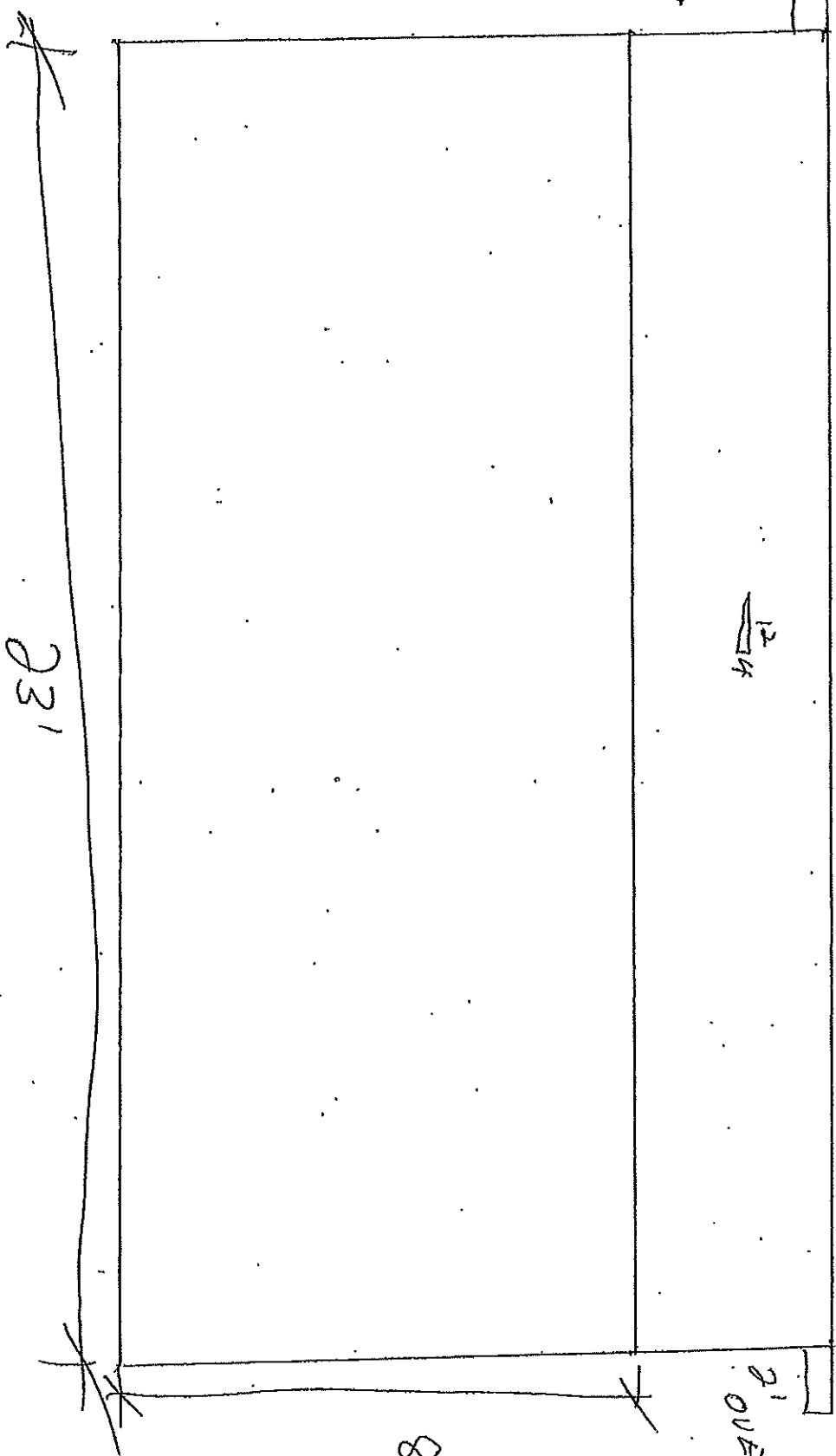
2' OVER  
HANG

12  
4

2' OVER  
HANG

8'

23'

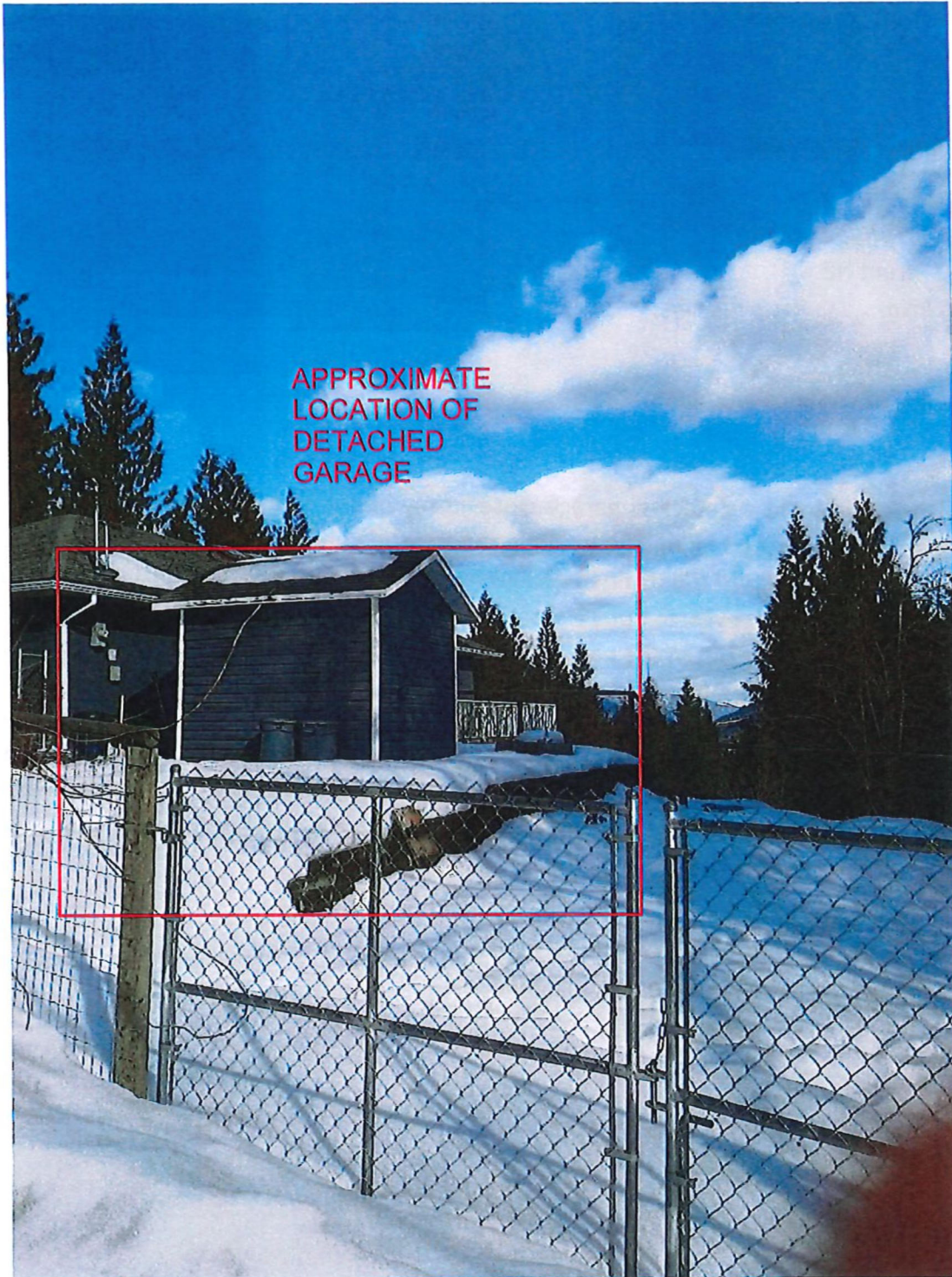




APPENDIX 6







February 01 2022  
**APPENDIX 7**

To: Salmon Arm City Hall

From: Alojzy (Alex) Walus  
6360 37 Street NE  
Salmon Arm

Dear Board of Variance members,

I am planning to build a detached garage close to my house located at 6360 37 Street NE in Salmon Arm (see attached plan). The existing garage inside my house is too small to fit my two vehicles. The dimensions of the planned garage are 7.01 by 4.88 m, which is just large enough to fit my pick-up truck. However, to build a garage of this size, I would need to build it closer to the front property line. The front of the planned garage needs to be 4.7 m instead of required 6.0 m from the property line. I cannot move back away from the property line because I am restricted by the existing retaining wall which is used to support the existing bank/steep slope at the rear of my property. I feel that this request is minor and that complying with the required 6.0 metre setback would cause me undue hardship due to the steeper terrain on my property and the supporting retaining wall which limits the flat/stable ground upon which I can build my desired garage.

Thank you for your consideration of my request.

Best Regards,

Alojzy (Alex) Walus

Item 22.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Permit No. DP-437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-437 vary Zoning Bylaw No. 2303 as follows:

1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-437 be withheld subject to receipt of an estimate and Irrevocable Letter of Credit (in the amount of 125% of the estimate) for landscaping.

[TSL Developments Ltd.; 700 30 Street NE; Form and Character]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond





To: His Worship Mayor Harrison and Members of Council

Date: February 24, 2022

Subject: Development Permit Application No. DP- 437 (Form and Character)  
 Civic Address: 700 30 Street NE  
 Owner/Applicant: TSL Developments Ltd. (Jordan Baer)

### **STAFF RECOMENDATION**

**THAT:** Development Permit No. 437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 (700 – 30 Street NE) in accordance with the Development Permit drawings attached as APPENDIX 7;

**AND THAT:** Development Permit No. 437 vary Zoning Bylaw No. 2303 as follows:

1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as APPENDIX 7;

**AND FURTHER THAT:** Issuance of Development Permit No. 437 be withheld subject to receipt of an Estimate and Irrevocable Letter of Credit (in the amount of 125% of the Estimate) for landscaping.

### **PROPOSAL**

To review the Development Permit package attached as Appendix 7. The applicant is proposing a 4 building, 20 unit residential development. A letter from the applicant details the development proposal and is included at Appendix 5. Large drawings to scale are available for viewing in the Planning Department.

### **BACKGROUND**

The subject property fronts 30 Street NE in the South Broadview area. The subject property is approximately 258.5 m<sup>2</sup> (1 ac) and is currently the site of a single family dwelling and small accessory building.

In September 2021 the subject property was rezoned from R1 (Single Family Residential) to R4 (Medium Density Residential Zone) in order to accommodate the development as shown in Appendix 7. The subject property is designated Residential Medium Density and is within the Urban Containment Boundary in the Official Community Plan (OCP) (see Appendices 1 to 4).

Adjacent Land Uses/Development:

North:	Single Family Residences	Zoned R1
South:	School and Church	Zoned P3
East:	School and Church	Zoned P3
West:	Single Family Residences	Zoned R1

The proposal includes four (4) buildings with five (5) units within each building for a total of twenty (20) units. The first storey units are approximately 125m<sup>2</sup> (1249ft<sup>2</sup>) and 138m<sup>2</sup> (1460ft<sup>2</sup>), the second storey units are approximately 115m<sup>2</sup> (1249ft<sup>2</sup>) and 135m<sup>2</sup> (1461ft<sup>2</sup>). The third storey units are approximately 226m<sup>2</sup> (2442ft<sup>2</sup>). The upper floor units of each building are accessible via elevators. Given the number of units,



thirty (30) parking spaces are required. Off-street parking is provided in a combination of single covered and uncovered parking spaces and six (6) tandem parking spaces adjacent to Building 3 and 4. The site plan shows a jogged internal strata road and as stated in the applicant letter this has been aligned in order to provide a safe intersection with 7 Avenue NE.

The building materials are proposed to be a combination of corrugated metal, stucco, glass and metal flashing. The metal flashing of each building is to be a different distinct colour providing colour variation between the buildings.

Designed by a Landscape Architect the proposed landscape plan shows eight (8) perimeter trees, lawn areas and a variety of shrubs. As noted in the applicant's letter, the landscape plan includes selection of Fire Smart trees and shrubs. The subject property will be enclosed by a 1.5m (5.0ft) white vinyl fence. It should be noted that the site also shows a garbage and recycling enclosure for the residents and designated snow removal areas. The applicant will address the location of a community mailbox with Canada Post and has considered appropriate locations that will be finalized at a later stage of development.

As noted in the recommendation, the proposal includes a variance request to reduce the required rear parcel in setback from 5.0m to 3.0m to accommodate Buildings 2 and 3. There are no other site plan related variances that are being requested.

#### COMMENTS

##### Building Department

No concerns.

##### Fire Department

No concerns.

##### Engineering Department

Comments provided by the Engineering Department are enclosed as Appendix 6. All off-site improvements will be addressed at the time of Building Permit. It should be noted that before the Public Hearing for the rezoning of the subject property from R1 (Single Family Residential) to R4 (Medium Density Residential) the owner/developer was required to complete a Traffic Impact Assessment (TIA) to determine the impact of the future traffic generated by the development onto 30 Street NE. After the TIA was complete the owner/developer contributed \$24,000.00 for the projected traffic generated by the development. The contribution is directed toward future improvements for the 7 Avenue NE and 30 Street NE intersection.

On-site requirements such as site grading and Stormwater control would be addressed at the time of Building Permit application.

##### Design Review Panel

At their February 23, 2022 meeting the Design Review Panel passed the following recommendation:

"THAT the DRP supports DP 437 as presented."

In their discussion the panel noted their appreciation for the variety in building form and are favourable to the design presented.

##### Planning Department

Section 8.4 of the OCP outlines the development guidelines for residential areas. The design guidelines encourage varied building design with articulated rooflines, varied building materials and colour variation between multiple buildings. With regard to site planning, the design guidelines further encourage building massing that ensures the safe pedestrian and vehicular circulation within and around the proposed development.

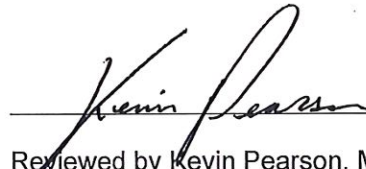
The location of the proposed multi-family development is in close proximity to schools, commercial services, recreational services and public transit – all objectives encouraged in the OCP. The proposed site and building design demonstrate the mix of residential housing type, density and varied multi-family development within the Urban Containment Boundary, also objectives encouraged in the OCP. Overall, the proposed development is consistent with the design guidelines of the OCP and staff support the development as proposed.

When considering the variance request to reduce the rear parcel line setback from 5.0m to 3.0m a number of factors are taken into consideration including – the potential negative impact to the immediately adjacent and affected property, current land use and future land use of the affected adjacent parcel to assess for potential conflict(s), site specific conditions and lot configuration.

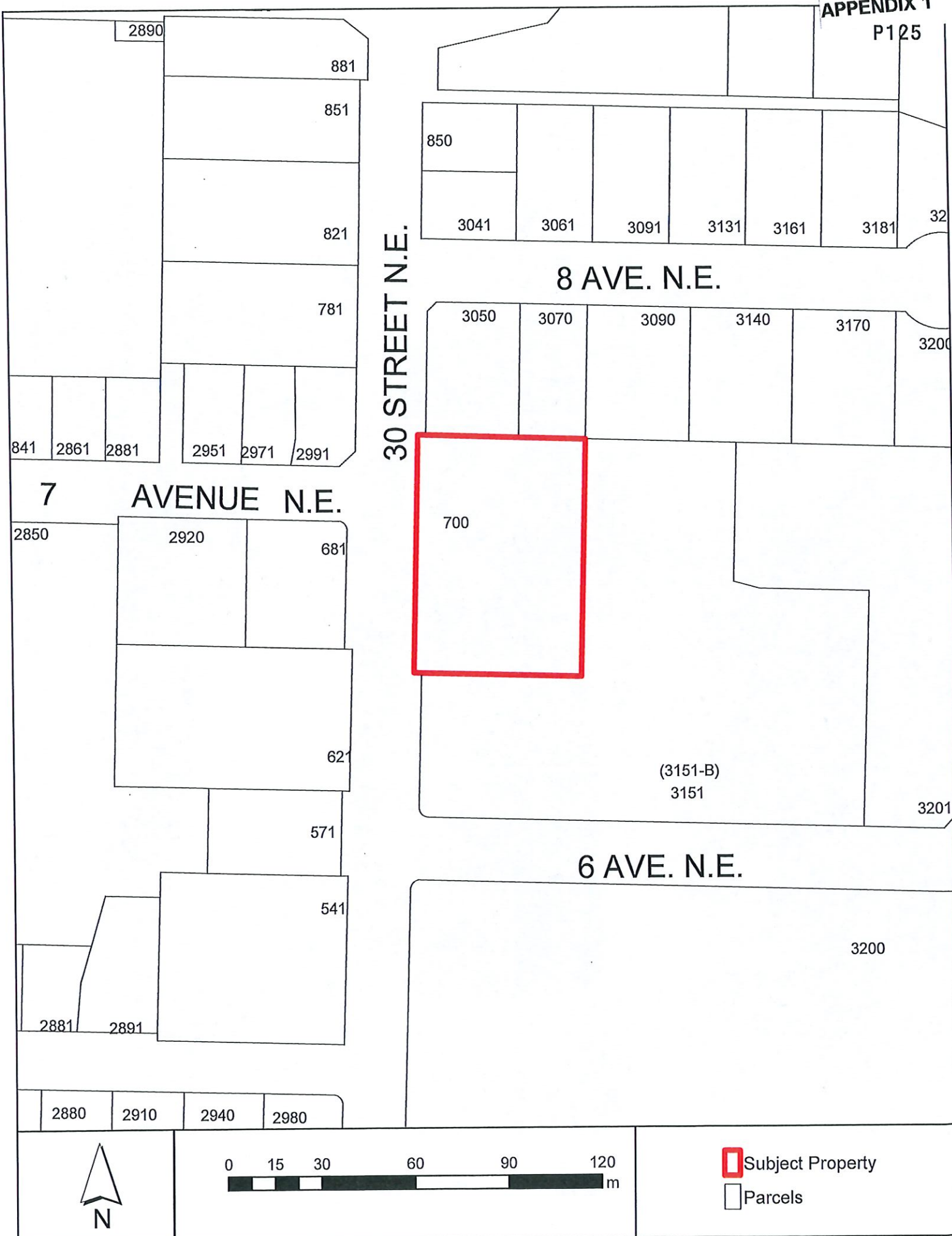
With regard to the proposed variance, the current use of the adjacent parcel to the east is designated in the OCP and zoned consistent with its current use as a church. Staff feel that the minor variance into the rear parcel line setback would not negatively impact existing or future use of the adjacent parcel. The proposed variance would allow for the buildings of the development to be of similar area and design. Should Council not support the variance the developer would have to consider options such as reducing the area of Buildings 2 and 3 or reducing internal driveway aisles or reducing the number of parking stalls to accommodate the buildings. Staff feel that the requested variance is minor and allows for a livable development and support the variance request.



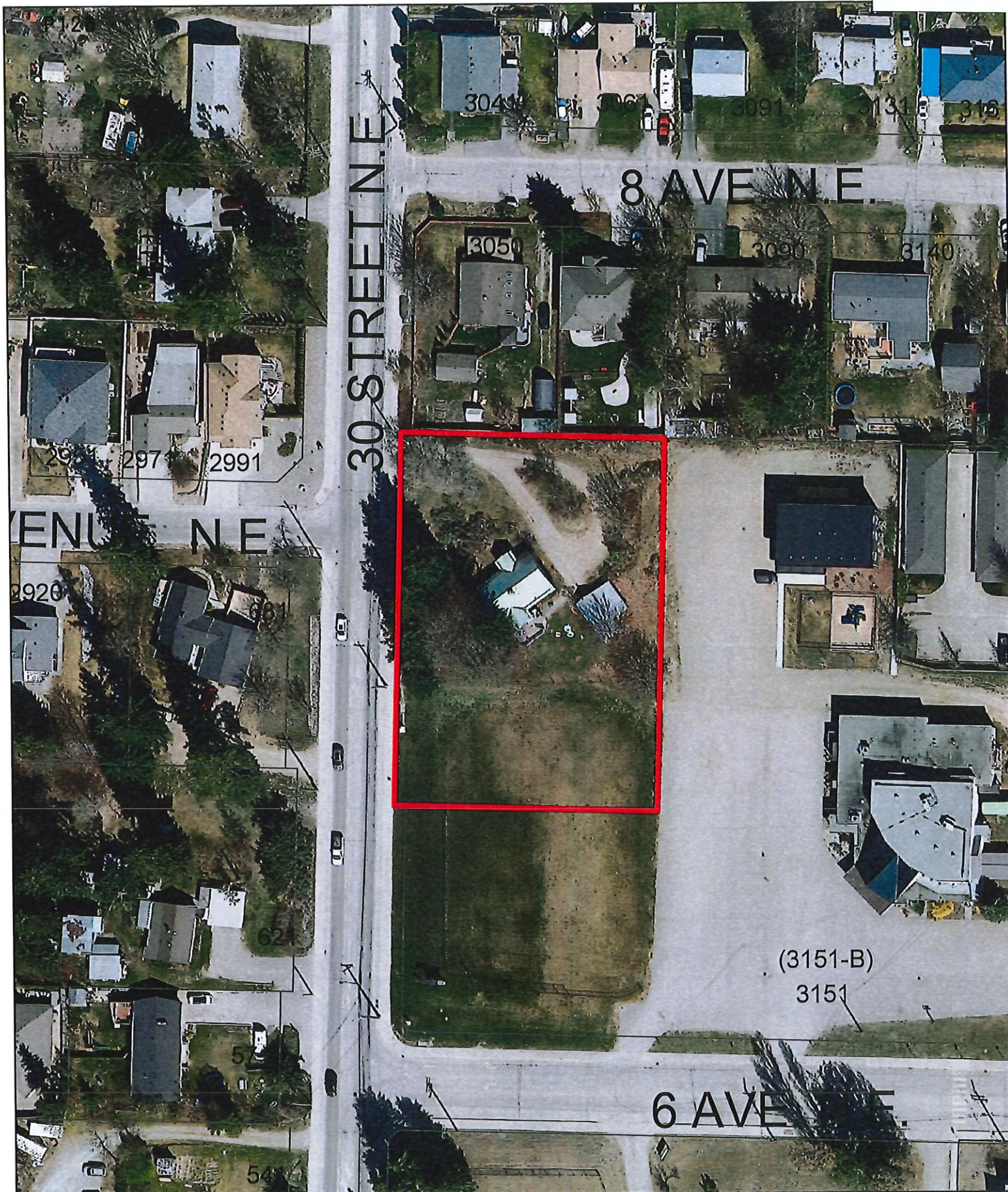
Prepared by Melinda Smyrl, MCIP, RPP  
Planner



Reviewed by Kevin Pearson, MCIP, RPP  
Director of Development Services







Ortho Photo Date: 2021



Subject Property

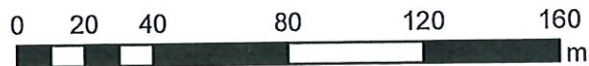
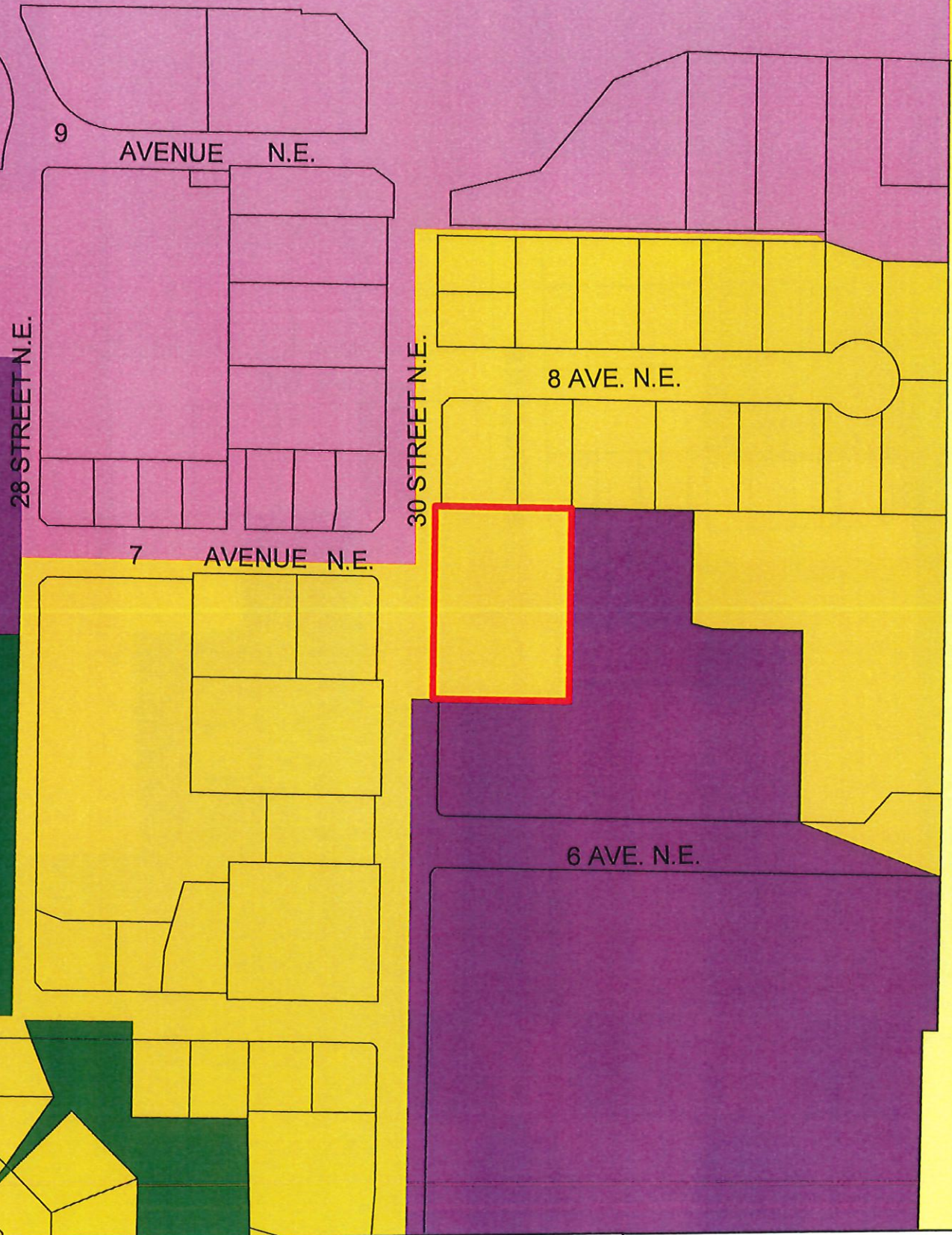


Parcels



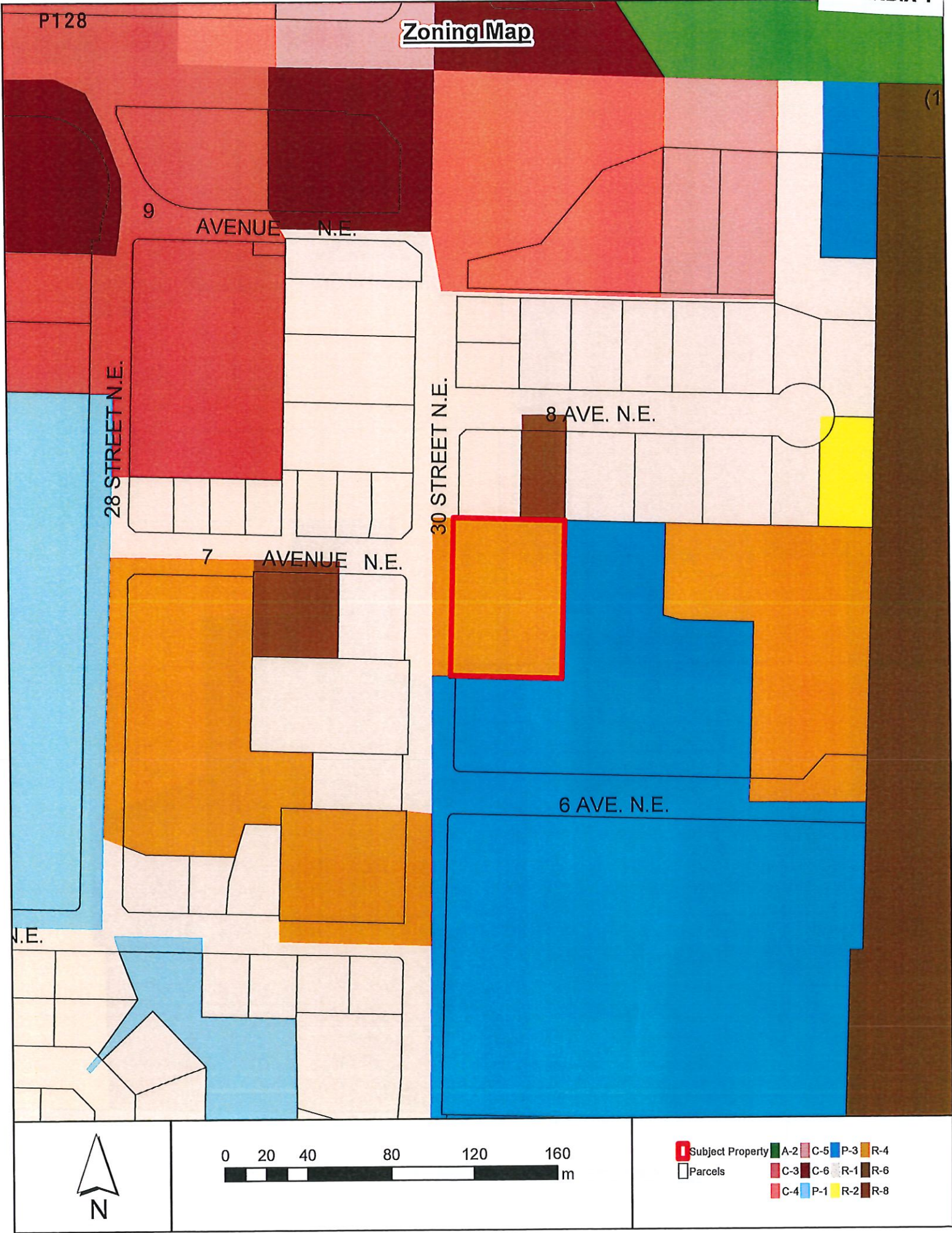
OCP Map

(1)



- Subject Property
- Acreage Reserve
- Residential - Low Density
- Residential - Medium Density
- Institutional
- Commercial - Highway Service / Tourist
- Parcels









**MARC A. LAMERTON**, Principal  
Architect AIBC  
B.A., M.Arch., LEED AP

January 03, 2022

**To:** *City of Salmon Arm  
Development Services Department  
Box 40, 500 – 2<sup>nd</sup> Avenue N.E.  
Salmon Arm, BC, V1E 4N2*

**Re:** *Development Permit Application - Design Rationale for Proposed Residential Development  
- Located at 700 – 30<sup>th</sup> Street NE, Salmon Arm, BC*

#### GENERAL PROJECT DESCRIPTION

The proposed development at the above noted address involves the construction of 20 dwelling units, contained within four multi-unit (5-Plex) buildings. The site is designated as 'Residential – Medium Density' in Salmon Arm's *Official Community Plan*, and is in the proximity of the uptown commercial area, schools, churches, the recreation center, arena, and Okanagan College.

The subject property is 0.4049 hectares (1.0 acre) in size and has been recently re-zoned to a R-4 (Medium Density Residential) Zone. The existing topography of the site is relatively flat, with a minor amount of cutting & filling required to create level building platforms for each of the structures.

#### DEVELOPMENT CHARACTERISTICS

As noted on the architectural Site Plan (drawing sheet A1.0) the project is proposing a single vehicle access point from 30<sup>th</sup> Street NE. At the request of Engineering Staff, the Developer has agreed to align this access point with 7<sup>th</sup> Avenue NE (on the west side of 30<sup>th</sup>) for increased traffic safety. Although this does not work as well from an internal vehicle circulation point-of-view, the design team was able to rotate the building footprints and allow for the revised access to travel into the center of the site, towards the parking & building entrances.

Because of this rotation (and the 2.4m road dedication along the west property line), there are two small triangular pieces on the east portions of Building 2 and Building 3 (see Site Plan, Note 6) that are subject to a Development Variance Request. For these portions of the building, the Developer is requesting a reduction in the Rear Yard Setback from the required 5.0m to 3.0m. The total area of the building portions beyond the 5.0m setback is 24sm, which represents only 3.1% of each of the two buildings that is requiring a Variance.

All of the required off-street parking (30 stalls) is provided on site through a combination of covered and uncovered surface parking, including the construction of a small, stand-alone carport structure (see drawing A6.1). The design of the Site Plan is intended to focus the parking on the center of the site – near the building entrances – while preserving the property perimeter for open areas, landscaping (see Landscape Plan), and winter snow storage.



**MARC A. LAMERTON**, Principal  
 Architect AIBC  
 B.A., M.Arch., LEED AP

The project proposes a density of 49.4 units per hectare, which is permitted in the R-4 zone with the provision of a special amenity (as per Section 9.11 – Table 2) of the Zoning Bylaw. The Developer is committed to providing 6 suites that will include accommodation for accessibility needs. These features will incorporate elements such as: designated parking, building elevators, accessible door sizes within units, extra width in bedroom spaces for wheelchair access, universal fixtures and roll-in showers in washrooms. The detailed design of the accessible suites will be provided in the Building Permit drawings for each building, and will reference such standards as 'CSA B651-04 Accessible Design for the Built Environment', 'ADA Standards for Accessible Design', 'BC Accessibility Handbook 2020', and the related sections of the 2018 BC Building Code.

## BUILDING DESIGN

The general approach for the building design is envisioned to reflect the City of Salmon Arm design guidelines for residential Development Permit zones, keeping in mind the existing context of dwellings to the north and the mixture of institutional (primarily schools & churches) and residential uses along 30<sup>th</sup> Street NE. The buildings feature a flat-roof strategy (intended to keep overall building height down), with clean, contemporary forms. The building exteriors include a mixture of cladding materials – largely stucco finish (in a light, warm grey), with areas of metal cladding (charcoal grey), and cement fiberboard siding. The colour of the cement fiberboard siding will vary between each building, providing further interest and some distinction between the structures. (See drawing sheets A5.1 and A5.2 for building renderings).

Landscaping is proposed as per the OCP guidelines, with emphasis on providing an appealing street frontage and planting around the project entrance and the site perimeter. Solid, white fencing – 5' high – is proposed around the property's north, east, and south sides. The principals for 'Fire Smart' landscaping are kept in mind by careful plant & tree selection and minimizing planting within 1.5m of structures. The Developer has also included some provisions for landscape areas that will be suitable for snow storage during the winter months.

## CONCLUSION

The project team is very excited about moving on to the next phase of this development and we look forward to working with City Staff, Council, and members of the public to offer additional housing options in our community.

Should you have any questions regarding the proposed development, please do not hesitate to contact me.

Yours very truly,

A handwritten signature in black ink, appearing to read "Marc Lamerton", written over a horizontal line.

Marc Lamerton, Architect AIBC  
 B.A., M.Arch., LEED AP





*Memorandum from the  
Engineering and Public  
Works Department*

---

TO: Kevin Pearson, Director of Development Services  
 DATE: January 7, 2022  
 PREPARED BY: Mustafa Zakreet, Engineering Assistant  
 APPLICANT: TSL Developments Ltd  
 SUBJECT: **DEVELOPMENT PERMIT AMENDMENT APPLICATION No. DP- 437**  
 LEGAL: Lot 2, Section 18, Township 20, Range 8, W6M, KDYD, Plan 26408, Except Plan 28836  
 CIVIC: **700 – 30 St NE**

---

Further to your referral dated January 7, 2022, we provide the following servicing information.

**General:**

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of development, the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the

**SUBDIVISION APPLICATION FILE: DP-437**

January 07, 2022

Page 2

---

requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.

10. For the off-site improvements at the time of development the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of development approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

**Roads / Access:**

1. 30 Street NE, on the subject properties western boundary, is designated as an Urban Arterial Road standard, with an ultimate 25.0m road dedication (12.5m on either side of road centerline). Although the City only requires an interim total of 20.0m of road dedication (10.0m on either side of road centerline) at this time, all building setbacks will be required to conform to the ultimate 25.0m cross section. Available records indicate that no additional road dedication is required (to be confirmed by BCLS), however the City will require a statutory right of way for an additional 2.5m beyond the current road dedication for the construction of a multi-use path, to be constructed at the applicant/developers cost.
2. 30 Street NE is currently constructed to an Interim Urban Arterial Road standard. Upgrading to the current Urban Interim Arterial Road standard is required, in accordance with Specification Drawing No. RD-4 (revised). Upgrading may include, but is not limited to curb & gutter, offset multi-use path, underground Telus and Shaw and street lighting. Owner / Developer is responsible for all associated costs.
3. As 30 Street NE is designated as an Arterial Road, accesses shall be designed by keeping to a minimum number and located in the safest location. Only one driveway access will be permitted, the existing driveway shall be removed. Owner / Developer responsible for all associated costs.
4. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
5. Consideration within the property shall be given to snow storage. No snow will be permitted to be pushed onto or across 30 Street NE.



**SUBDIVISION APPLICATION FILE: DP-437**

January 07, 2022

Page 3

---

**Water:**

1. The subject property fronts a 200mm diameter Zone 4 watermain on 30 Street NE. No upgrades will be required at this time.
2. The proposed development is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 19mm service from the 200mm diameter watermain on 30 Street NE. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. Bare Land Strata developments with ground oriented access have the option of a bulk water meter installed at property line at time of subdivision with invoicing to the Strata Corporation or individual strata lot metering with invoicing to each strata lot (currently on an annual flat rate). To qualify for the second option each unit requires a separate outside water service shut-off connected to the onsite private water main. Contact Engineering Department for more information. All meters will be provided at time of building permit by the City, at the owner/developers cost.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012)..
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.

**Sanitary:**

1. The subject property is serviced by a 150mm diameter sanitary sewer that terminates at a manhole in the south west corner of the property. Since this is the head of the run, subject to item 2, no further upgrades will be required at this time. However, a 6m wide right of way for the existing sewer and manhole is required
2. The development is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Sanitary System to receive the proposed discharge from the development. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 100mm service from the sanitary manhole in the south west corner of the property. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**SUBDIVISION APPLICATION FILE: DP-437**

January 07, 2022

Page 4


---

**Drainage:**

1. The subject property is serviced by a 200mm diameter storm sewer that terminates at a manhole in the south west corner of the property. No upgrades will be required at this time, however, a 6m wide right of way for the existing sewer and manhole is required
2. Records indicate that the existing property is not serviced by a storm service. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.


**Geotechnical:**

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design).



---

**Mustafa Zakreet**  
Engineering Assistant



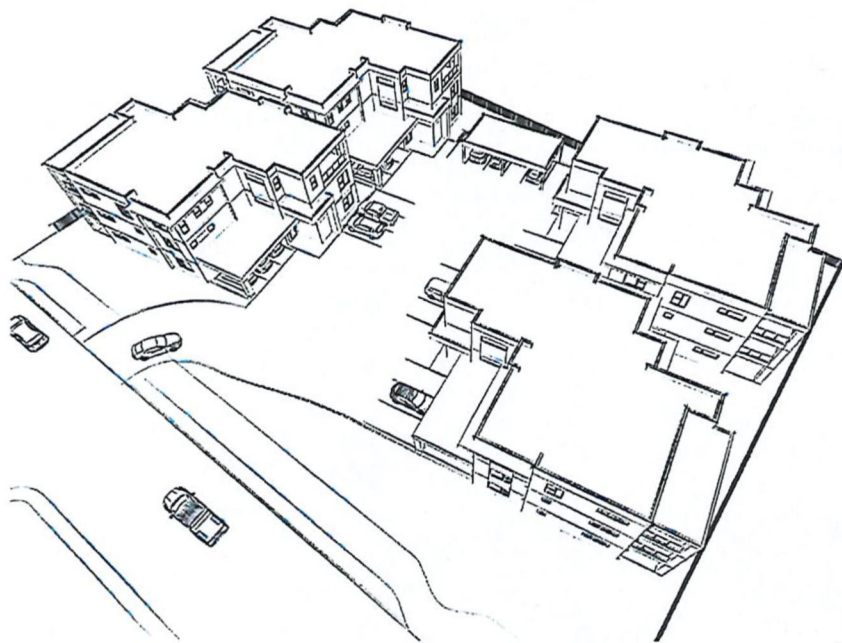
---

**Jenn Wilson P.Eng., LEED® AP**  
City Engineer

# 30TH STREET N.E. Residential Development

## DRAWING LIST:

- A0.0 COVER SHEET
- A1.0 SITE PLAN
- A2.2 GROUND FLOOR PLAN
- A2.3 SECOND FLOOR PLAN
- A2.4 UPPER FLOOR PLAN
- A2.5 ROOF PLAN
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A5.1 EXTERIOR 3D VIEWS
- A5.2 EXTERIOR 3D VIEWS
- A6.1 CARPORT DESIGN



LOCATION PLAN NOT TO SCALE



AVEX ARCHITECTURE

ISSUE DATE

Development Permit Dec. 14, 2021

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

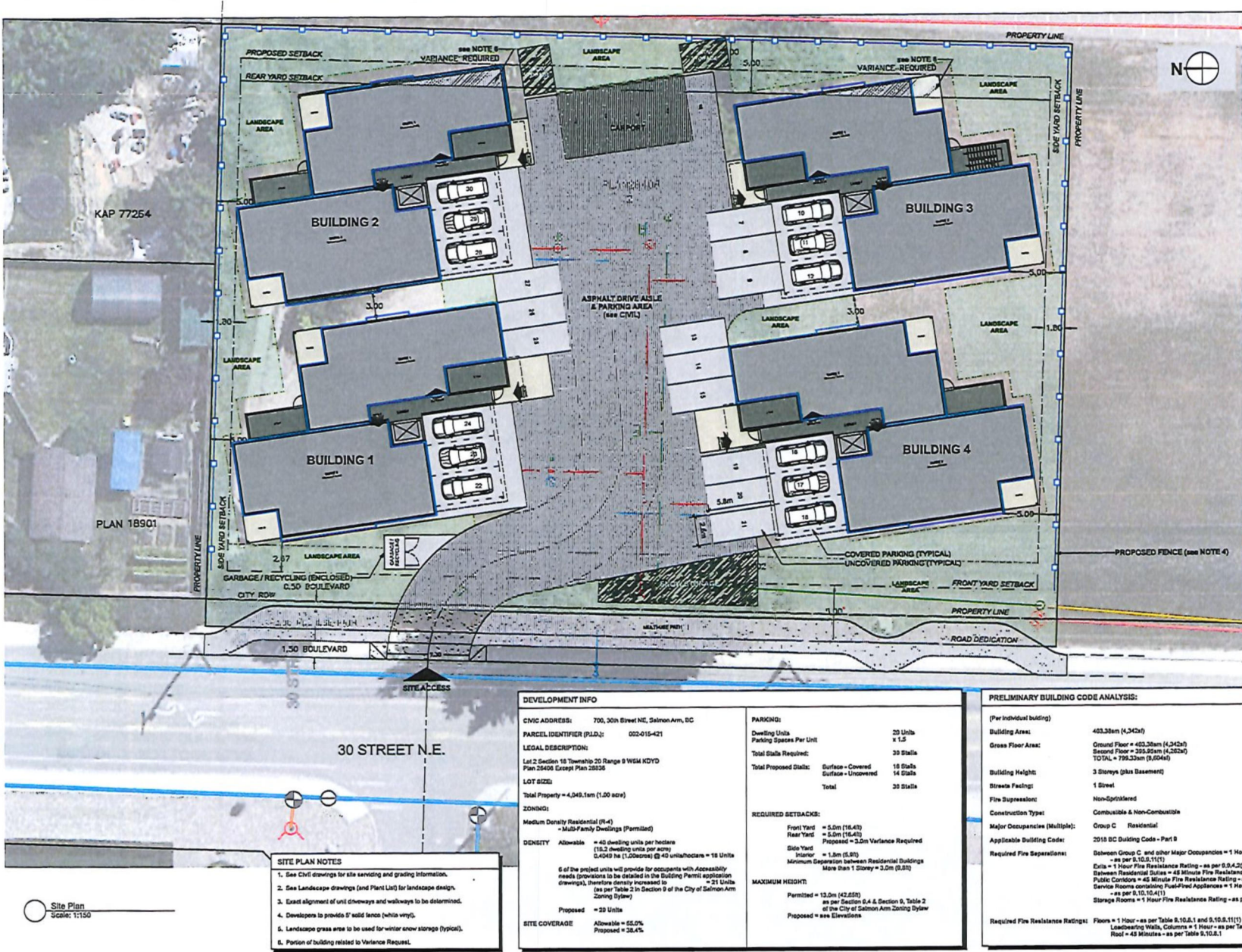
276

277

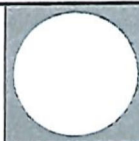
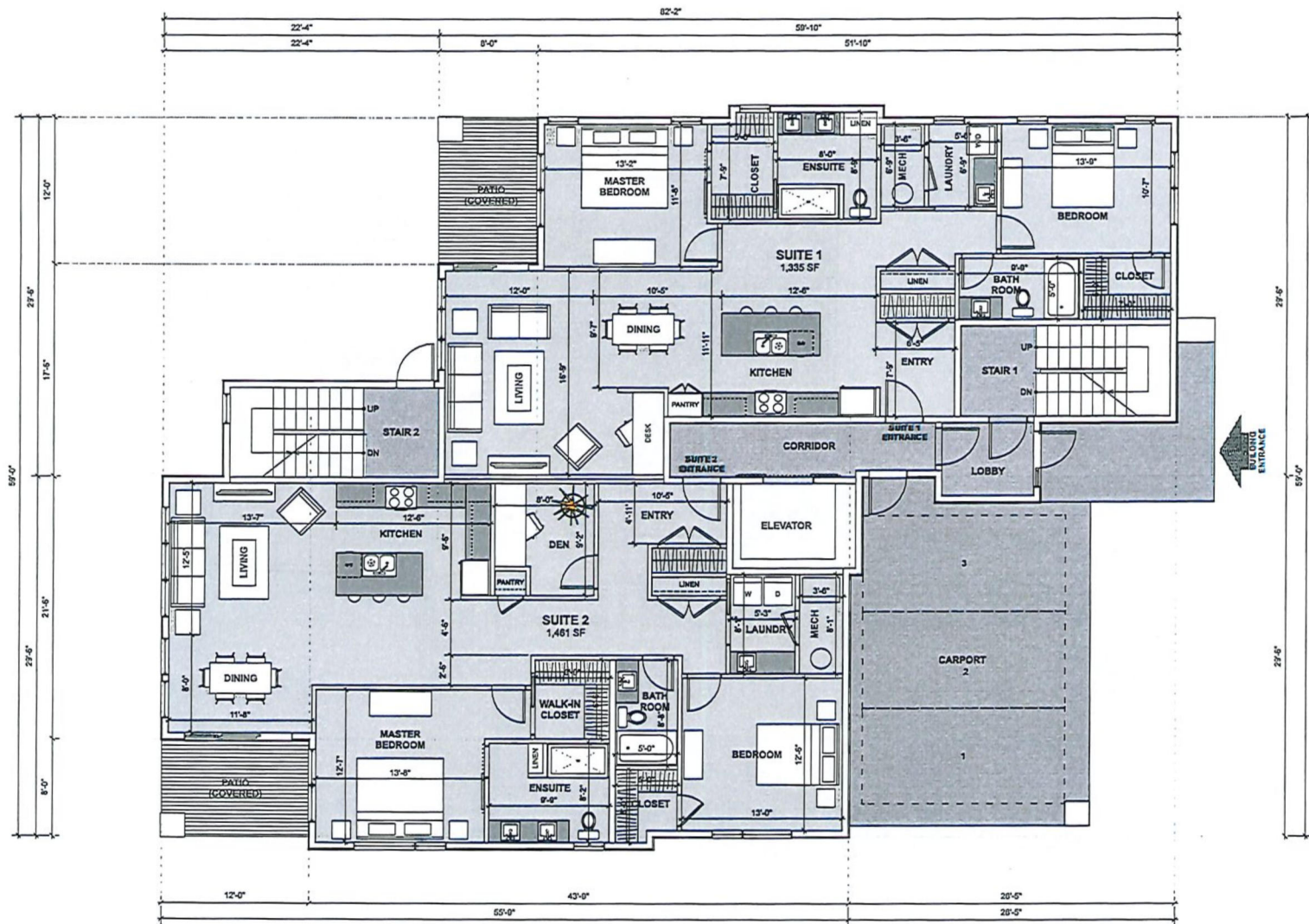
278

279









AVEX ARCHITECTURE

4168 - 16th ST NE  
PO BOX 2230  
SALMON FALLS, BC V1E 4R2

Phone: 250-545-4001  
Fax: 250-545-4002  
www.avexarchitect.com

PROJECT: 30-019

30th Street NE

Residential

Development

700-30th Street NE

Salmon Falls, BC

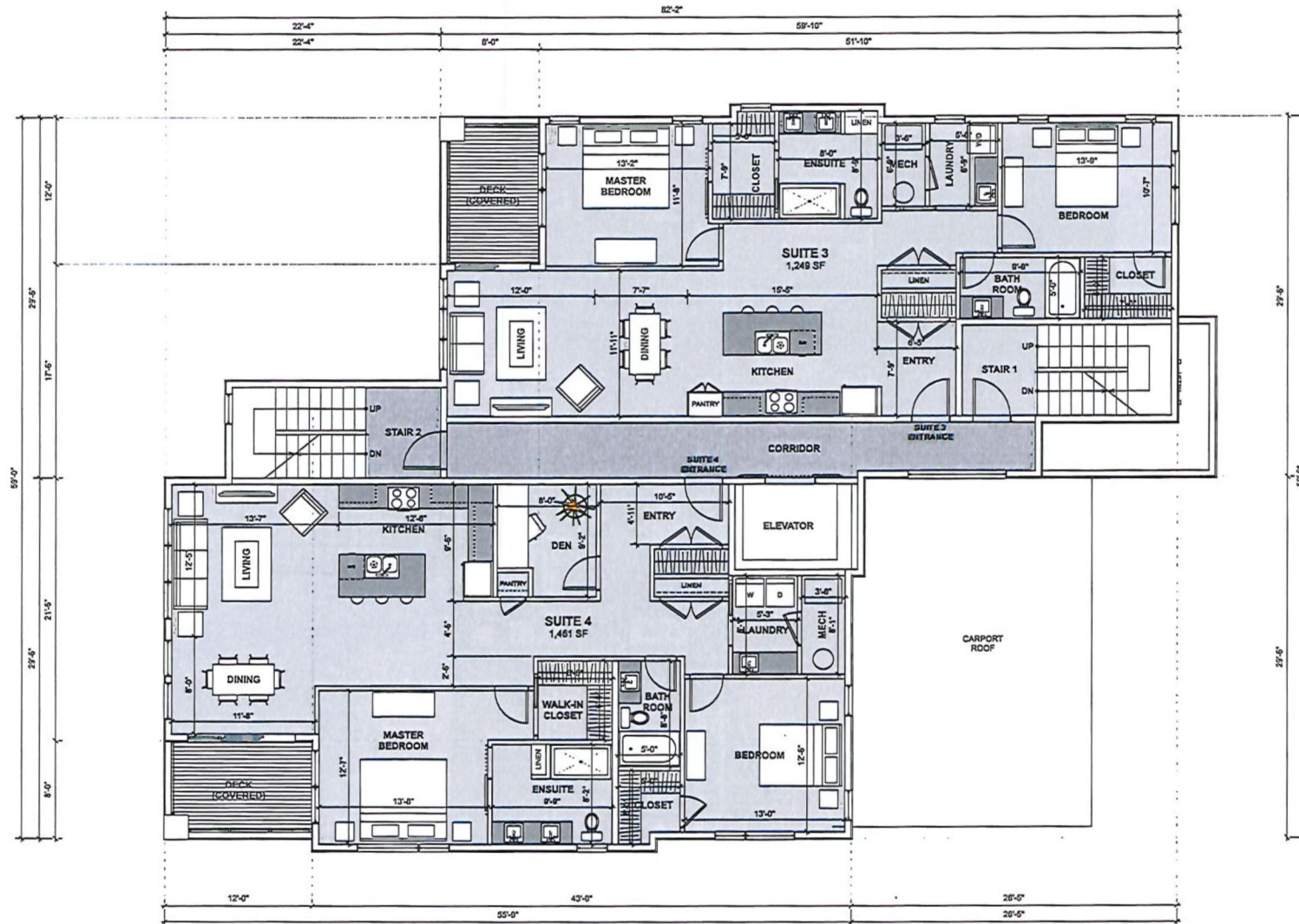
DRAWING TITLE:

GROUND

FLOOR PLAN

DRAWING NO:

A2.2



ISSUE	DATE
Development Permit	Dec. 11, 2021

DRAWN BY: MLC  
 DATE: December 2021  
 SCALE: 1/4"=1'-0"



4108 - 6th Street NE  
 PO Box 3320  
 Salmon Arm, BC V1E 4R3  
 Phone: 250-835-4800  
 Email: info@avexarchitecture.ca  
 Website: www.avexarchitecture.ca

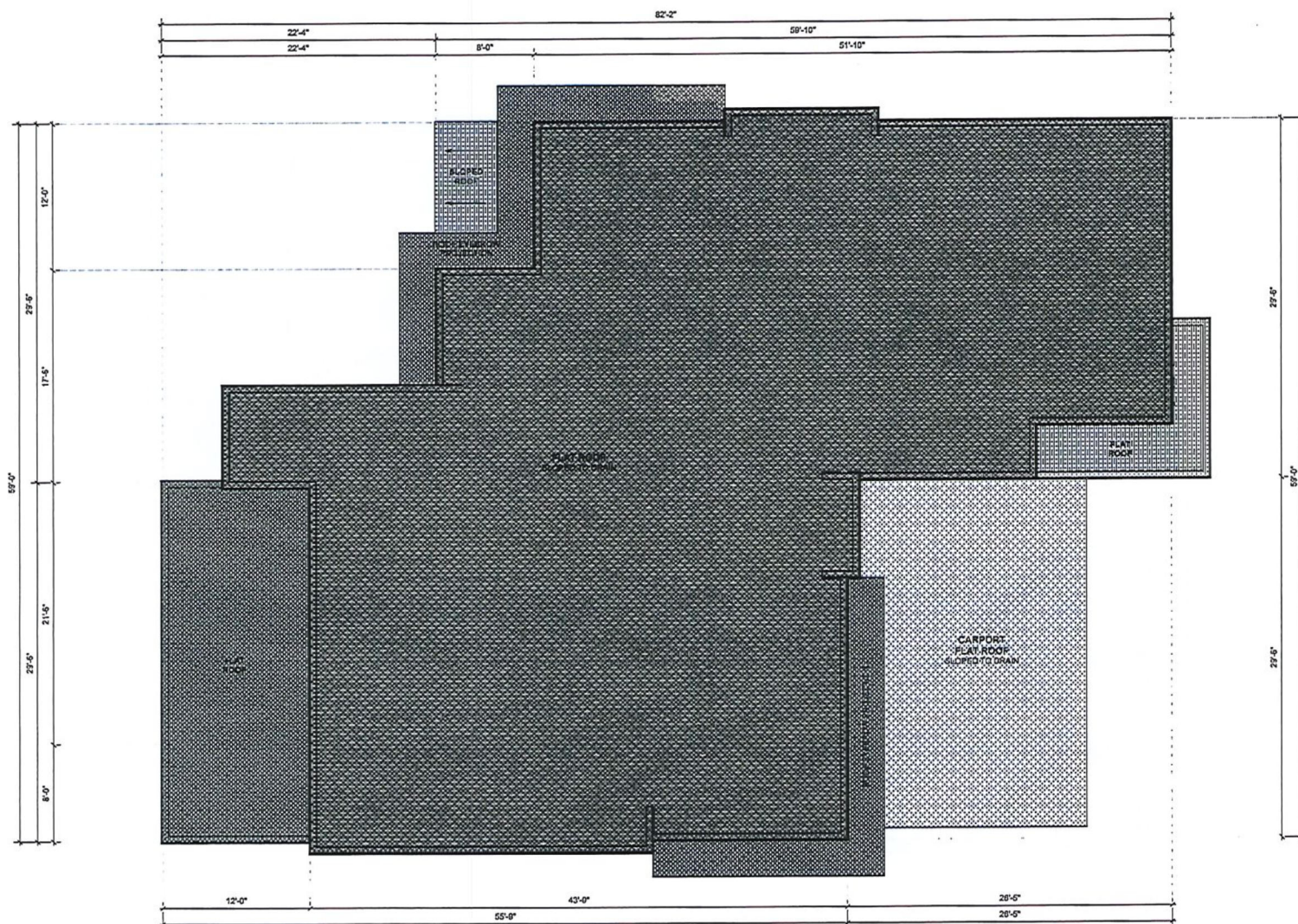
PROJECT: 20-019  
**30th Street NE**  
 Residential  
 Development

700-30th Street NE  
 Salmon Arm, BC  
 DRAWING TITLE:  
**SECOND FLOOR PLAN**

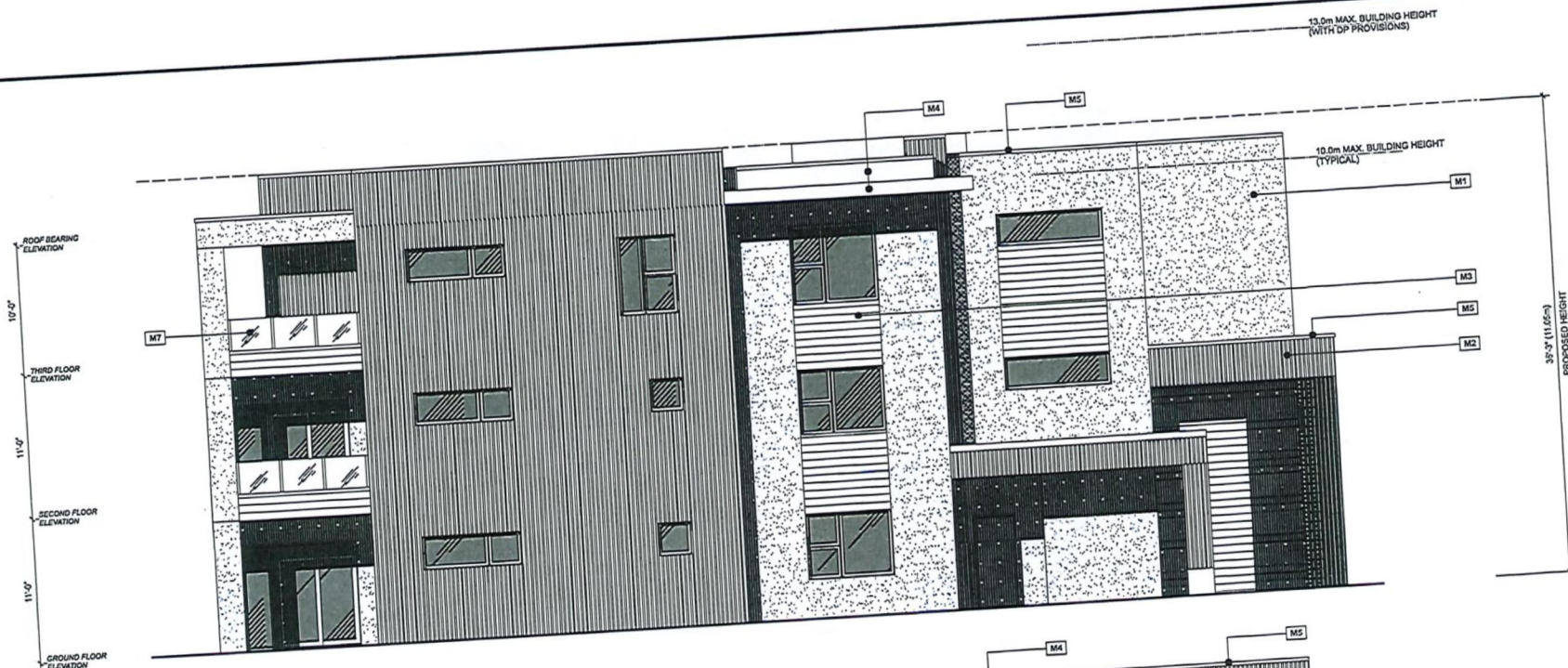
DRAWING NO:  
**A2.3**



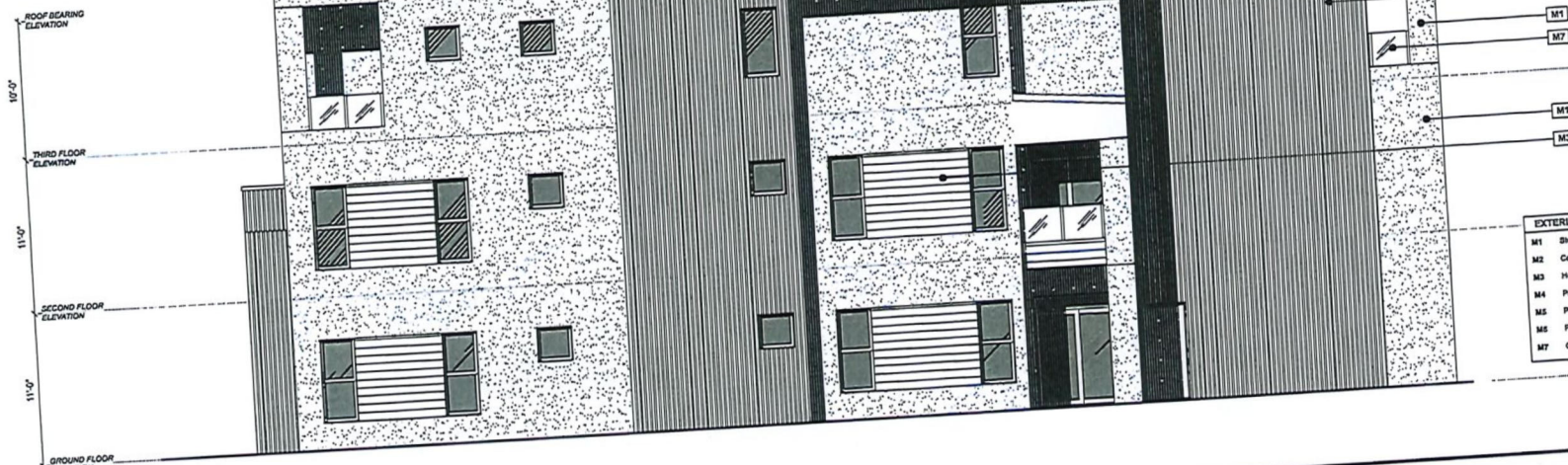









1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL NOTES	
M1	Blouse Cladding - Light
M2	Corrugated Metal - Charcoal
M3	Horizontal Cement Fibre Board - Infill Panels
M4	Pre-Finished Metal Fascade - Dark
M5	Pre-Finished Metal Flashing - Dark
M6	Pre-Finished Metal HSS Column - Black
M7	Guard Rail at 42" Height - Glass

	
4168 - 4th ST NE 100 BOX 2350 SALMON ARM, BC V1E 4R2 Marc Lemmon, Architect ABC T 256-514-0551 E <a href="mailto:marc@avexarchitecture.ca">marc@avexarchitecture.ca</a> W <a href="http://www.avexarchitecture.ca">www.avexarchitecture.ca</a>	
PROJECT: 20-018 <b>30th Street NE</b> Residential Development	
DRAWING TITLE: <b>ELEVATIONS</b>	
DRAWING NO: <b>A3.1</b>	





ISSUE	DATE
Client/Owner Permit	Dec. 14, 2021

DRAWN BY: H.C.  
 DATE: December 2021  
 SCALE: 1/4" = 1'-0"



4108 - 4th ST NE  
 PO BOX 2320  
 SALMON ARM, BC V1E 4H2  
 Mark Lemmon, Architect AIBC  
 T 250.415.4881  
 E mark@avexarchitecture.ca  
 W www.avexarchitecture.ca

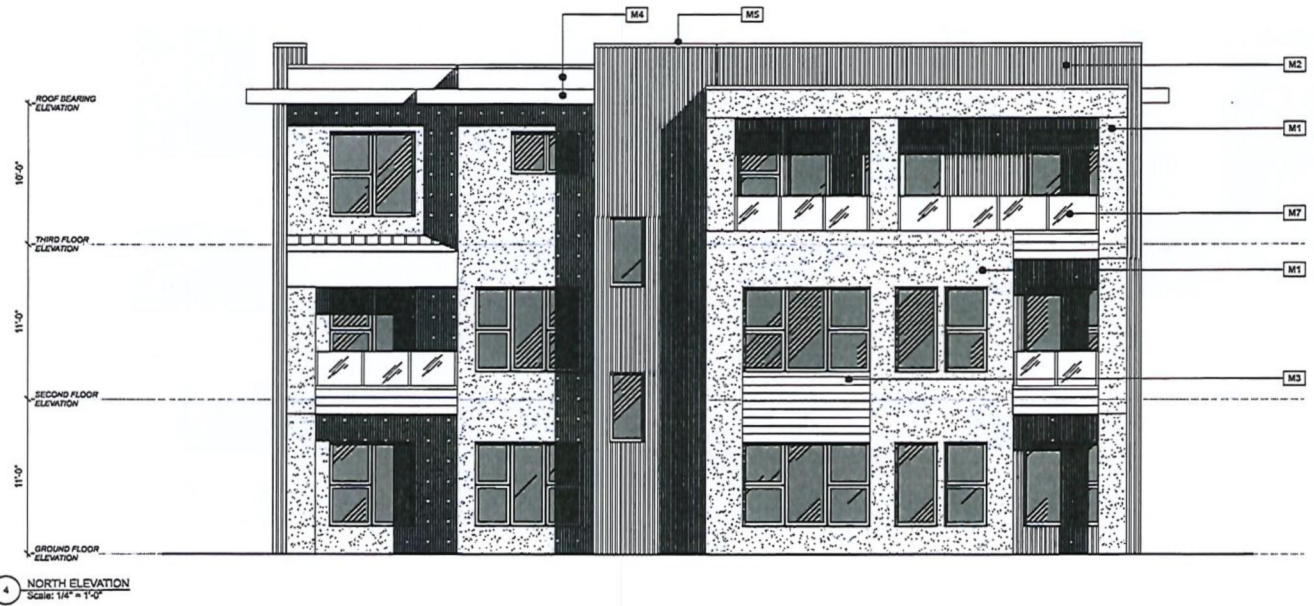
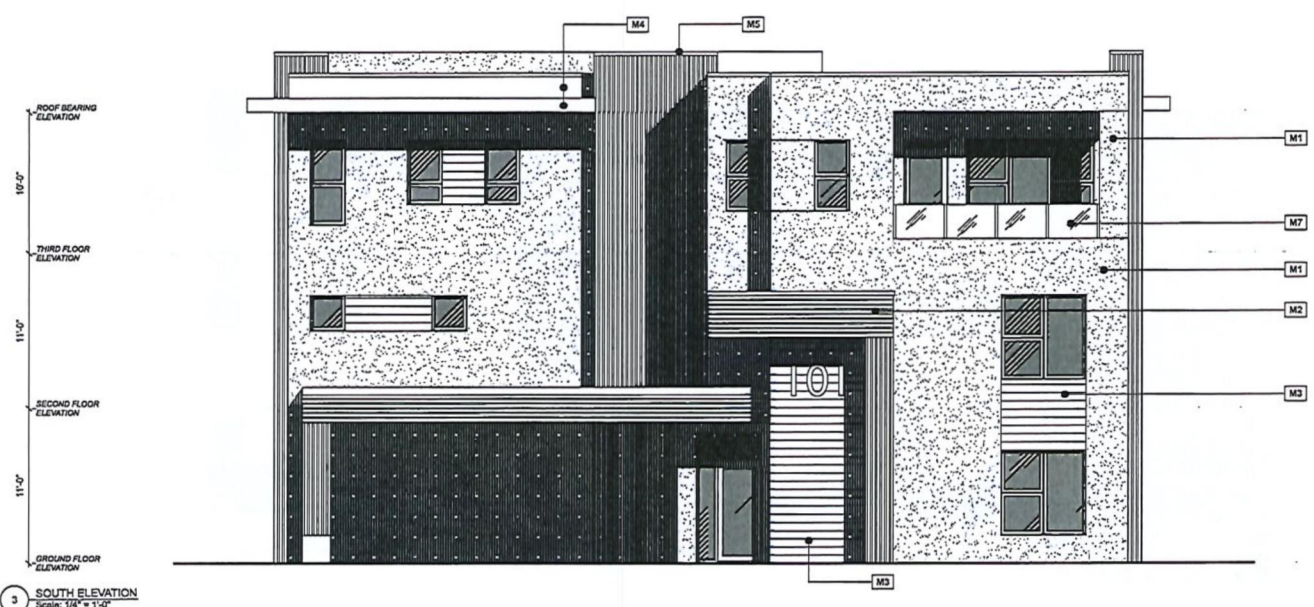
PROJECT: 20-019  
**30th Street NE**  
 Residential  
 Development

700-30th Street NE,  
 Salmon Arm, BC

DRAWING TITLE:  
**ELEVATIONS**

DRAWING NO:

**A3.2**



EXTERIOR MATERIAL NOTES	
M1	Stucco Cladding - Light
M2	Corrugated Metal - Chancel
M3	Horizontal Cement Fibre Board - InFS Panels
M4	Pre-Finished Metal Flashing - Dark
M5	Pre-Finished Metal Flashing - Dark
M6	Pre-Finished Metal HSS Column - Black
M7	Guard Rail at 42" Height - Glass



EXTERIOR 3D VIEWS



ISSUE	DATE
Development Permit	Dec 14, 2021

DRAWN BY: P.L.C.
BATH: December 2021
SCALE: N/A



4168 - 40 ST NE  
PO BOX 2320  
SAPOULAP, BC V1E 4B3  
Phone: 250-451-1801  
Email: info@avexarch.ca  
Web: www.avexarch.ca

PROJECT: 25-018  
30th Street NE  
Residential  
Development

700-30th Street NE,  
Salmon Arm, BC  
DRAWING TITLE:  
3D VIEWS

DRAWING NO:  
A5.1



# EXTERIOR 3D VIEWS



ISSUE	DATE
Development Permit	Dec 14, 2021

DRAWN BY: M.C.  
 DATE: December 2021  
 SCALE: N/A



4105 - 49th St NE  
 NO. 100-1100  
 SAULTOIN/APPLICABLE 410  
 Marc Lavertan, Architect AEC  
 T 250-512-1881  
 E info@avexarchitecture.ca  
 W www.avexarchitecture.ca

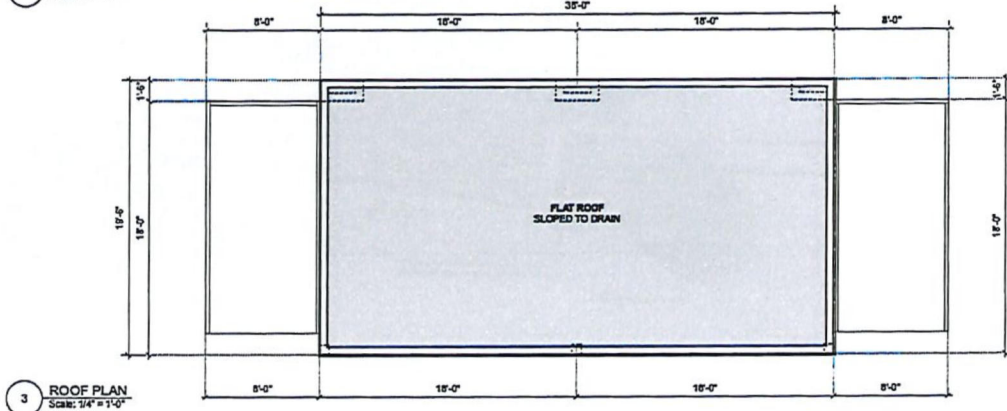
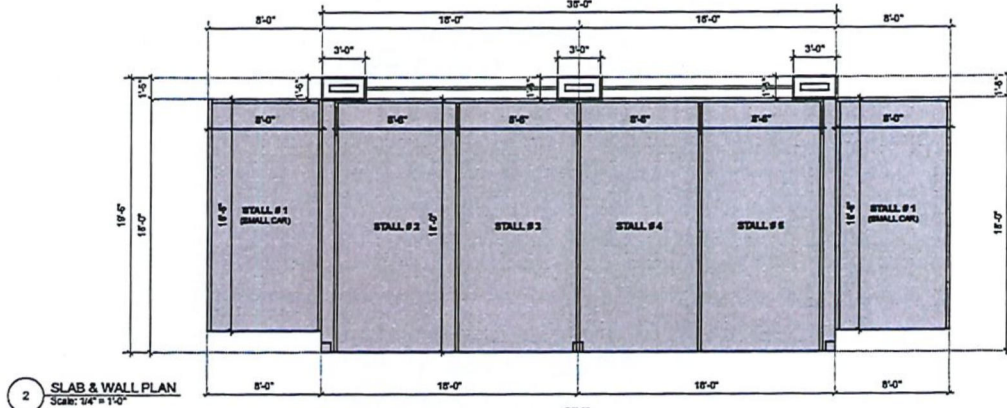
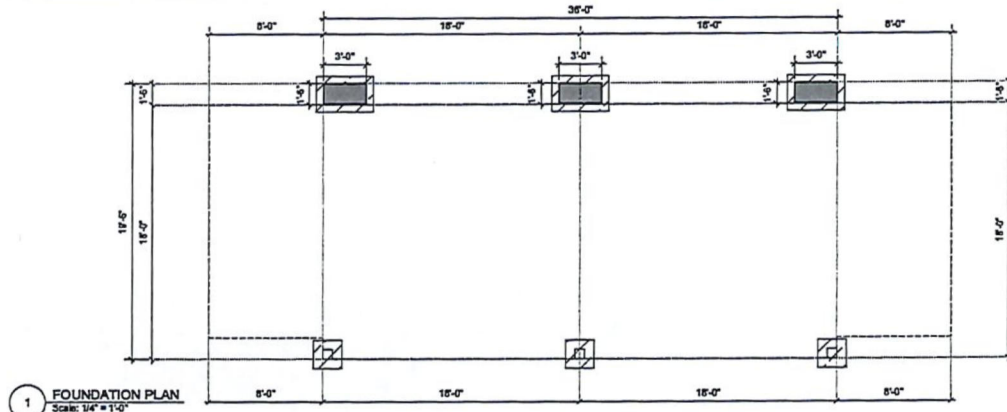
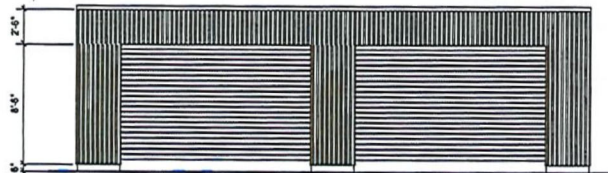
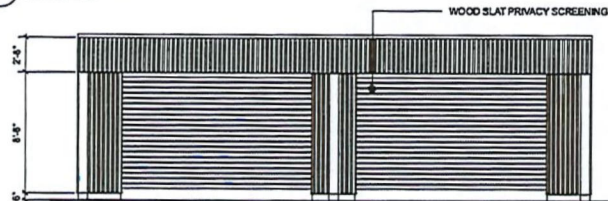
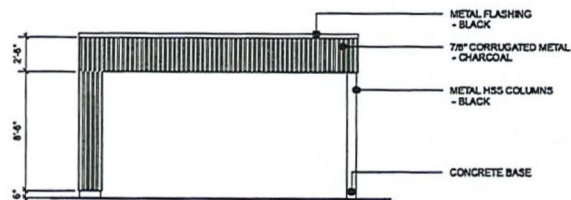
PROJECT: 20419  
**30th Street NE**  
 Residential  
 Development


700-30th Street NE,  
 Salmon Arm, BC  
 DRAWING TITLE:  
**3D VIEWS**

DRAWING NO:  
**A5.2**



# 30TH STREET N.E. CARPORT DESIGN





**AVEX**  
ARCHITECTURE

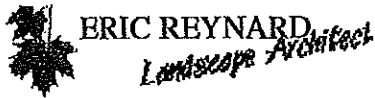
4168 - 40 ST NE  
PO BOX 2339  
SAVONNA, FL 32816-0433  
Phone: 772-325-1111  
Fax: 772-325-1112  
www.avexarch.com

PROJECT: 230119  
**30th Street NE**  
Residential Development

700 30th Street NE  
Gainesville, FL 32609  
DRAWING TITLE:  
**CARPORT PLANS**

DRAWING NO:  
**A6.1**



**30TH STREET NE DEVELOPMENT****14 DECEMBER 2021**

<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b>
<b><u>TREES</u></b>			
1	Corylus avellana 'Contorta'	Contorted Hazelnut	#5 pot
8	Quercus palustris	Pin Oak	7cm cal
<b><u>SHRUBS</u></b>			
22	Berberis thunbergii 'Sensation'	Sensation Japanese Barberry	#2 pot
53	Berberis thunbergii 'Gentry'	Royal Burgundy Japanese Barberry	#2 pot
13	Cornus alba 'Baton Rouge'	Baton Rouge Dogwood	#2 pot
28	Cornus sericea 'Kelsey'	Kelsey Dogwood	#2 pot
6	Euonymus alatus 'Compacta'	Dwarf Winged Burning Bush	#2 pot
7	Hydrangea paniculata 'Bombshell'	Bombshell Panicle Hydrangea	#2 pot
5	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	#1 pot
19	Rosa Canadian Artist 'Emily Carr'	Emily Carr Rose	#2 pot
7	Sorbaria sorbifolia 'Sem'	False Spirea	#2 pot
16	Spiraea betulifolia 'Glo Girl'	Glo Girl Birch-Leaf Spirea	#2 pot
25	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	#2 pot

No substitutions without written permission of the Landscape Architect.

THIS PAGE INTENTIONALLY LEFT BLANK



Item 22.3

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Permit No. DP-439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481 Except Plans H401 and EPP70085 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Rear Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;
2. Section 17.9.3 – Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Rem Lot 14 on the drawings attached as Appendix 6 to the staff report dated February 24, 2022.

[Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond




---

To: His Worship Mayor Harrison and Members of Council

Date: February 24, 2022

Subject: Development Permit Application No. DP- 439 (Form and Character)  
 Civic Address: 2430 10 Avenue (TCH) SW  
 Owner/Applicant: Bremmvic Holdings Ltd. (William Laird)

---

### **STAFF RECOMENDATION**

**THAT:** Development Permit No. 439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481, Except Plans H401 and EPP70085 (2430 10 Avenue (TCH) SW) in accordance with the Development Permit drawings attached as APPENDIX 7;

**AND THAT:** Development Permit No. 439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Rear Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as APPENDIX 7;
2. Section 17.9.3 - Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as APPENDIX 7;

**AND FURTHER THAT:** Issuance of Development Permit No. 439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Lot Rem Lot 14 on the drawings attached as Appendix 6.

---

### **PROPOSAL**

To review the Development Permit package attached as Appendix 7. The applicant is proposing to construct a commercial storage building along a proposed property line. A letter provided by the applicant is included as Appendix 5.

### **BACKGROUND**

The subject property is located in the highway commercial area on the west side of the City (see Appendix 1 and 2). The subject property is split designated in the Official Community Plan (OCP) as Salmon Valley Agriculture and Highway Commercial (see Appendix 3) and is split zoned A1 (Agriculture Zone) and C3 (Service Commercial Zone) (see Appendix 4). The southern portion of the lot is within the Agriculture Land Reserve (ALR). Approximately 3.8ha (9.4ac) in area.

Adjacent Land Uses/Development:

North:	Trans Canada Highway & Highway Commercial Development	Zoned C3/C5
South:	Agriculture	Zoned A1
East:	Highway Commercial & Agriculture	Zoned C3/A1
West:	Highway Commercial & Agriculture	Zoned C3/A1

The subject property is currently under subdivision application to establish two lots divided along the ALR, zoning and OCP boundaries with panhandle access from 10 Avenue (TCH) SW to the south portion of the property (proposed Rem Lot 14). The proposed subdivision site plan is attached as Appendix 6. A Preliminary Layout Review letter (PLR) supporting the tow lot subdivision was issued by the Approving Officer on September 14, 2021.

Known as the "Rona" site the subject commercial area operated as the building supply store until 2020 when the operation closed. It is slated to reopen as the same building supply chain store under new ownership. Under previous ownership the City was working to address the encroachment of some storage buildings into ALR land and did not achieve compliance until new ownership. The proposed development includes the removal of some existing storage buildings that are not compliant with ALR or City regulations and replacing those buildings with a single larger storage building and retaining an existing accessory building along the (future) parcel boundary along the (proposed) rear parcel line and the (proposed) interior parcel line. A detailed site plan is included as Appendix 7. For the proposed two lot subdivision to be approved the proposed and existing building must be compliant with the setbacks of the Zoning Bylaw or an issued Development Variance Permit. In this case, since the larger storage building along the (proposed) rear parcel line requires the issuance of a Development Permit, the variances have been included to streamline the development process.

The building materials of the proposed storage building are a combination of corrugated metal and wood. The drawings submitted in support of the application are enclosed as Appendix 7.

## COMMENTS

### Building Department

No concerns.

### Fire Department

No concerns.

### Engineering Department

In response to the Development Permit and variance request, the Engineering Department noted concerns with the sloping roof of the proposed new building citing that surface water shall be retained on site and shall not be allowed to discharge onto the adjacent property. Staff feel that the registration of an easement over the area of stormwater discharge on the adjacent parcel (proposed Rem Lot 14) would address these concerns as the proposed Lot 1, under the easement agreement, would have continued access and the responsibility to address stormwater discharge into perpetuity, minimizing negative impact on the adjacent parcel. Easements and covenants are commonly used legal tools that identify and address responsibilities of neighbouring land owners in similar scenarios.

### Design Review Panel

At their February 23, 2022 meeting the Design Review Panel passed the following recommendation:

"THAT the DRP supports DP 439 as presented."

In their discussion the panel noted while the issue of stormwater discharge is beyond the scope of their purpose concerns were highlighted. In addition the panel commented that the re-opening of the retail store is welcome as is the recent clean up of the site and the efforts to bring the development into compliance with the City's bylaws.

### Planning Department

The OCP requires the issuance of a Development Permit for accessory buildings in the Highway Service/Tourist Commercial Development Permit Area that are greater than 100m<sup>2</sup>. This is to ensure that buildings are consistent with Development Permit design guidelines and is an opportunity to review and address any issues with internal traffic circulation, site access and site egress.

When considering the variance request to reduce the rear and interior parcel line setback from 1.0m to 0.0m a number of factors are taken into consideration including – the potential negative impact to the immediately adjacent and affected property, current land use and future land use of the affected adjacent parcel to assess for potential conflict(s) and site specific conditions.

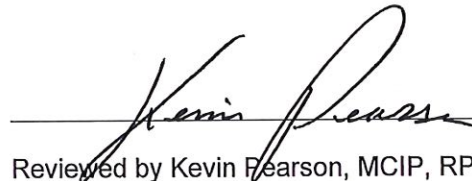
With regard to the proposed variance request, the current use of the portion of land to the south is designated in the OCP and zoned consistent with its current use as agricultural land. Staff feel that the proposed building would act as a physical boundary replicating a legal and regulatory boundary and would act to protect the ALR land to the south from encroachments of the commercial development. Further, the placement of the proposed storage building allows for internal traffic circulation on the commercial site to accommodate the larger scale trucks and traffic that are typical in a commercial building supply yard. The registration of an easement agreement between the (proposed) lots addresses the stormwater discharge and responsibilities without involving City staff or resources. The proposed building is in keeping with the general form and character of the commercial site. Staff are supportive of the Development Permit and variance requests.

Should Council not support the variance the developer would have to consider options such as reducing the area of the proposed building and relocating or removing the existing accessory building along the (proposed) panhandle. This may result in unstructured or informal outdoor storage.

It should be noted that subdivisions along the ALR boundary do not require ALC approval should the Approving Officer considers the subdivision beneficial to farm production. Therefore, the applicant did not have to make a separate subdivision application to the ALC for the proposed two lot subdivision. In this scenario subdividing the ALR portion from the commercial portion of the property, and further demarcating the regulatory boundary by the placement of an accessory building, ensures that encroachments into the ALR and agriculturally productive land(s) from the commercial land would be minimized.



Prepared by Melinda Smyrl, MCIP, RPP  
Planner



Reviewed by Kevin Pearson, MCIP, RPP  
Director of Development Services



## P153

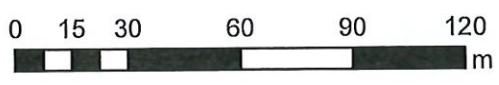





10

11

## Parcels

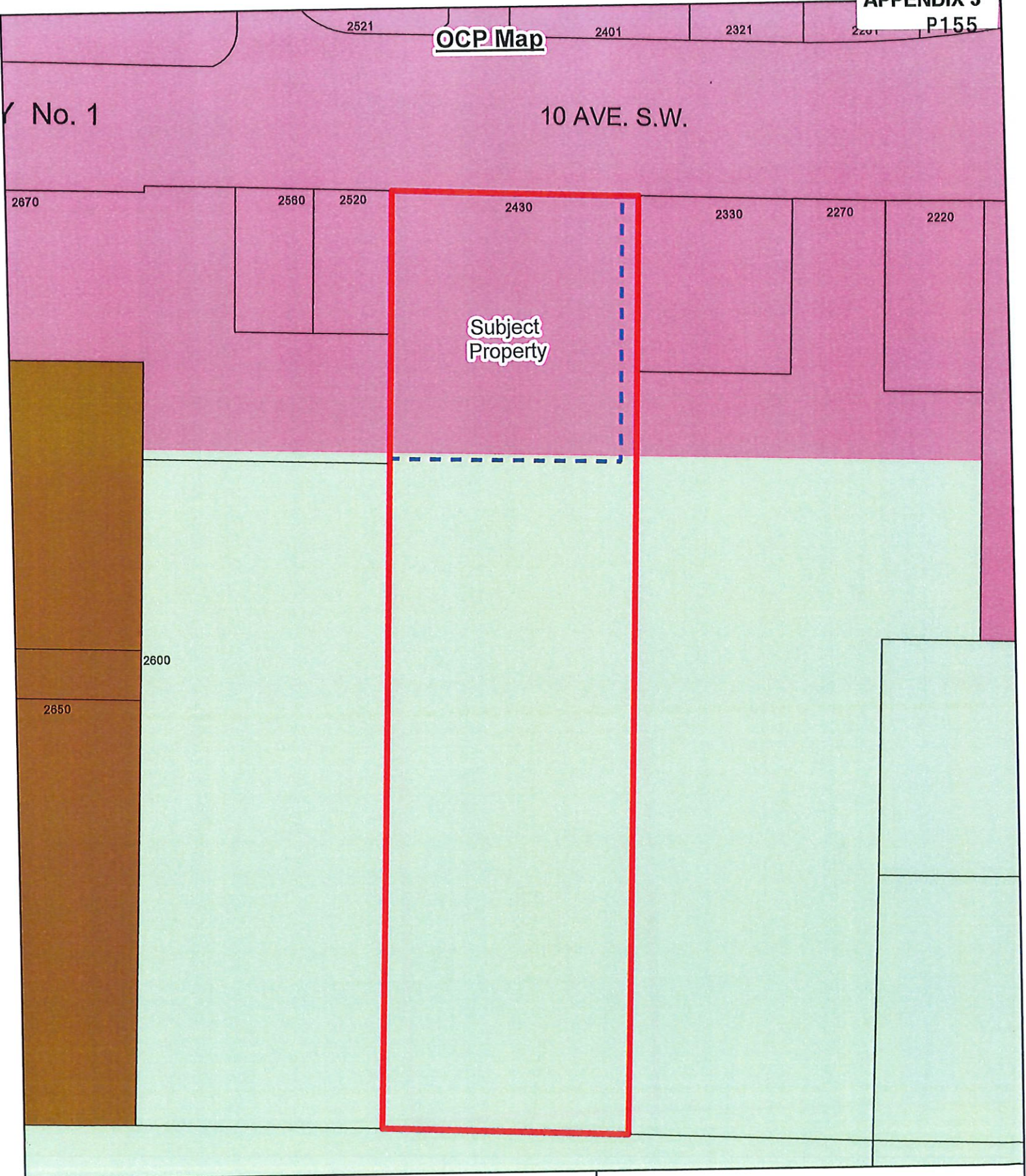




-  Subject Property
-  Proposed Subdivision (see SUB 21.17)
-  Parcels



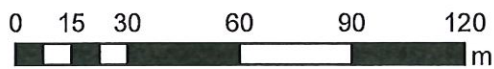
OCP Map



- |                                      |  |
|--------------------------------------|--|
| Subject Property                     | Salmon Valley Agriculture              |
| Proposed Subdivision (see SUB 21.17) | Commercial - Highway Service / Tourist |
| Parcels                              | Industrial - General                   |



# Zoning Map



- |   |  |  |
|---|--|--|
| <span style="border: 2px solid red; padding: 2px;"> </span> Subject Property  | <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;"> </span> A-1 | <span style="background-color: #FFB6C1; border: 1px solid black; padding: 2px;"> </span> C-5 |
| <span style="border-bottom: 2px dashed blue; display: inline-block; width: 20px;"> </span> Proposed Subdivision (see SUB 21.17) | <span style="background-color: #FF6347; border: 1px solid black; padding: 2px;"> </span> C-3 | <span style="background-color: #6495ED; border: 1px solid black; padding: 2px;"> </span> M-1 |
| <span style="border: 1px solid black; display: inline-block; width: 15px; height: 10px;"> </span> Parcels                       | <span style="background-color: #FF4500; border: 1px solid black; padding: 2px;"> </span> C-4 | <span style="background-color: #F5F5DC; border: 1px solid black; padding: 2px;"> </span> R-1 |



BREMMVIC HOLDINGS LTD.

Box 1022

Salmon arm, BC.

V1E 4P2.

Feb 02, 2022.

Re: proposed storage shed for Rona building supply site

2430 10<sup>th</sup> Ave. SW.

Salmon Arm

Scope:

To build a new storage shed along the south property line at the above site.  
This new building will replace an old wooden structure which was removed  
from the ALR lands south of the C3 zoned lot.

We are requesting set back variances on the south and east sides of the new  
shed as noted on the site plan to maximize the C3 lot usage.

The structure will have 6 inch precast concrete panels along the south and  
east elevations per the structural plans attached to this application.

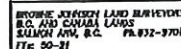
Please contact the undersigned with questions or concerns.

Thank you.

A handwritten signature in black ink, appearing to read "Bill Laird", with a large, stylized loop at the beginning.

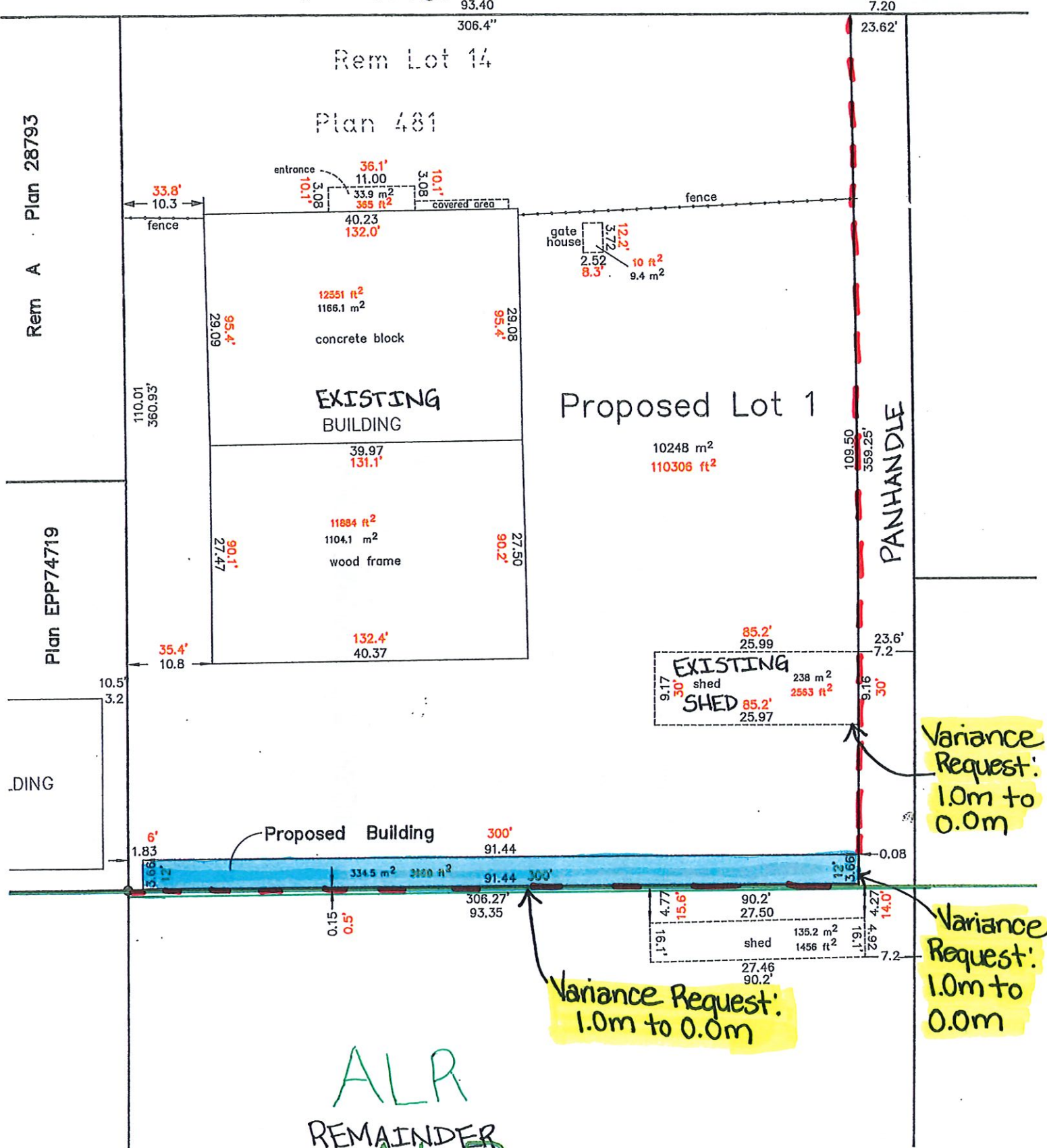
Bill Laird

Proposed Subdivision  
Plan (SUB 21.17) with Subject  
Property Outlined



Plan EPP70085  
10 AVENUE S.W.

SITE PLAN



Variance Request:  
1.0m to  
0.0m

Variance Request:  
1.0m to 0.0m

Variance Request:  
1.0m to  
0.0m

ALR  
REMAINDER  
LOT 14  
PLAN 481

--- Proposed Subdivision  
Property Line  
(SUB 21.17)



boundary marked with paint and concrete nolls in pavement


 COLORS TO BE PRINTED IN COLOR AND ON 2430 DYE-SUBSTRATE FOR PROPER REPRODUCTION



**BOURCET  
ENGINEERING**

HEAD OFFICE  
621 Fairweather Rd.  
Vancouver, B.C. V7T 4T9  
Tel: 250.542.0608

www.BourcetEngineering.com

CONSULTANTS

© COPYRIGHT 2022 BOURCET ENGINEERING

Copyright reserved. This drawing is an instrument of service for the project specified. The drawing and design are the exclusive property of Bourcet Engineering and may not be used in whole or in part without their written permission. Their name must appear on any reproduction of the whole or part of this drawing. Please check and verify all critical details and dimensions prior to start of construction and submit for review if any modifications required. Written comments will always take precedence over verbal discussions.

Revised By	Revised Date	Revised Description

PROJECT: RONA STORAGE SHED

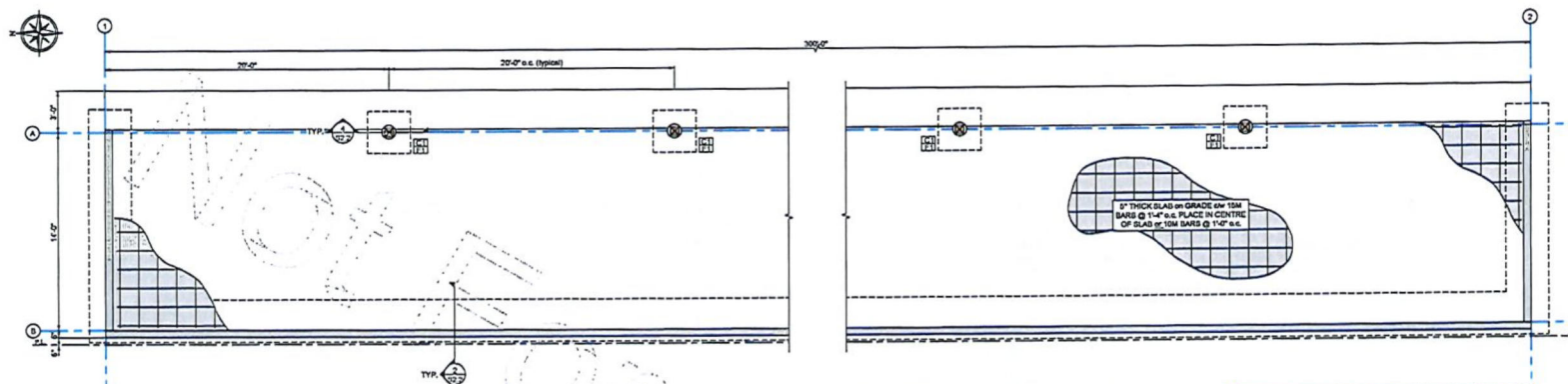
2400 10th Avenue,  
SW Salmon Area, B.C.

DRAWING:  
FOUNDATION PLAN  
& ROOF FRAMING PLAN

SCALE

FILE: 22-008  
DATE: January 21, 2022  
SCALE: AS NOTED  
DPT: C.A.  
DESIGN: Cole Dube, P. Eng.

SHEET NUMBER: S2.1  
REV: A

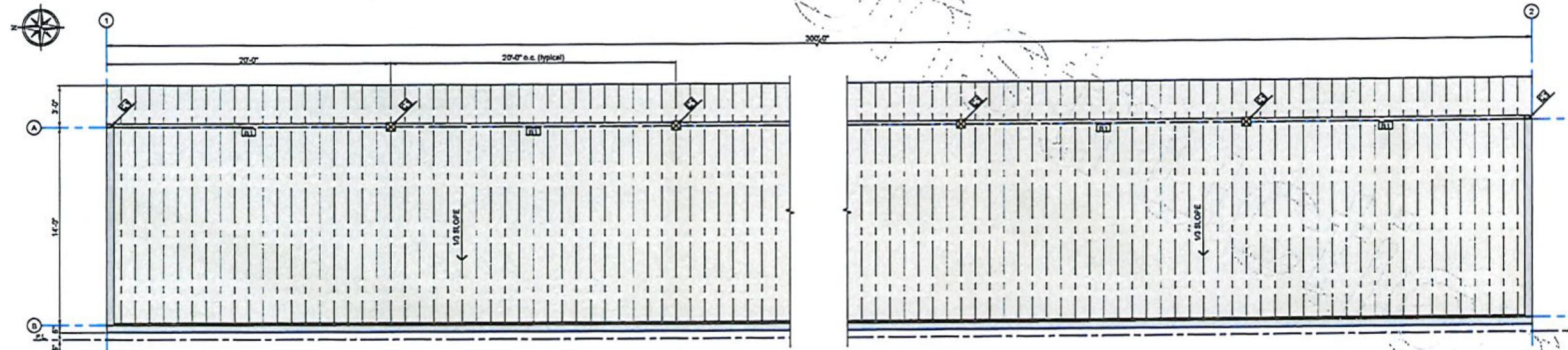


A FOUNDATION PLAN  
Scale: 1/4"=1'-0"

FOUNDATION FOOTINGS				
Label	Type	Footing Size		Reinforcing
		Length x Width x Depth	Top Mat	Bottom Mat
F1	Ptd	3'-0" x 2'-0" x 4'-0"	N/A	(4) 10M @ W
Notes:				
1	Place 2" clear of bottom footing face (Gravel)			
2	Place 2" clear of top and/or sides faces of footing			

**GEOTECHNICAL / FOUNDATION NOTES:**

1. GROUND SEAL: AS PER GEOTECHNICAL
2. BACKFILL: AS PER GEOTECHNICAL
3. FOOTING PLACEMENT: SEE STRUCTURAL DRAWINGS
4. BEARING CAPACITY: 2000 psf

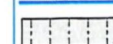


B ROOF FRAMING PLAN  
Scale: 1/4"=1'-0"

COLUMNS		
Label	Material	Material Grade
C1	8x8 Timber	D-FIR No. 1/2

SCAMS		
Label	Material	Material Grade
B1	(3) 1X6x10" LVL	2.0E, 2000 Fy
Beams to be installed Flush - U.N.G.		

**FRAMING LEGEND / NOTES:**



ROOF CONSTRUCTION:  
- 3x10 RAFTERS @ 16" o.c. @ 1'-0" o.c.  
- 2x4 STRAPPING @ 1'-0" o.c.  
- 7" THICK PLYWOOD SHEATHING

NOTE

Revisions	By	Date	Description
1	2022-03-21	2022-03-21	Issue for Review
2			
3			
4			
5			
6			
7			
8			
9			
10			

## PROJECT

RONA STORAGE SHED

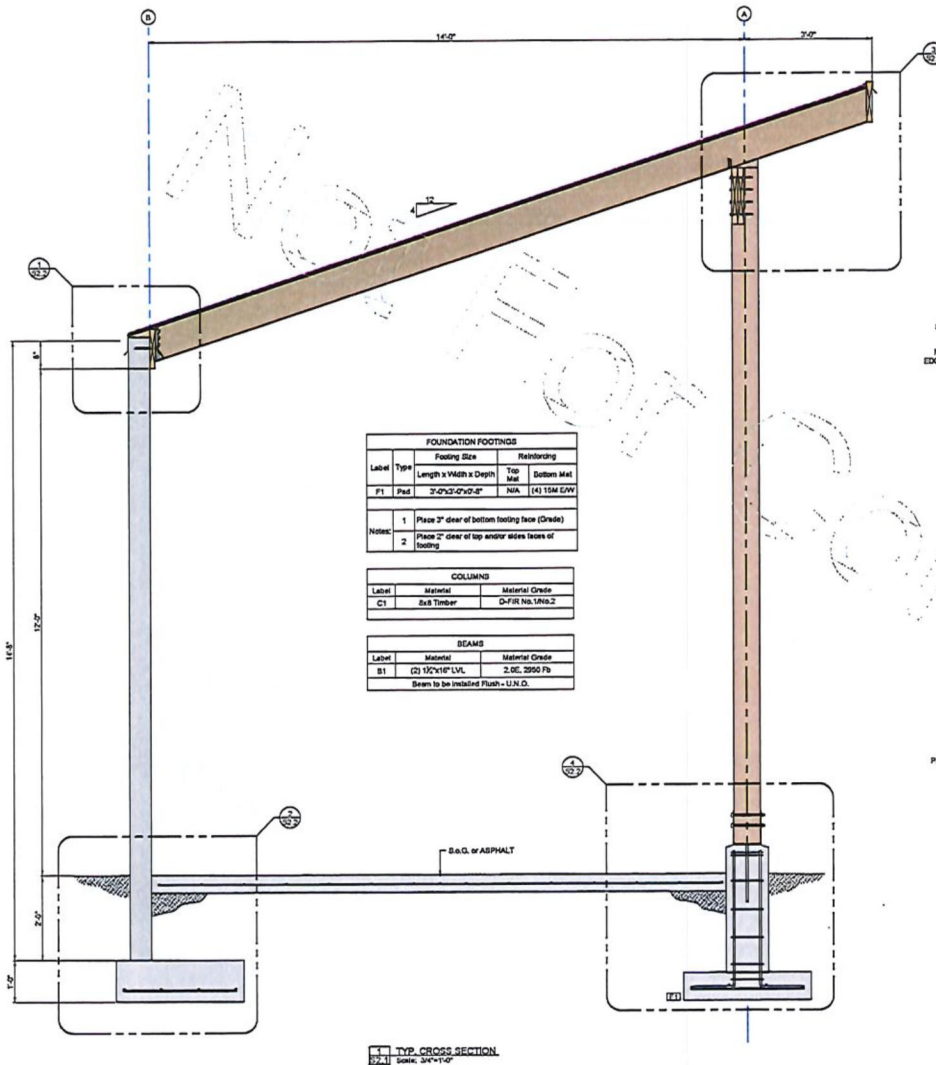
2430 10th AVENUE,  
SUN SALMON ARM, B.C.

## DRAWING

TYP. CROSS SECTION,  
TYP. FOUNDATION &  
FRAMING DETAILS

SEAL

 FILE 23-009  
 DATE January 21, 2022  
 SCALE AS NOTED  
 DRFT. C.N.  
 DESIGN Cole Dube, P. Eng.

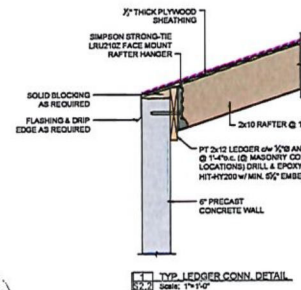
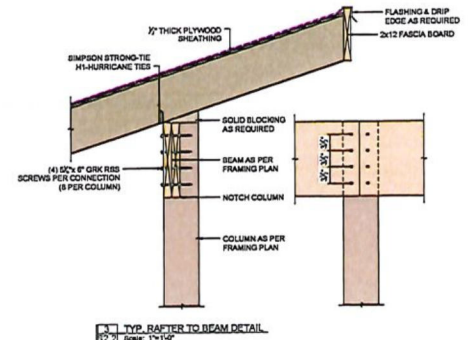
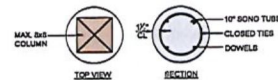
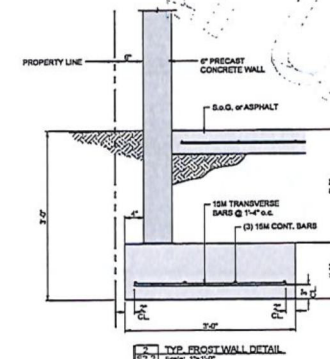
 SHEET NUMBER  
**S2.2**
REV  
**A**

FOUNDATION FOOTINGS			
Label	Type	Feeding Size	Reinforcing
F1	Pad	Length x Width x Depth	Top Mat Bottom Mat
		3'-0" x 3'-0" x 4'-0"	N/A (4) 10M EW

NOTES			
1	Place 2" clear of bottom footing face (Grade)		
2	Place 2" clear of top and/or sides faces of footing		

COLUMNS			
Label	Material	Material Grade	
C1	8x8 Timber	D-FIR No.1/Nb.2	

BEAMS			
Label	Material	Material Grade	
B1	(2) 1/2"x10" U/L	2.0C, 2000 Fb	
Beam to be installed Flush - U.N.D.			

 1-1 TYP. CROSS SECTION  
 Scale: 3/4"=1'-0"

 1-1 TYP. LEDGER CONN. DETAIL  
 Scale: 1"=1'-0"

 2-2 TYP. RAFTER TO BEAM DETAIL  
 Scale: 1"=1'-0"

 3-3 TYP. COLUMN IN END CONN.  
 Scale: 1"=1'-0"

 4-4 TYP. PRECAST WALL DETAIL  
 Scale: 1"=1'-0"





THIS PAGE INTENTIONALLY LEFT BLANK

**CITY OF SALMON ARM**  
**NOTICE OF PUBLIC HEARING**

P165

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on **Monday, March 14 at 7:00 p.m.**

1) **Proposed Amendment to Zoning Bylaw No 2303:**

**Proposed Rezoning** of Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP57693 from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone).

**Civic Address:** 2790 20 Avenue NE

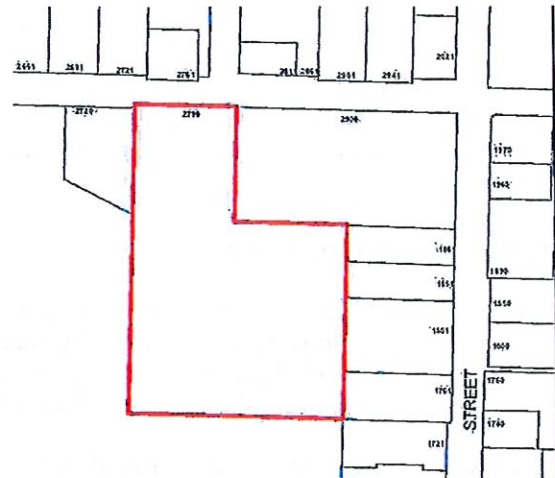
**Location:** West of 30 Street NE on the South side of 20 Avenue NE

**Present Use:** Single Family Dwelling

**Proposed Use:** to facilitate future Medium Density Residential Development

**Owner / Agent:** K. Angove/Franklin Engineering Ltd.

**Reference:** ZON-1229/ Bylaw No. 4493



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from March 1 to March 14, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person, with limited capacity, and virtually. In person attendance will be on a first come first serve basis and are subject to adherence with the Provincial Health Orders. If you wish to attend electronically email [cityhall@salmonarm.ca](mailto:cityhall@salmonarm.ca).

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services

March 2 and March 9






---

To: His Worship Mayor Harrison and Members of Council

Date: February 22, 2022

Subject: Zoning Bylaw Amendment Application No. 1229

Legal: Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726, Except Plan KAP57693

Civic: 2790 20 Avenue NE

Owner: Angove, K.

Applicant/Agent: Franklin Engineering Ltd.

---

### STAFF RECOMMENDATION

**THAT:** A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726, Except Plan KAP57693 from R1 (Single-Family Residential Zone) to R4 (Medium Density Residential Zone);

**AND THAT:** Final Reading of the Zoning Amendment Bylaw be withheld subject to Ministry of Transportation and Infrastructure approval.

---

### BACKGROUND

The subject parcel is located at 2790 20 Avenue NE, just north/east of Salmon Arm Secondary School (Sullivan Campus) and west of the Deo Lutheran Church (Appendix 1 and 2). The subject parcel is designated Medium Density Residential in the City's Official Community Plan (OCP) and zoned R1 (Single-Family Residential) in the Zoning Bylaw (Appendix 3 and 4). This area is generally residential and institutional, with a mix of zones, predominantly Single Family Residential (R1) and Institutional (P3), with some additional residential and agricultural zoned parcels also in the vicinity.

The subject parcel is approximately 5.16 acres in area/size, has a somewhat irregular shape, and currently contains one single family dwelling and one accessory building/structure (i.e. a garage with a carport). Site photos are attached, as Appendix 5.

Land uses adjacent to the subject parcel include the following:

North:	Single family residential uses	Zoned R1
South:	Institutional use	Zoned P3
East:	Single family residential and Institutional uses	Zoned R1 and P3
West:	Institutional and Single family residential uses	Zoned P3 and R1

The proposal is to rezone the subject parcel to R4 (Medium Density Residential) to facilitate future medium density residential development. Because it is not required at this rezoning stage, a site concept has not yet been provided, and staff note that further details, including professional designs and subsequent analysis, will eventually be required to demonstrate feasibility and compliance with the applicable regulations.

### OCP POLICY

The subject parcel is designated Medium Density Residential in the OCP, which supports R4 zoning and is within Residential Development Area A, the highest priority area for development. The proposed density aligns well with OCP Policy 4.4.3, which encourages all growth to be sensitively integrated with

neighbouring land uses. Furthermore, the proposed zoning aligns with the Urban Residential Objectives of Section 8.2 and Urban Residential Policies listed in Section 8.3, including but not limited to providing a variety of housing types, providing housing options, and supporting compact communities. In terms of siting, the proposal appears to match with OCP Siting Policies under Section 8.3.19, including good access to transportation routes, recreation, community services, and utility servicing.

#### COMMENTS

##### Fire Department

No concerns.

##### FortisBC

No issue with zoning amendment.

##### Building Department

No concerns. Future construction must meet all applicable BCBC code requirements.

##### Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

##### Engineering Department

Comments attached (Appendix 7).

##### Planning Department

The surrounding neighbourhood is characterized by predominately older housing. The subject parcel is located in an area well-suited for higher density residential development, being within reasonable walking distance to many commercial highway businesses (such as Askew's Foods and Salmon Arm Savings and Credit Union), schools including Salmon Arm Secondary and Bastion Elementary, facilities including the SASCU Recreation Centre, and transportation/transit routes.

The maximum residential density permitted under R4 (Medium Density) zoning is 16.2 dwelling units per acre of land. As the existing lot is approximately 5.16 acres in area, the maximum permitted density under R4 would be roughly 83.6 (83) dwelling units assuming: 1) some form of strata development; 2) the present gross area of the subject parcel, and; 3) no density bonus. It is yet unknown if the eventual housing developments will consist entirely of rental units or not. However, if this is the case, the owner/applicant would then be eligible/qualify for the added density bonus of 2.0 units per acre for the provision of affordable rental dwelling units, provided the owner/applicant registered a rental Covenant on Title. This could then hypothetically increase the maximum permitted density under R4 to 93 dwelling units. The R4 Zoning regulations are attached, as Appendix 8.

Staff note that if rezoned to R4, a number of residential development scenarios could present themselves, including single-family, duplex, triplex, and multi-family residential development scenarios, potentially involving subdivision or stratification. A multi-family development would require a Development Permit application, and such an application would be expected to address the form and character of the multi-family building designs and detail the proposed development concept, including a site plan, landscape plan, and building elevations. Frontage and servicing improvements as per the Subdivision and Servicing Bylaw will also be required at time of development/Building Permit stage.

CONCLUSION

The proposed R4 zoning of the subject property is supported by OCP policy and is therefore supported by staff.



Prepared by: Evan Chorlton  
Planner I

Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



Subject Property Map

APPENDIX 1  
P 169

N.E.

24 STREET N.E.

STREET

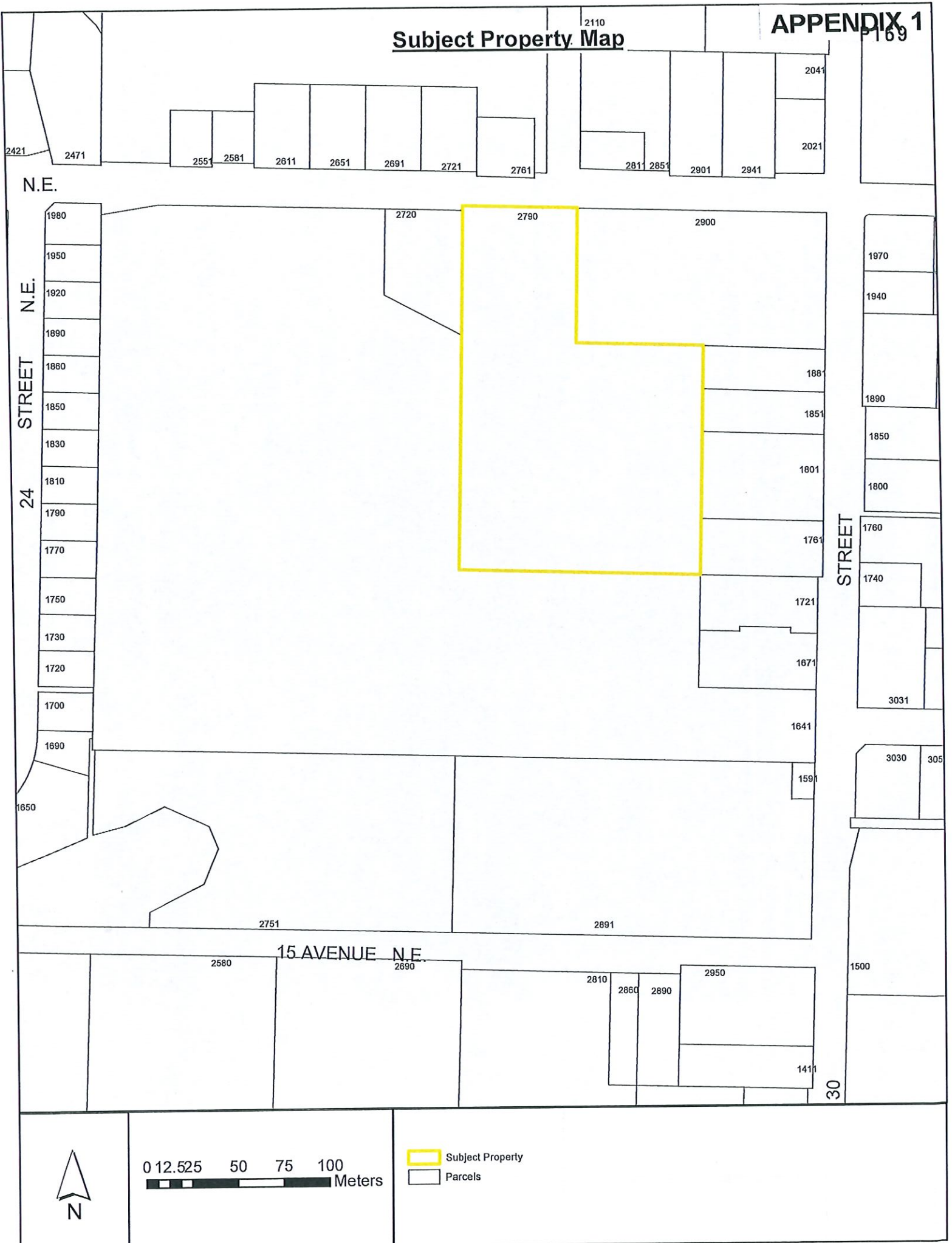
30

15 AVENUE N.E.



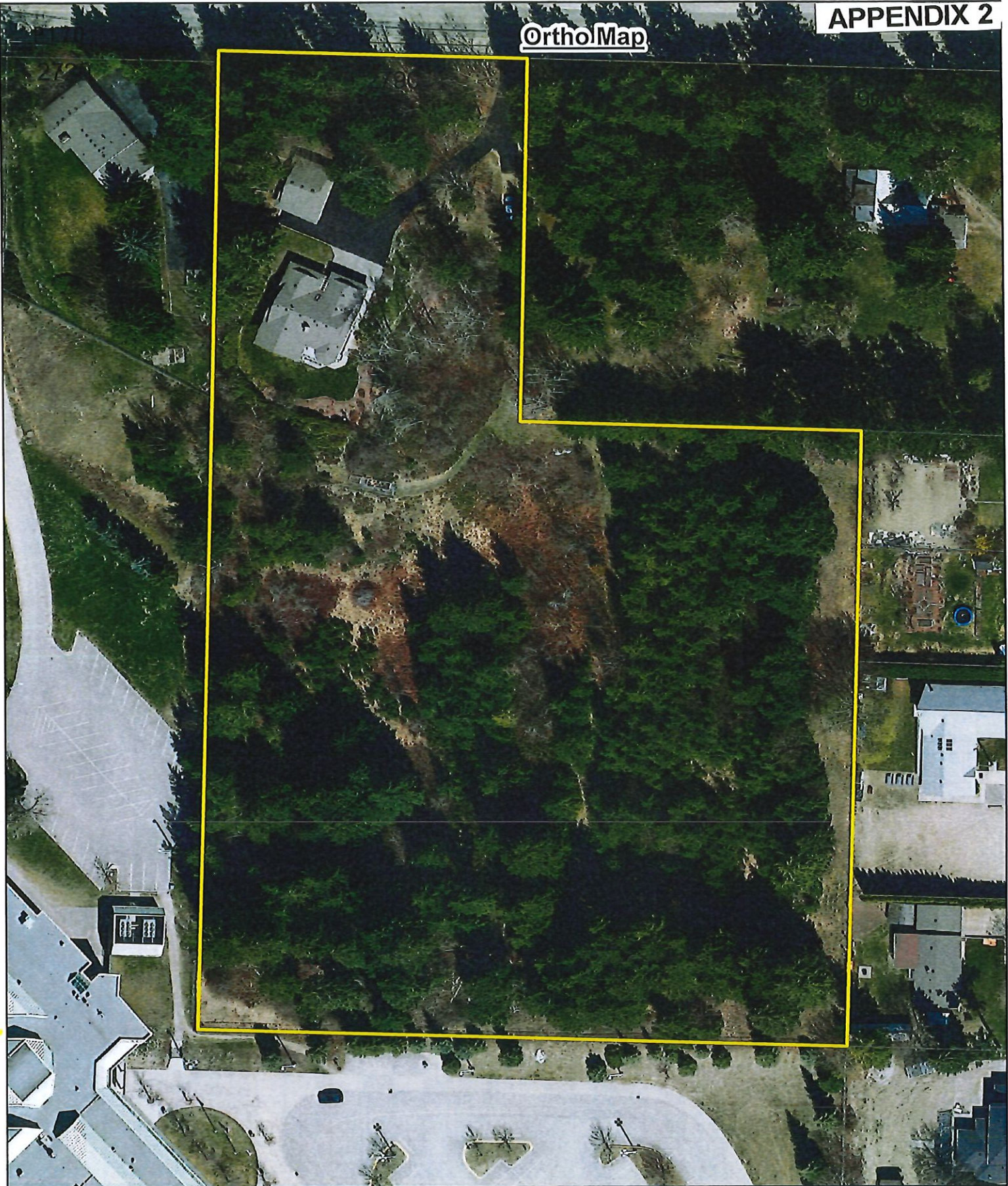
0 12.525 50 75 100 Meters

 Subject Property  
 Parcels





OrthoMap



0 5 10 20 30 40 Meters

 Subject Property  
 Parcels



OrthoMap

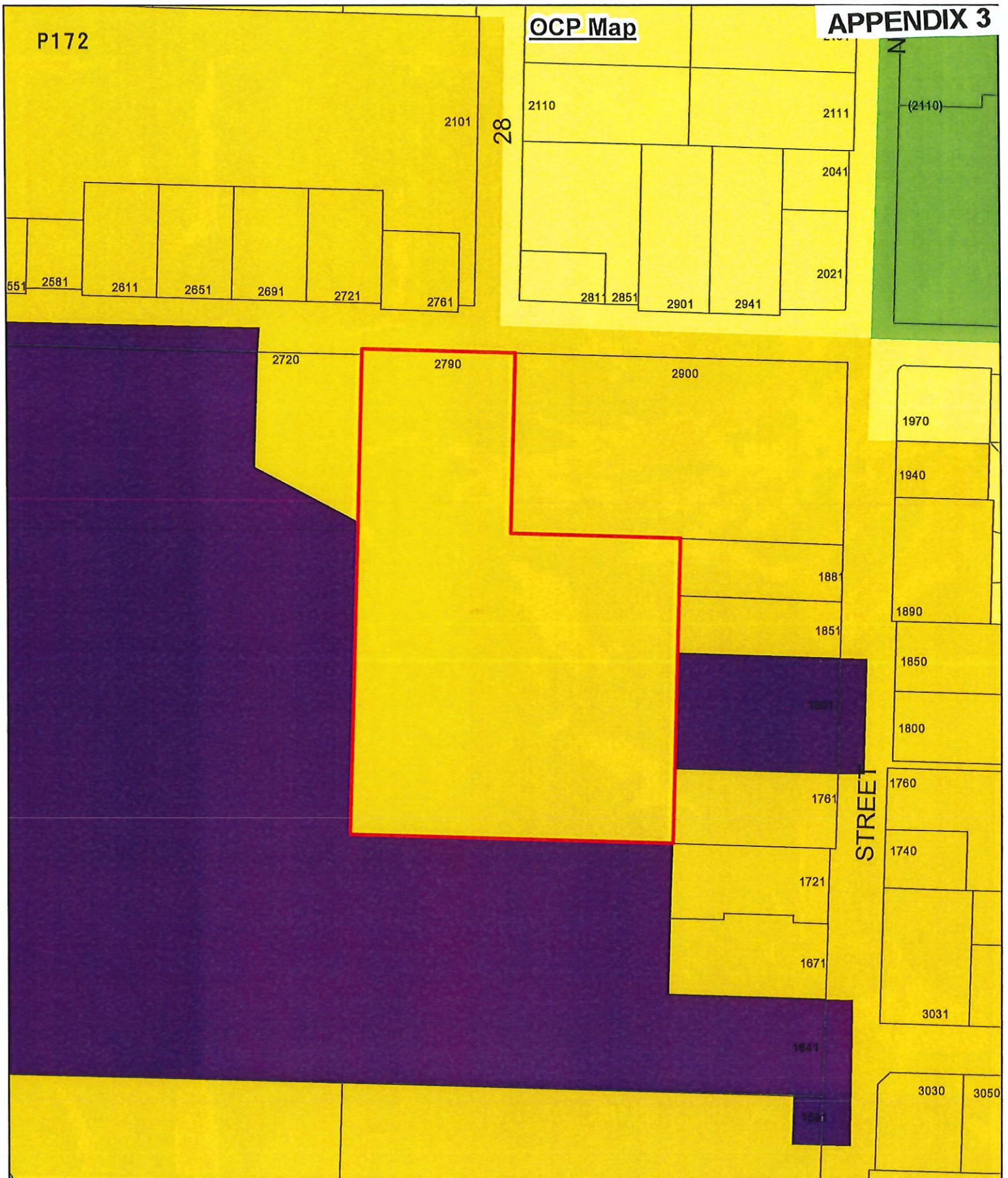
2720

2720

9605







0 10 20 40 60 80 Meters

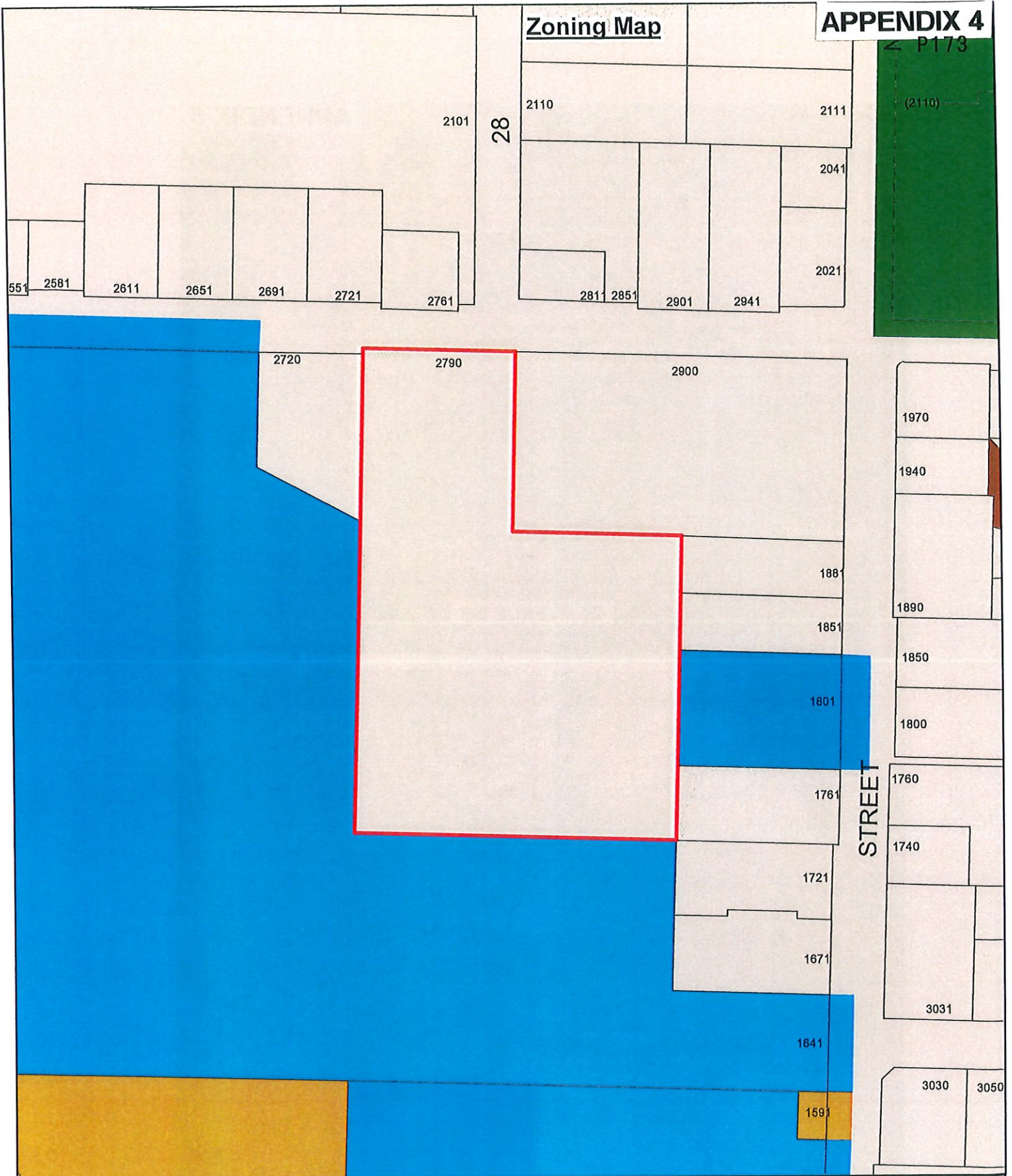
- Subject Property
- Parcels
- Neighbourhood Park
- Acreage Reserve
- Park
- Institutional
- Residential - Low Density
- Residential - Medium Density



# Zoning Map

## APPENDIX 4

< P173



0 10 20 40 60 80 Meters

Subject Property

Parcels

A-2

P-3

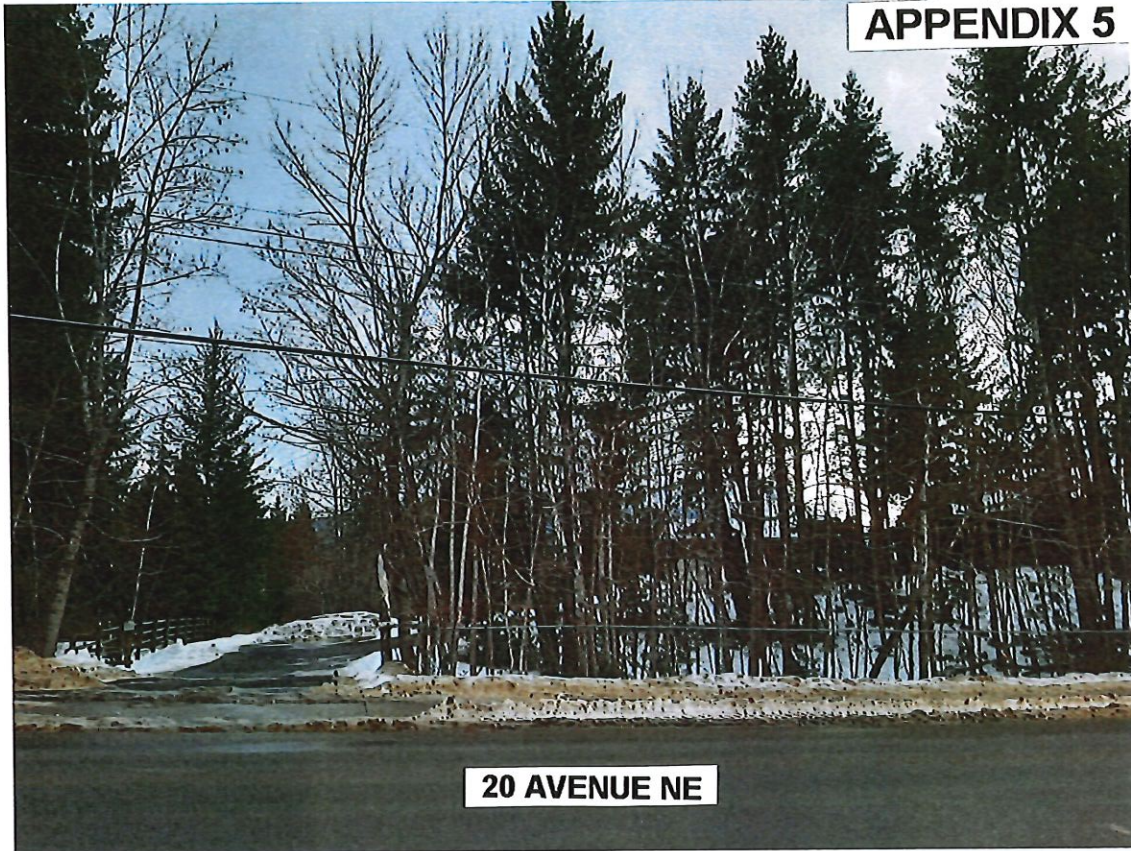
R-1

R-4

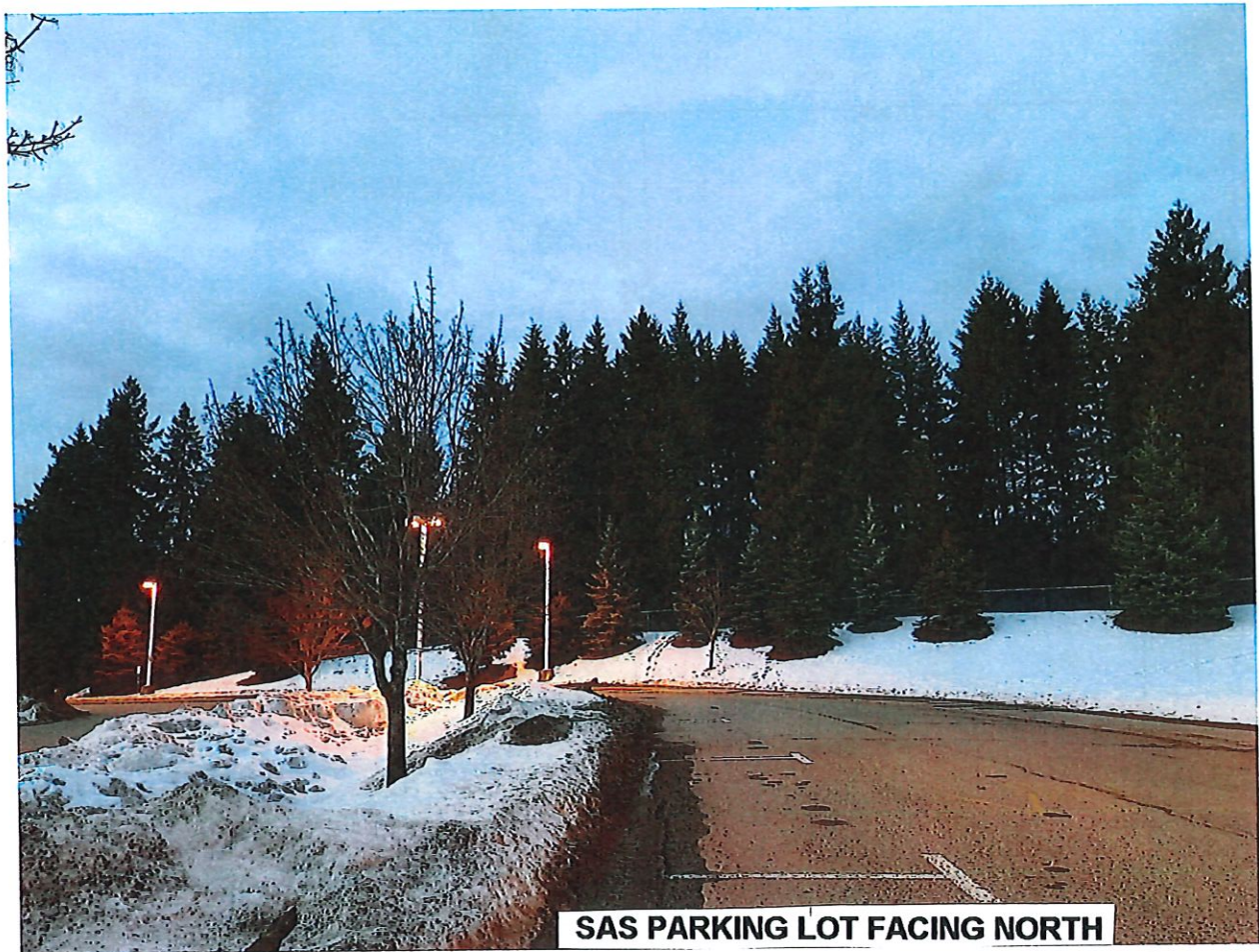
R-8



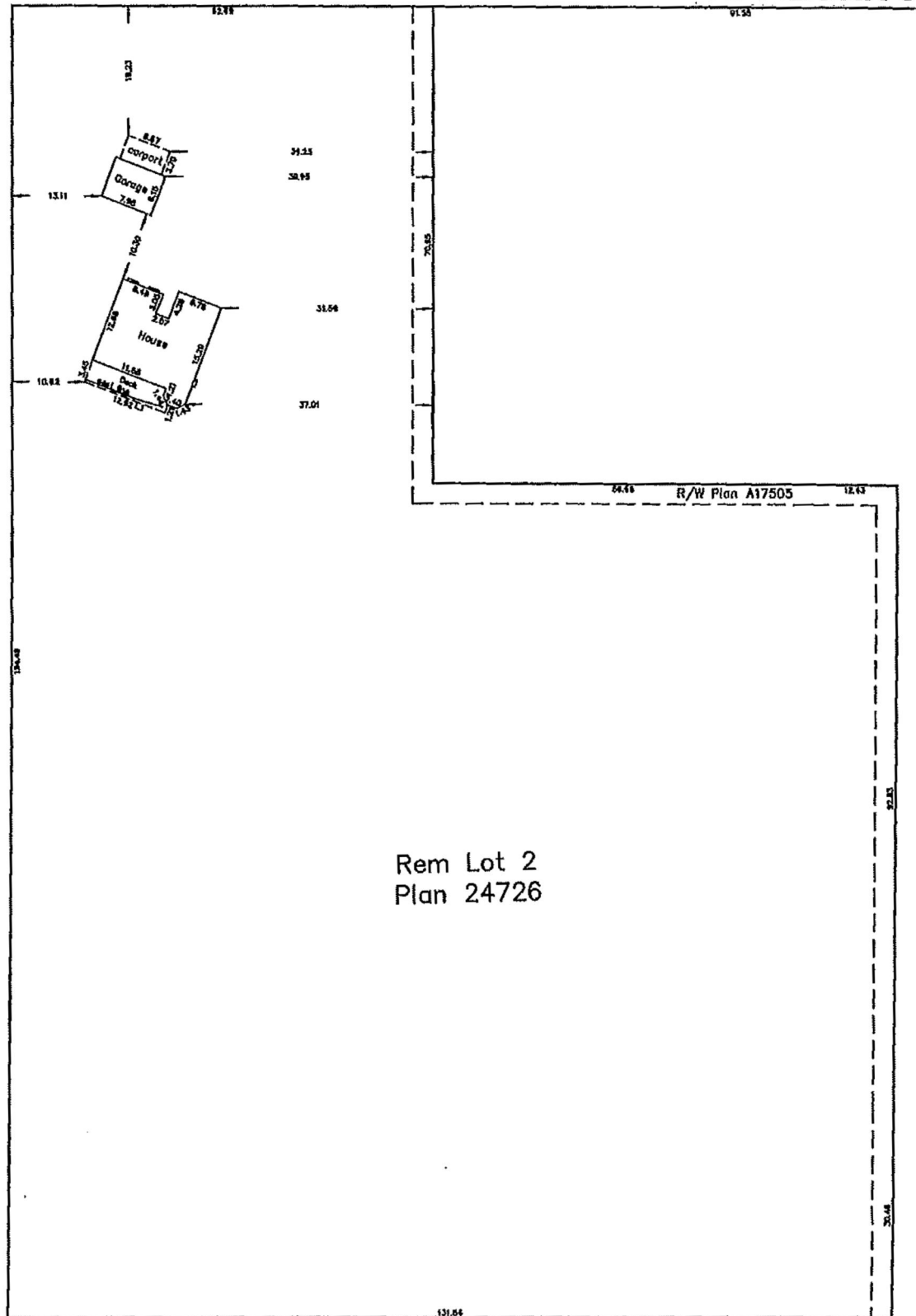
**APPENDIX 5**



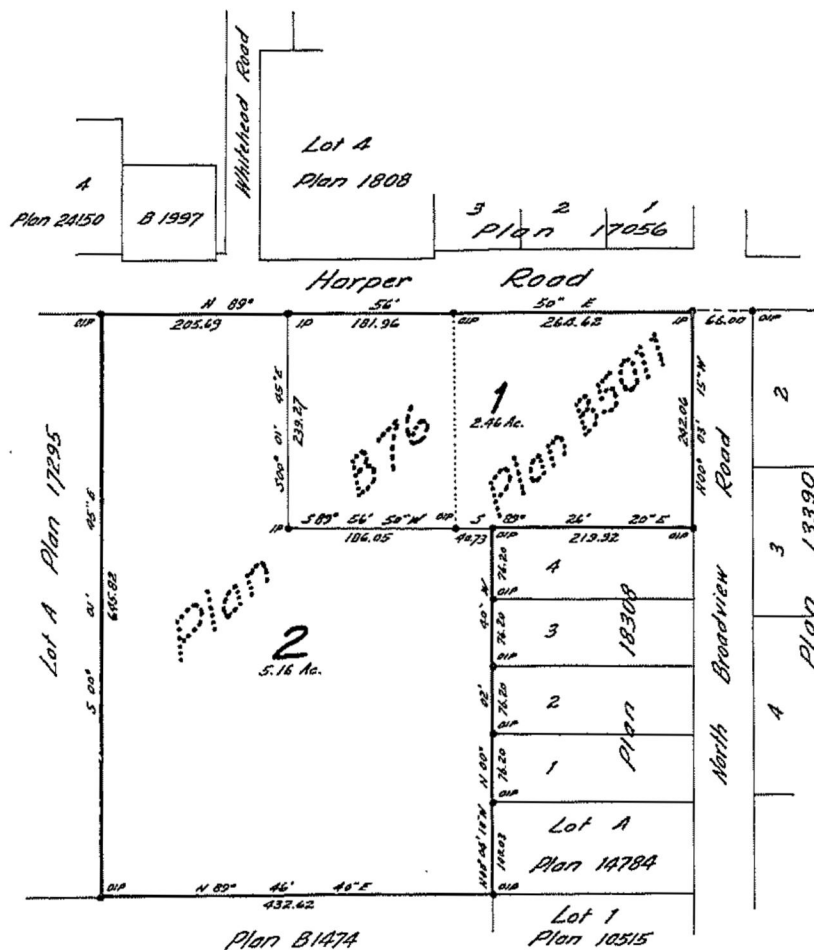




## APPENDIX 6



Plan of Subdivision of that Part of the  
South East 1/4 of Section 24 as shown on  
Plan B76 (Except Plans B5011, 14784 & 18308)  
and Plan B5011 Being Part of that Part of  
the South East 1/4 of Section 24 as shown on  
Plan B76. Township 20, Range 10, W6M. K.D.Y.D.  
Scale: 1 inch = 100 feet.



No. 24726

DEPOSITED IN THE LAND REGISTRY OFFICE AT Kamloops, B.C. THIS 11<sup>TH</sup> DAY OF JANUARY, 1974

*[Signature]*  
REGISTER

THIS SPACE FOR LAND REGISTRY OFFICE USE ONLY

LEGEND

BEARINGS ARE ASTROMONIC AND ARE DERIVED FROM Plan 17295.

• O.P. DENOTES OLD IRON POST FOUND

• I.P. DENOTES IRON POST SET

APPROVAL

APPROVED UNDER THE LAND REGISTRY ACT THIS 11<sup>TH</sup> DAY OF Nov. 1973.

*[Signature]*  
APPROVING OFFICER FOR THE  
District of Salmon Arm.

THIS PLAN LIES WITHIN Columbia Shuswap REGIONAL DISTRICT

WITNESS

OWNER

*[Signature]* *[Signature]*  
David Louis Meloni

*[Signature]* *[Signature]*  
Henry George Stolare

SALMON ARM SAVINGS AND CREDIT UNION

*[Signature]* TREASURER

*[Signature]* SECRET

I, Melville Browne, of the District of  
Salmon Arm, BRITISH COLUMBIA LAND SURVEYOR, MAKE OATH AND  
SAY THAT I WAS PRESENT AT AND DID PERSONALLY SUPERINTEND THE SURVEY  
REPRESENTED BY THIS PLAN, AND THAT THE SURVEY AND PLAN ARE CORRECT. THE  
SAID SURVEY WAS COMPLETED ON THE 20<sup>TH</sup> DAY OF November,  
1973.

SWORN BEFORE ME THIS 22<sup>ND</sup> DAY OF November, 1973.

*[Signature]*  
K. COMMISSIONER FOR TAKING  
AFFIDAVITS FOR BRITISH COLUMBIA

M.D. BROWNE  
B.C. LAND SURVEYOR  
Salmon Arm, B.C.  
#224-23 15, R.I.A. 3.31





*Memorandum from the  
Engineering and Public  
Works Department*

## **APPENDIX 7**

---

TO:	Kevin Pearson, Director of Development Services
DATE:	27 January 2022
PREPARED BY:	Mustafa Zakreet, Engineering Assistant
APPLICANT:	<b>K.Angove/ Franklin Engineering Ltd</b>
SUBJECT:	<b>SUBDIVISION APPLICATION NO. 22-03</b>
LEGAL:	Lot 2, Section 24 Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP 57693
CIVIC:	<b>2790-20 Ave NE</b>

---

Further to your referral dated January 27, 2022, we provide the following servicing information. The following comments and servicing requirements are not conditions for Rezoning but are required as a condition of subdivision or development:

### **General:**

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of subdivision the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

Page 2

- 
9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.
  10. For the off-site improvements at the time of subdivision, the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of subdivision approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

**Roads / Access:**

1. 20 Ave NE, on the subject property's Northern boundary, is designated as Collector Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS)
2. 20 Ave NE is currently constructed to an Interim Collector Road standard. Upgrading to an Urban Collector Road standard is required, in accordance with Specification Drawing No. RD-3. Upgrading may include, but is not limited to, road widening and construction, curb & gutter, sidewalk, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Three-phase electric power is permitted to remain as overhead. Poles may require relocation to allow for any required infrastructure. Owner / Developer is responsible for all associated costs.
3. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
4. A 5.0m by 5.0m corner cut is required to be dedicated at the intersection of any proposed City owned road and 20 Ave NE
5. As 20 Ave NE is designated as a Collector Road, accesses shall be designed by keeping to a minimum number. Only one (1) driveway access will be permitted onto 20 Ave NE and a reciprocal access agreement will be required to service lots. All unused driveways shall be removed. Owner / Developer responsible for all associated costs.
6. The maximum allowable cul-de-sac or T-Turn around length in the urban areas is 160 meters. This measurement shall be measured along centerline from the centre of the first intersection having access from two alternate routes to the center of the cul-de-sac or T-Turn around. Where the maximum cul-de-sac or T-Turn around length is exceeded a secondary emergency access shall be provided. Emergency accesses are to be constructed in conformance with Policy 3.11 (Emergency Accesses).
7. Permanent dead-end roads shall be terminated in a cul-de-sac in accordance with Specification Drawing No. RD-11. Temporary dead-end roads internal to the subdivision may be terminated with a paved temporary T-turn around in accordance with Specification Drawing

**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

Page 3

---

No. RD-13. Temporary dead-end roads at the limits of the subject property shall be terminated with temporary cul-de-sacs in accordance with Specification Drawing No. RD-11a (attached).

8. A retaining wall currently existing along the edge of sidewalk. Grading of any future subdivision/development should make every effort to eliminate the retaining wall. It is also noted that the retaining wall is not located on property line and may require relocating to allow room for required infrastructure within the boulevard.

**Water:**

1. The subject property fronts a 200 mm diameter Zone 2 watermain on 20 Ave NE and a 300 mm diameter Zone 2 water main along the eastern property boundary. No upgrades will be required at this time; however, the right of way on the eastern boundary shall be widened to 6.0 m width.
2. The existing lot is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10) adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a service of unknown size from the 200mm diameter watermain on 20 Ave NE. Due to the size and / or age of the existing service, upgrading to a new metered service (minimum 25mm) will be required. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. The proposed parcels are to be serviced each by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use (minimum 25mm). Water meter will be supplied by the City at the time of building permit, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.
7. Fire hydrant installation will be required. Owners consulting Engineer shall review the site to ensure placement of fire hydrants meet the appropriate density spacing requirements.



**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

Page 4

---

**Sanitary:**

1. The subject property fronts a 200 mm diameter sanitary sewer on 20 Ave NE. No upgrades will be required at this time.
2. The remainder and proposed parcel(s) are each to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
3. A right of way exists over the school district property to the west which will enable a future gravity connection to the city sanitary sewer from any proposed development.
4. Sanitary main is to be extended to front the properties on the eastern side of the proposed development up to (1801 south corner), this would follow the existing watermain right-of-way. The bylaw requires the water main right-of-way to be widened to 7m.
5. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016).
6. Records indicate that the existing property is serviced by an unknown size service from the sanitary sewer on 20 Ave NE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**Drainage:**

1. The subject property fronts a 675 mm diameter storm sewer on 20 Ave NE. No upgrades will be required at this time.
2. Records indicate that the existing property is currently not serviced from the city storm sewer.
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

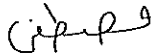
Page 5

---

6. A right of way exists over the School District property to the west, in favor of the subject property, which will enable a future gravity connection to the City storm sewer from any proposed development.

**Geotechnical:**

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), is required.



---

**Mustafa Zakreet**  
Engineering Assistant



---

**Jerri Wilson P.Eng., LEED ® AP**  
City Engineer

## APPENDIX 8

Purpose

- 9.1 The purpose of the R-4 Zone is to provide for medium *density*, *multiple family* and small lot *single family* residential developments. New *multiple family* developments zoned R-4 shall be required to obtain a *Development Permit* as per the requirements of the *Official Community Plan*, and shall comply with the provisions of the **Fire Services Act**, **British Columbia Building Code**, and other applicable legislation. #289, #3740

Regulations

- 9.2 On a *parcel zoned R-4*, no *building or structure* shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations set out in the *R-4 Zone* or those regulations contained elsewhere in this Bylaw.

Permitted Uses

- 9.3 The following uses and no others are permitted in the R-4 Zone:

- .1 *assisted living housing*; #4336
- .2 *bed and breakfast in a single family dwelling*, limited to two let rooms;
- .3 *boarders*, limited to two;
- .4 *boarding home*; #2789
- .5 *commercial daycare facility*;
- .6 *dining area*; #4336
- .7 *duplexes*;
- .8 *family childcare facility*; #3082
- .9 *group childcare*; #3082
- .10 *home occupation*; #2782
- .11 *multiple family dwellings*;
- .12 *public use*;
- .13 *public utility*;
- .14 *single family dwelling*;
- .15 *triplexes*;
- .16 *accessory use*.

Maximum Height of Principal Buildings

- 9.4 The maximum *height* of a *principal buildings* shall be 10.0 metres (32.8 feet). This may be increased to 13.0 metres (42.7 ft.), via the Development Permit process, if any of the special amenity(ies) in Table 2 are provided.

Maximum Height of Accessory Buildings

- 9.5 The maximum *height* of an *accessory building* shall be 6.0 metres (19.7 feet).

Maximum Parcel Coverage

- 9.6 The total maximum *parcel coverage* for *principal* and *accessory buildings* shall be 55% of the *parcel area*, of which 10% shall be the maximum parcel coverage for *accessory buildings*. #2811

Minimum Parcel Area

- 9.7
- .1 The minimum *parcel area* for a *single family dwelling* shall be 300.0 square metres (3,229.3 square feet).
  - .2 The minimum *parcel area* for a *duplex* shall be 600.0 square metres (6,458.6 square feet).
  - .3 The minimum *parcel area* for all other uses shall be 900.0 square metres (9,687.8 square feet).



## P184 SECTION 9 - R-4 - MEDIUM DENSITY RESIDENTIAL ZONE - CONTINUED

### Minimum Parcel Width

9.8

- .1 The minimum *parcel width* shall be 30.0 metres (98.5 feet). #3740
- .2 Notwithstanding Section 9.8.1, the minimum *parcel width* for a *single family* lot shall be 10.0 metres (32.8 feet).
- .3 Notwithstanding Section 9.8.1, the minimum *parcel width* for a stacked *duplex* lot shall be 14.0 metres (45.9 feet).
- .4 Notwithstanding Section 9.8.1, the minimum *parcel width* for a side-by-side *duplex* lot shall be 20.0 metres (65.6 feet)).

### Minimum Setback of Principal Buildings

9.9 The minimum *setback* of *principal buildings* from the:

- .1 *Front parcel line*
  - adjacent to a *highway* shall be 5.0 metres (16.4 feet)
  - adjacent to an *access route* shall be 2.0 metres ( 6.6 feet)
- .2 *Rear parcel line*
  - adjacent to a *parcel zoned*  
R-4 shall be 3.0 metres ( 9.8 feet)
  - all other cases shall be 5.0 metres (16.4 feet)
- .3 *Interior side parcel line*
  - adjacent to a *parcel zoned*  
R-4 shall be 1.2 metres ( 3.9 feet) #3475
  - all other cases shall be 1.8 metres ( 5.9 feet)
- .4 *Exterior side parcel line*
  - adjacent to a *highway* shall be 5.0 metres (16.4 feet)
  - adjacent to an *access route* shall be 2.0 metres ( 6.6 feet)
- .5 Minimum separation between residential *buildings* on the same lot of not more than one storey in height shall be 1.5 metres ( 4.9 feet)
- .6 Minimum separation between residential *buildings* on the same lot of more than one storey in height shall be 3.0 metres ( 9.8 feet)
- .7 Notwithstanding Sections 9.9.2 and 9.9.3, a *principal building* on a corner *parcel* may be sited not less than 1.5 metres (4.9 feet) from the *rear parcel line* provided the combined total of the *rear* and *interior side yards* shall be not less than 6.0 metres (19.7 feet).
- .8 Refer to Section 4.9 for "Special Building Setbacks" which may apply. #2811

### Minimum Setback of Accessory Buildings

9.10 The minimum *setback* of accessory *buildings* from the:

- .1 *Front parcel line* shall be 5.0 metres (16.4 feet)
- .2 *Rear parcel line* shall be 1.0 metre ( 3.3 feet)
- .3 *Interior side parcel line* shall be 0.6 metre ( 1.9 feet)
- .4 *Exterior side parcel line* shall be 5.0 metres (16.4 feet)

Refer to "Pound and Animal Control Bylaw" for special setbacks which may apply. #2811

**Maximum Density**

Note: The following *density* provisions are based on the *gross parcel area*. Parking requirements, *setback* requirements, road dedication, etc. have not been taken into consideration.

9.11

- .1 The maximum *density* shall be a total of 40 *dwelling units* or *sleeping units* per hectare (16.2 *dwelling units* or *sleeping units* per acre). #2789
- .2 Notwithstanding Section 9.11.1, the maximum *density* in the R-4 Zone may be increased to a maximum of 50 *dwelling units* per hectare (20.2 units per acre) in accordance with Table 2. In Table 2, Column I sets out the special amenity to be provided and Column II sets out the added *density* assigned for the provision of each amenity.
- .3 Notwithstanding Section 9.11.1, the maximum *density* in the R-4 Zone may be increased to a maximum of 50 *dwelling units* per hectare (20.2 units per acre) for the provision of *Assisted Living Housing*. #4336

TABLE 2

COLUMN I SPECIAL AMENITY TO BE PROVIDED	COLUMN II ADDED DENSITY
1. Provision of each dwelling unit which caters to the disabled (e.g. wheelchair access)	□ 2 units per hectare (0.8 units per acre)
2. Provision of <i>commercial daycare facility</i> 7 - 10 children 11 - 15 children 16 or more children	□ 3 units per hectare (1.2 units per acre) □ 4 units per hectare (1.6 units per acre) □ 7 units per hectare (2.8 units per acre)
3. Provision of below <i>grade</i> or parkade type parking for at least 50% of the required off street parking	□ 10 units per hectare (4.0 units per acre)
4. Provision of each rental <i>welling unit</i>	□ 2 units per hectare (0.8 units per acre)
5. Provision of affordable rental <i>dwelling units</i> in accordance with special agreement under Section 904 #3218	□ 5 units per hectare (2.0 units per acre)

**Maximum Floor Area Ratio**

9.12 The maximum *floor area ratio* of a *single family dwelling* shall be 0.65.

**Parking**

9.13 Parking shall be required as per Appendix I.

THIS PAGE INTENTIONALLY LEFT BLANK



**CITY OF SALMON ARM**  
**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, March 14 at 7:00 p.m.

1) **Proposed Amendment to Zoning Bylaw No 2303:**

**Proposed Rezoning** of Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

**Civic Address:** 6840 46 Street NE

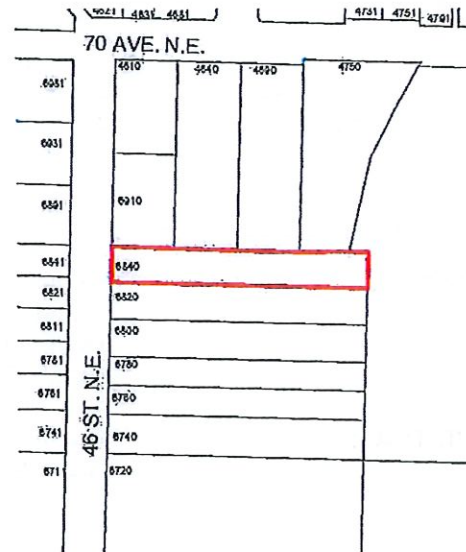
**Location:** South of 70 Avenue NE on the East Side of 46 Street NE

**Present Use:** Single Family Dwelling

**Proposed Use:** Single Family Dwelling with Suite

**Owner / Agent:** M. Whalley

**Reference:** ZON-1230/ Bylaw No. 4494



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from March 1 to March 14, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person, with limited capacity, and virtually. In person attendance will be on a first come first serve basis and are subject to adherence with the Provincial Health Orders. If you wish to attend electronically email [cityhall@salmonarm.ca](mailto:cityhall@salmonarm.ca).

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services

March 2 and March 9



To: His Worship Mayor Harrison and Members of Council

Date: February 10, 2022

Subject: Zoning Bylaw Amendment Application No. 1230

Legal: Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597  
 Civic Address: 6840 46 Street NE  
 Owner/Applicant: B. & M. Whalley

### **STAFF RECOMMENDATION**

**THAT:** a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

**AND THAT:** final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

### **PROPOSAL**

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) in order to permit the development of a secondary suite within the single family dwelling currently under construction.

### **BACKGROUND**

The subject property is located in the new Turtle Ridge subdivision in the Canoe neighbourhood (Appendix 1 & 2). The parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North: single family dwellings	Zoned R1
South: vacant lot	Zoned R1
East: city park (John Lund Park)	Zoned P1
West: vacant lots	Zoned R1 and R8

The subject property is approximately 0.219 ha in area/size. An approximate 3,106ft<sup>2</sup> (including the garage) single family dwelling is currently being constructed. The proposed basement suite is 426ft<sup>2</sup>. The plans show that the entrance to the proposed suite will be on the south side of the building. Drawings provided in support of the rezoning application are attached as Appendix 5. Parking is to be provided onsite in both the garage and driveway.

The site contains a Statutory Right of Way along the east side of the property (adjacent to and associated with John Lund Park). The registered owner of the Right of Way is the City of Salmon Arm, and the SRW is in place for the operation and maintenance of the undertakings of the City. The development will not impact this Right of Way area. To date, there is currently one other property in this subdivision also in the process of rezoning from R1 to R8 (6821 46 Street NE) and approximately ten (10) other R8 properties within the greater Canoe community. Site photos are attached, as Appendix 6.

There is also a Riparian Areas Covenant on title stipulating a "Streamside Protection and Enhancement Area" from the pond along the eastern portion of the property.

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

#### COMMENTS

##### Fire Department

No concerns.

##### Shaw Cablesystems

Approve suite proposal. Interests are not affected.

##### Engineering Department

No concerns.

##### Building Department

No concerns. Building Permit is required. BCBC 2018 is also applicable.

##### Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

##### Planning Department

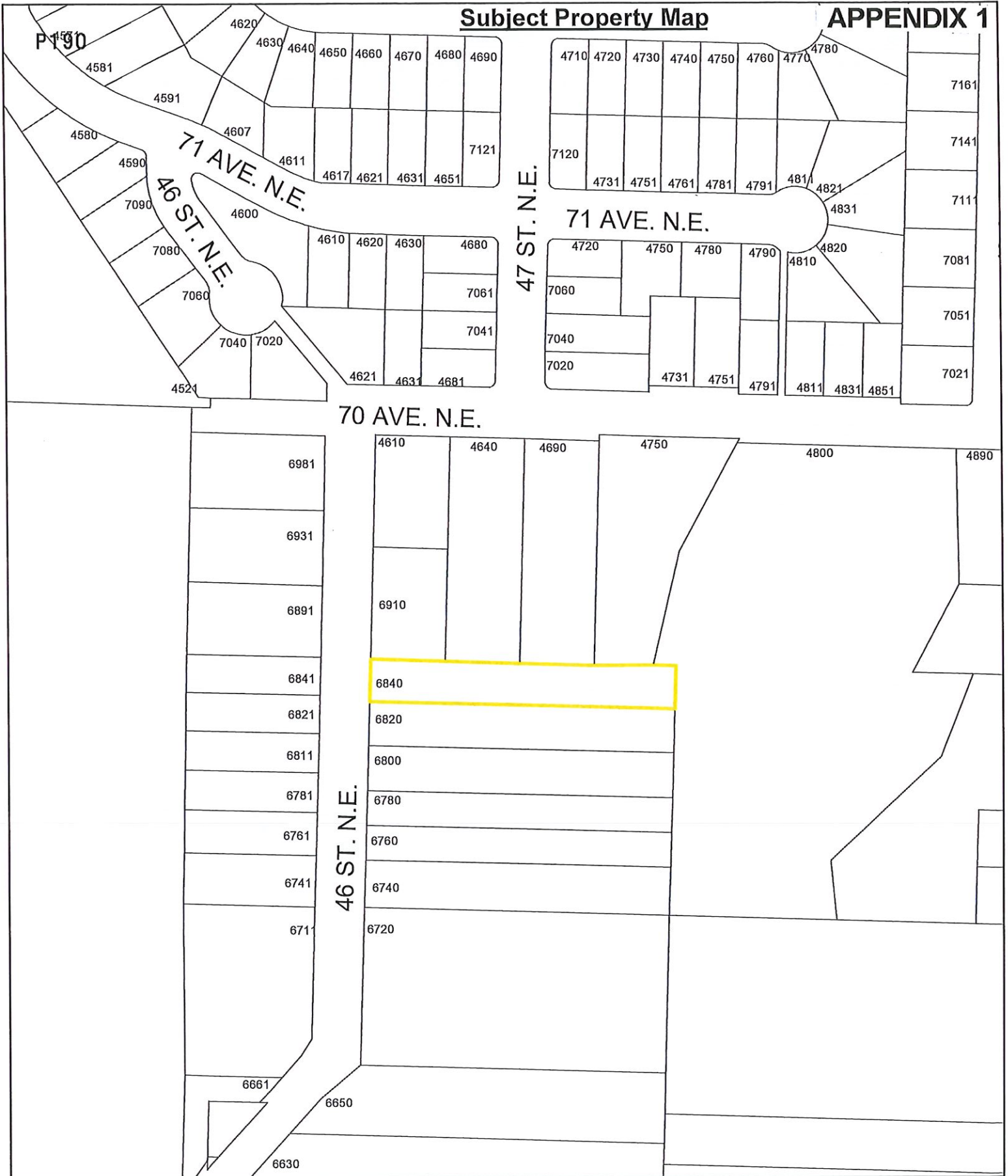
Based on parcel area, the subject property has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by OCP policy, and the proposed layout of the unit is compliant with zoning requirements, including an additional off-street parking space for the suite (on the proposed driveway). Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

  
Prepared by: Evan Chorlton  
Planner I  
Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



# Subject Property Map

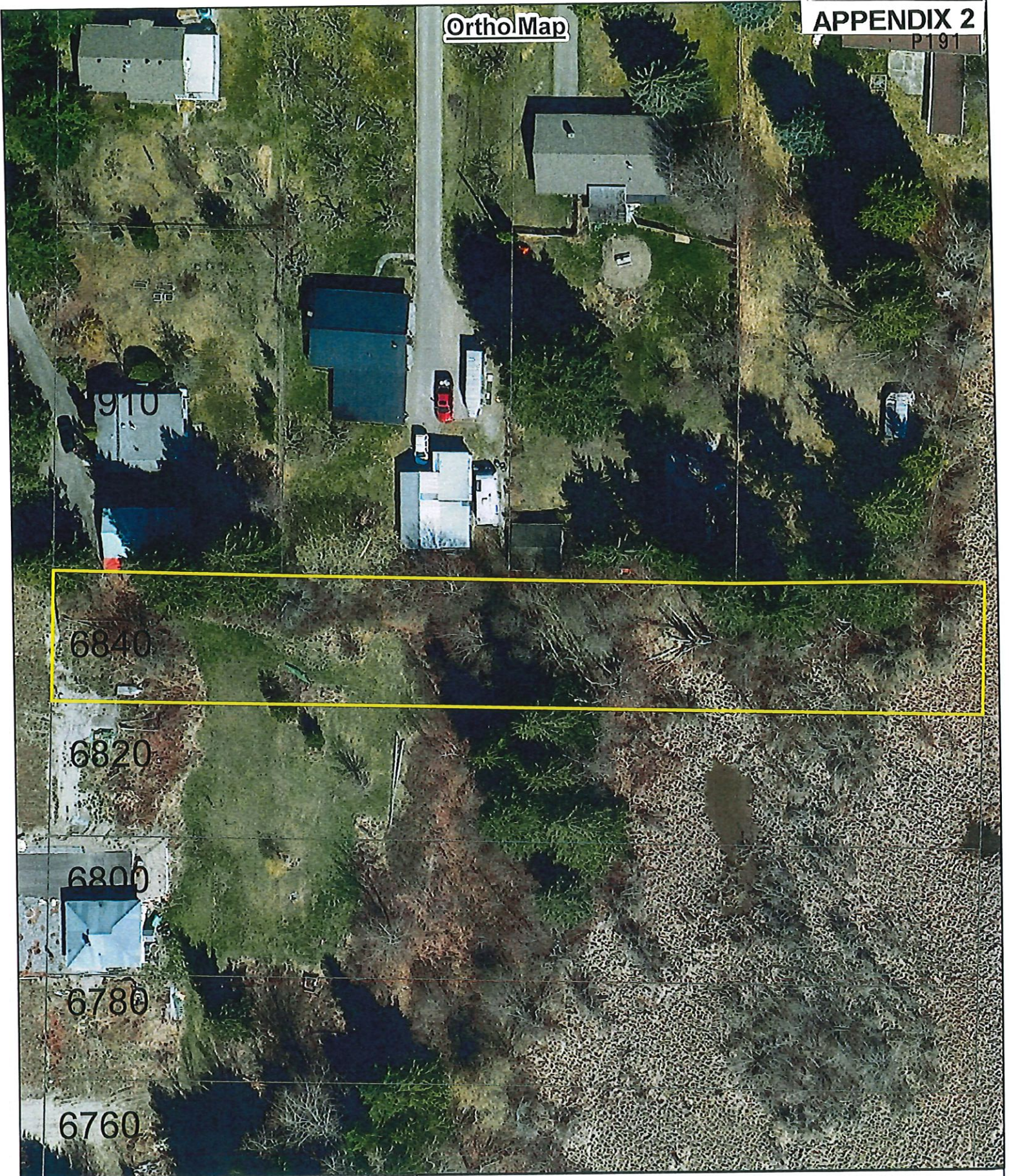
## APPENDIX 1



0 10 20 40 60 80 Meters

Subject Property  
 Parcels





6840

6820

6800

6780

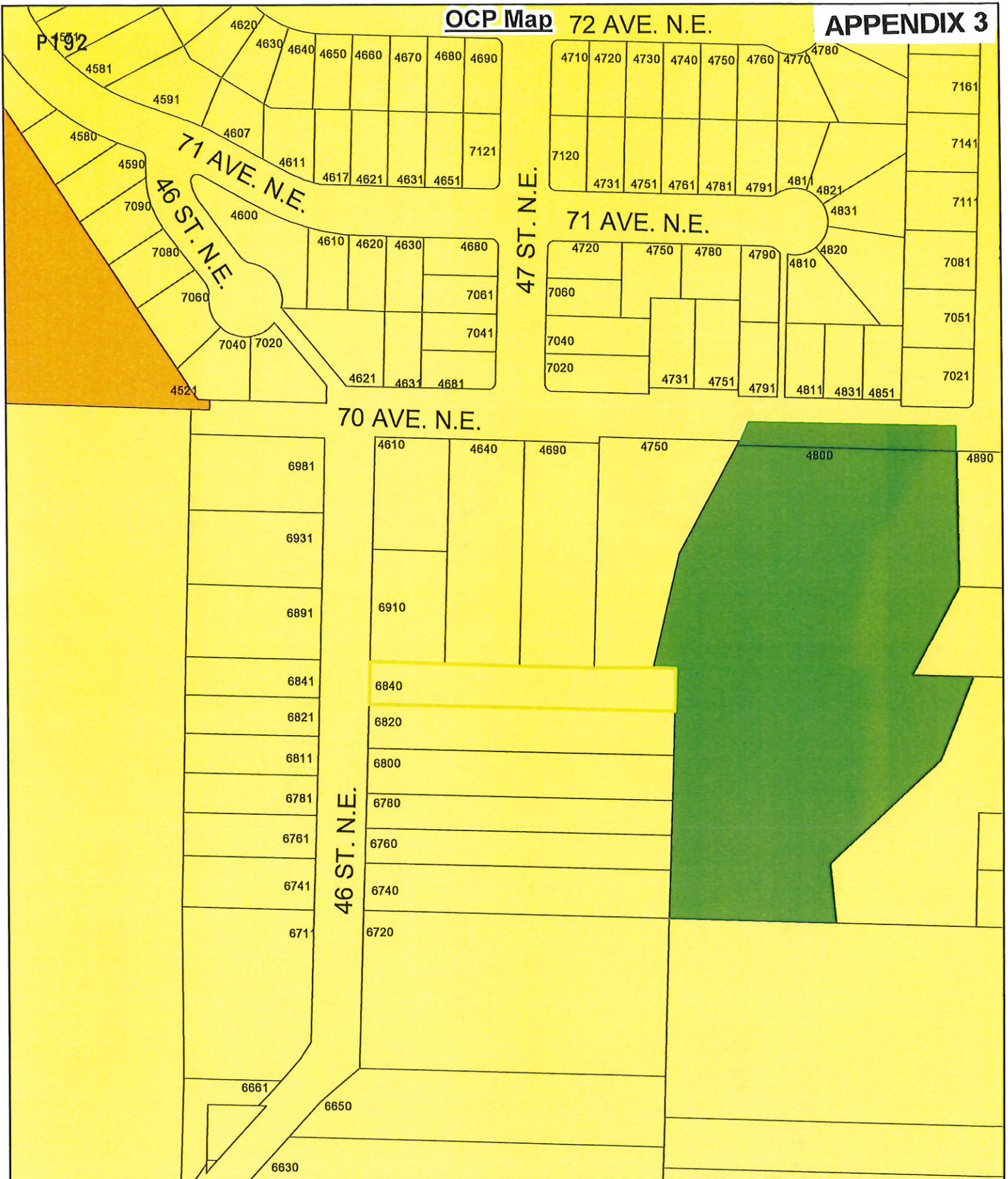
6760



0 3.2 6.5 13 19.5 26 Meters

 Subject Property  
 Parcels





0 10 20 40 60 80 Meters

Subject Property

Parcels

Community Park

Neighbourhood Park

Park

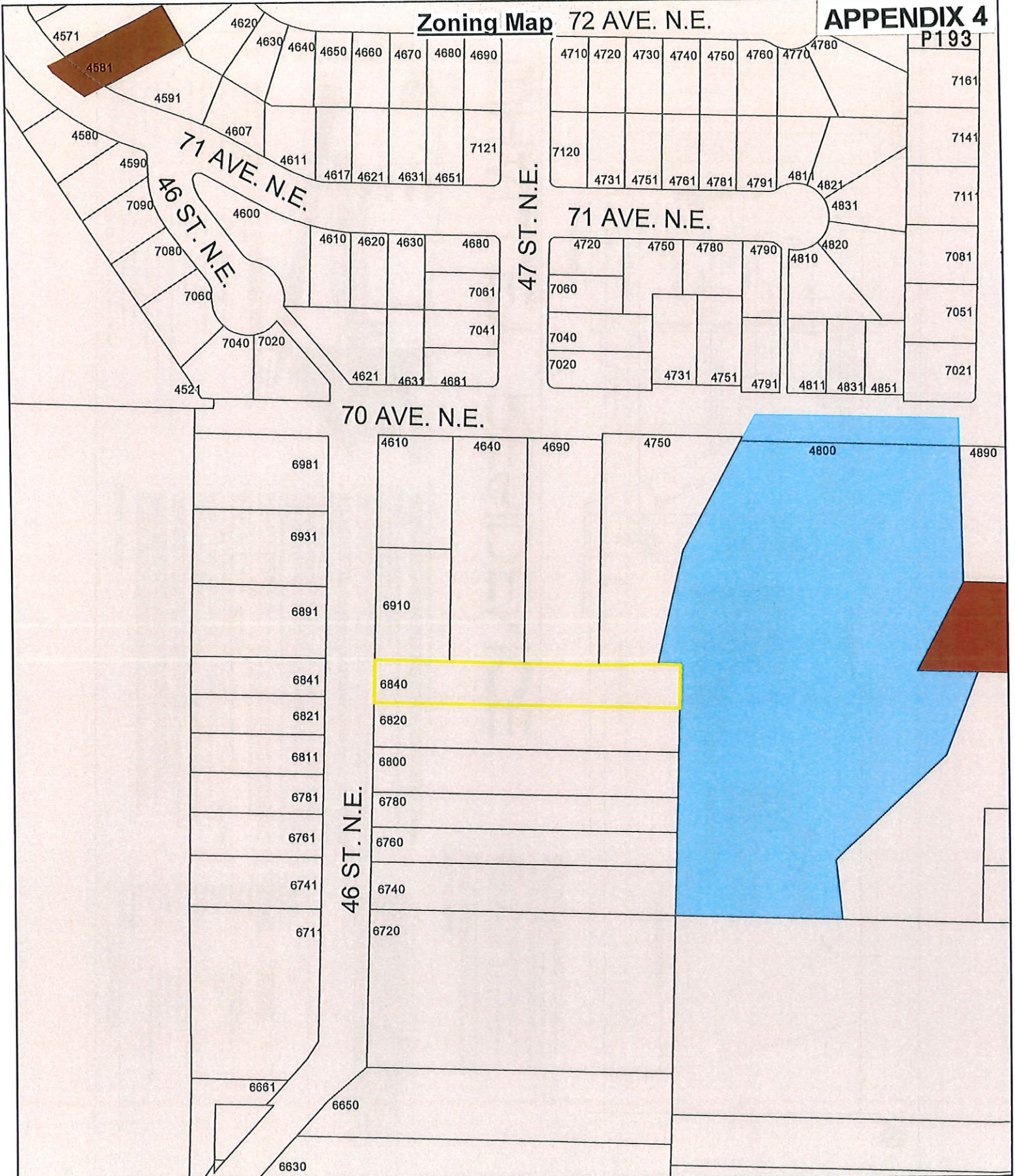
Residential - Low Density



# Zoning Map 72 AVE. N.E.

## APPENDIX 4

P193



0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- P-1
- R-1
- R-8

### LIST OF DRAWINGS

SHEET	DESCRIPTION
A1.0	COVER, SITE PLAN & NOTES
A2.0	FOUNDATION PLAN
A3.0	BASEMENT FLOOR PLAN
A4.0	MAIN FLOOR PLAN
A5.0	FRONT & LEFT ELEVATIONS
A6.0	REAR & RIGHT ELEVATIONS
A7.0	BUILDING CROSS SECTIONS 1/4" & 1/8"
A8.0	BUILDING CROSS SECTIONS T
A9.0	BUILDING CONSTRUCTION DETAIL 1
A10.0	BUILDING CONSTRUCTION DETAIL 2
A11.0	BUILDING ENVELOPE DETAILS 1
A12.0	BUILDING ENVELOPE DETAILS 2

### LEGEND

INDICATED ROOM NAME & NUMBER

INDICATED DOOR TYPE

INDICATED WINDOW TYPE

CLOUD & TAG, INDICATES CHANGE TO REVISION 1 NOTED IN TAG

DASH POINT - INDICATES ELEVATION FROM 0'-0" (FINISHED FLOOR)

SECTION MARKER

EXTERIOR ELEVATION MARKER

INTERIOR ELEVATION MARKER

### NOTES

- ALL EXTERIOR DIMENSIONS ARE MEASURED FROM FACE OF WALL
- ALL INTERIOR DIMENSIONS ARE MEASURED FROM FACE OF WALL
- ALL OVER HANG DIMENSIONS TO FACE OF PLUMBING

### GENERAL NOTES:

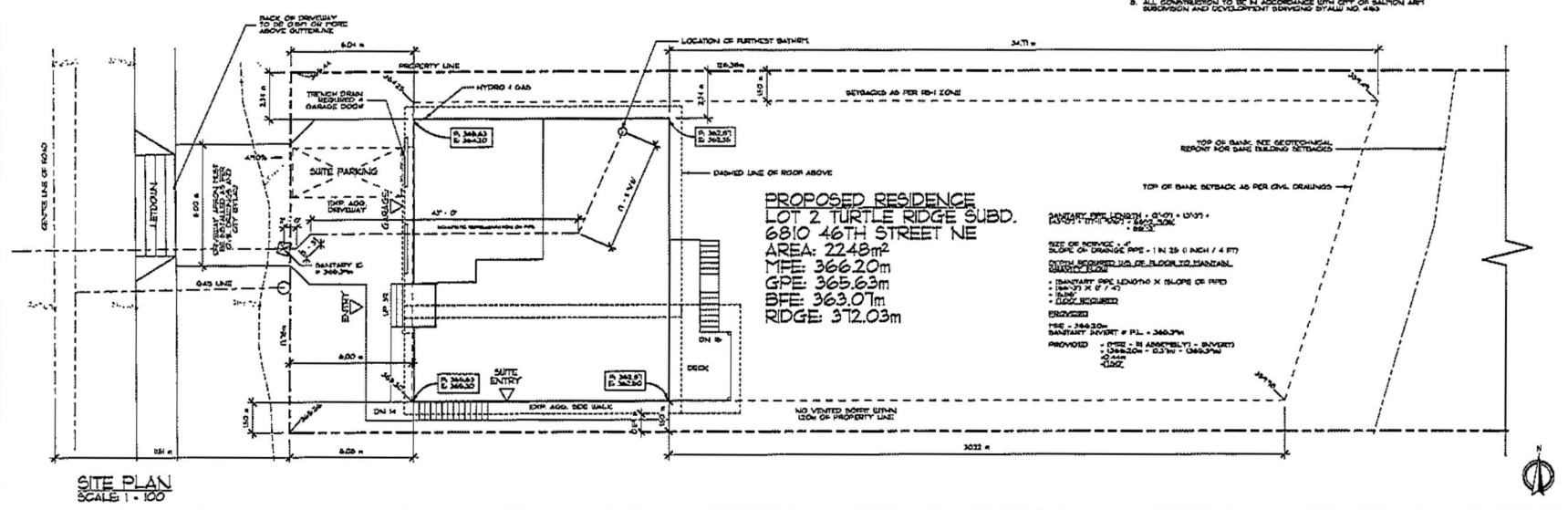
- ALL CONSTRUCTION SHALL BE CONDUCTED BY THE BUILDING CONTRACTOR/OWNER WITH THE LATEST EDITION OF THE RC BUILDING CODE AT THE DATE OF PERMIT ISSUANCE, AND ALSO CONFORM TO THE LOCAL GOVERNING CODES AND BYLAW OF THE CITY OF SALTION.
- THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS SHALL BE RESPONSIBLE TO REVIEW THE PLANS BEFORE ANY BUILDING MATERIALS ARE ORDERED AND ANY SITE WORK OR CONSTRUCTION BEGINS. ALL DIMENSIONS ON DRAWINGS ARE TO BE REPORTED TO ARC HOME DESIGN INC. IMMEDIATELY.
- THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECTS OR FOR ANY OTHER CONSTRUCTION ONLY IN A DISCREETION OF OWNER. THE BUILDING CONTRACTOR/OWNER IS TO CONTACT ARC HOME DESIGN INC. IMMEDIATELY FOR ANY CHANGES OR FOR ANY OTHER PROJECTS.
- THE BUILDING CONTRACTOR/OWNER IS TO SUPPLY ARC HOME DESIGN INC. WITH ANY AND ALL ENGINEERING DRAWINGS OR SHOP DRAWINGS FOR REVIEW OR SHOP DRAWINGS BY ARC HOME DESIGN INC. FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT.
- THE BUILDING CONTRACTOR/OWNER SHALL MAINTAIN AS-BUILT DRAWINGS FOR ANY CHANGES DURING CONSTRUCTION PROCESS.
- ALL CONCRETE IS TO BE PLACED ON A FIRM, SOLID GRADE WITH NO LOOSE OR MOIST MATERIAL.
- ALL MATERIAL SHALL BE NEW UNLESS NOTED OTHERWISE.
- BUILDING MATERIAL SUBSTITUTIONS SHALL HAVE EQUAL OR GREATER REQUIREMENTS THAN MATERIAL BEING REPLACED.
- A MEMBER OF TWO HOLE BRID SHALL BE INSTALLED LOCATION TO BE SUPPLIED BY THE BUILDING CONTRACTOR/OWNER.
- ALL EXTERIOR AND ENTRANCE DOORS SHALL HAVE DEADBOLT ASSEMBLY, AND SHALL BE SOLID BLOCKED TO RESIST BRICKWORK DURING FURIOUS ENTRY.
- ALL EXTERIOR AND ENTRANCE DOOR HINGES SHALL BE INSTALLED AS SUCH THAT THE DOOR CAN BE REMOVED FROM THE EXTERIOR.
- ALL INTERIOR LANDINGS, BALCONIES, AND OPENINGS AROUND STAIRWELLS SHALL HAVE GATES AND HANDRAILS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT BUILDING CODE REQUIREMENTS.
- UTILITY DRAINAGE UNITS, ELECTRICALLY CONNECTED SMOKE ALARMS SHALL BE INSTALLED ON EACH STORY INCLUDING THE BASEMENT. SMOKE ALARMS SHALL BE INSTALLED IN EACH BEDROOM/STUDYING AREA IN THE DWELLING UNIT.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ANY DWELLING UNIT CONTAINING FUEL BURNING APPLIANCES OR ATTACHED STOVES/HEATING UNITS. A SMOKE ALARM SHALL BE INSTALLED IN EACH BEDROOM/STUDYING AREA IN THE DWELLING UNIT.
- THE WALL SEPARATING A GARAGE AND DWELLING UNIT SHALL BE MADE FIRE PROOF, AND THE DOOR BETWEEN THE GARAGE AND THE DWELLING UNIT SHALL BE LEASTEN STRIPPED AND FITTING WITH A SELF CLOSING DEVICE THIS ALSO APPLIES TO BARRIAGE.
- DOOR SWEPTS LOCATED WITHIN 12" OF A PROPERTY LINE SHALL NOT CONTACT OR OBSTRUCT.
- VARIABLE DRAINAGE MUST BE 1/4" IN 12" UNLESS OTHERWISE NOTED. MUST BE CONTIGUOUS WHERE INTERIOR WALLS MEET EXTERIOR WALLS OR AT THE CORNERS, AND MUST BE INSTALLED TO THE CURRENT BUILDING CODE.
- PERMIT INSULATION VALUES SHALL CONFORM TO THE CURRENT BUILDING CODE.
- HOLE THROUGH VARIOUS BARRIERS SHALL BE SEALED.
- ALL TRENCHES ARE TO BE ENGINEERED, AND SPANS AND DETAILS WORKED BY THE TRENCH SUPPLIER PRIOR TO ANY INSTALLATION.
- ALL EXTERIOR AND INTERIOR WALLS SHALL CONFORM WITH THE LATEST MANUFACTURED INSULATION REGULATIONS FOR MANUFACTURED DWELLING UNITS. ALL EXTERIOR AND INTERIOR WALLS SHALL CONFORM TO THE LATEST MANUFACTURED DWELLING UNITS. ALL EXTERIOR AND INTERIOR WALLS SHALL CONFORM TO THE LATEST MANUFACTURED DWELLING UNITS.
- INTERIOR ROOM DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE ON SITE.

### ZONING ANALYSIS

PARAMETER	VALUE
LEGAL ADDRESS	3275 UNDER CREEK, WESTON NC 28689
RD	RD 1 - SINGLE FAMILY RESIDENTIAL ZONE
LOT SIZE / AREA	22,480 SQ. FT.
LOT DEPTH	170.00 FT.
LOT WIDTH	130.00 FT.
SETBACKS	FRONT: 30.00 FT. (MIN. 25.00 FT.) REAR: 30.00 FT. (MIN. 25.00 FT.) SIDE: 30.00 FT. (MIN. 25.00 FT.)
HEIGHT	10.00 FT. (MAX. 10.00 FT.)
PERMITTED	YES
PROPOSED	YES
REMARKS	THE PROPERTY IS IN THE SINGLE FAMILY RESIDENTIAL ZONE. THE PROPOSED RESIDENCE IS IN CONFORMANCE WITH THE ZONING REGULATIONS. THE PROPERTY IS IN THE SINGLE FAMILY RESIDENTIAL ZONE. THE PROPOSED RESIDENCE IS IN CONFORMANCE WITH THE ZONING REGULATIONS.

ARC HOME DESIGN INC. ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE DESIGN. A STRUCTURAL ENGINEER MAY BE REQUIRED AS PER LOCAL AUTHORITY HAVING JURISDICTION. IF NEEDED, PLEASE NOTIFY ARC HOME DESIGN BEFORE CONSTRUCTION IMMEDIATELY.

# WHALLEY RESIDENCE



**ARC HOME DESIGN INC.**

3275 UNDER CREEK, WESTON NC 28689  
 TEL: 604.413.1214  
 aeh@arcdesigninc.com

---

THIS DRAWING IS THE PROPERTY OF ARC HOME DESIGN INC. ANY PERSON WHOSE PRESENTATION OF THIS DRAWING SHALL BE CONSIDERED AS A REPRESENTATION OF ARC HOME DESIGN INC. ANY PERSON WHOSE PRESENTATION OF THIS DRAWING SHALL BE CONSIDERED AS A REPRESENTATION OF ARC HOME DESIGN INC.

---

THE DESIGNER ASSUMES NO LIABILITY FOR ANY TYPING OR CORRECTIONS IN THESE PLANS. IT IS THE RESPONSIBILITY OF THE BUILDING CONTRACTOR TO CORRECT AND VERIFY ALL DIMENSIONS, LEVELS & STRUCTURES PRIOR TO CONSTRUCTION.

---

NO.	DESCRIPTION	BY	DATE
1	ISSUED FOR PERMIT	J.C.V.	JANUARY 2021

---

**PROJECT:** WHALLEY RESIDENCE  
**CLIENT:** SALTION ART  
**DESIGNER:** TITLE  
**COVER, SITE PLAN & NOTES**

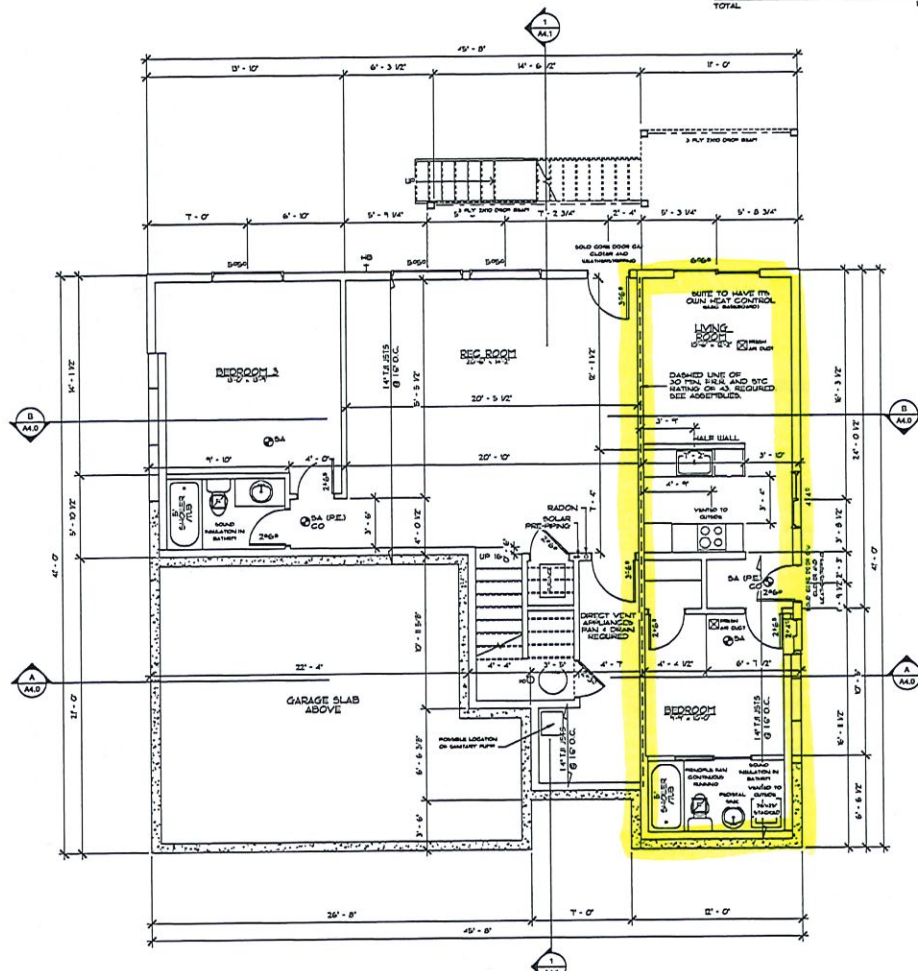
---

DATE	SCALE	DRAWN BY	CHECKED	PROJECT NUMBER	SHEET NO.
2021-04-06	As Indicated	GV	GV	P2106	A1.0



[illegible]

- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS.
- GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS.
- GLAZED GUARDRAILS TO BE CONSTRUCTED OR SAFETY GLASS.
- ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER B.E.G.B. SECTION "A-8A."
- ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER B.E.G.B. SECTION "A-9."
- REFER TO STRUCTURAL DRAWINGS PROVIDED BY ENGINEER FOR ALL STRUCTURAL REQUIREMENTS & NOTES.
- APPLICANTS TO INCLUDE INSULATION & WEATHERSTRIPPING, & SMALL CONCRETE TO BE USED.
- UNITS TO BE SUBMITTED TO B.E.G.B. SECTION "A-7."
- ALL BEDROOM/STAIRWAY AREAS TO PROVIDE UNOBSTRUCTED MEANS OF EGRESS TO THE EXTERIOR OR THE RESIDENCE TO THE EXTERIOR.
- ALL BEDROOM/FLEEP AREAS TO HAVE AN INTERCONNECTED SMOKE ALARM.
- ALL BEDROOMS TO HAVE AN INTERCONNECTED SMOKE ALARM & GASEOUS MONITORING (GAS) INSTALLED.
- ALL BEDFAM AND LINENS ARE TO BE 3'-0" UNO ON PLANS.



**BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

MAN FLOOR	28029 sq/L
GARAGE	508.04 sq/L
OPEN TO BELOW	6433 sq/L
<hr/>	
TOTAL (MAN FLOOR + GARAGE)	180297 sq/L
<hr/>	
BASEMENT	89181 sq/L
SUM	426097 sq/L
<hr/>	
TOTAL	117190 sq/L



ARC HOME DESIGN INC.

32719 UNGER COURT, MISSION BC, V4S 0B9  
Tel: 604.825.9247  
arcdesigninc@outlook.com

THIS DRAWING IS SOLELY THE PROPERTY OF AHC HOME DESIGN INC. ANY PERSON HAVING POSSESSION OF THIS DRAWING SHALL NOT: (a) COPY OR REPRODUCE IT BY ANY MEANS; (b) MODIFY OR AMEND ITS CONTENTS; OR (c) DELIVER OR DISTRIBUTE IT TO THE THIRD PARTY WITHOUT HAVING FIRST OBTAINED THE EXPRESS WRITTEN CONSENT OF AHC HOME DESIGN INC.

THE OWNER IS RESPONSIBLE TO COMPLY WITH THE  
CURRENT ADDITIONS OF THE CBC, CITY BYLAWS,  
AND REGULATIONS. DIMENSIONS WILL TAKE  
PRECEDENCE OVER SEALING.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE RESPONSIBILITY OF THE BUILDING OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, LEVELS, & STRUCTURE ASQUACIES PRIOR TO CONSTRUCTION.

NO.	DESCRIPTION	BY	DATE
1	RECEIVED FROM	DATE	DATE

1	ESD FOR BP	C.V.	APR-06-20
---	------------	------	-----------

PROJECT	WHALLEY RESIDENCE
	SALMON ARM
DRAWING TITLE	BASEMENT FLOOR PLAN

DATE: 303-04-06

SCALE:	As indicated
--------	--------------

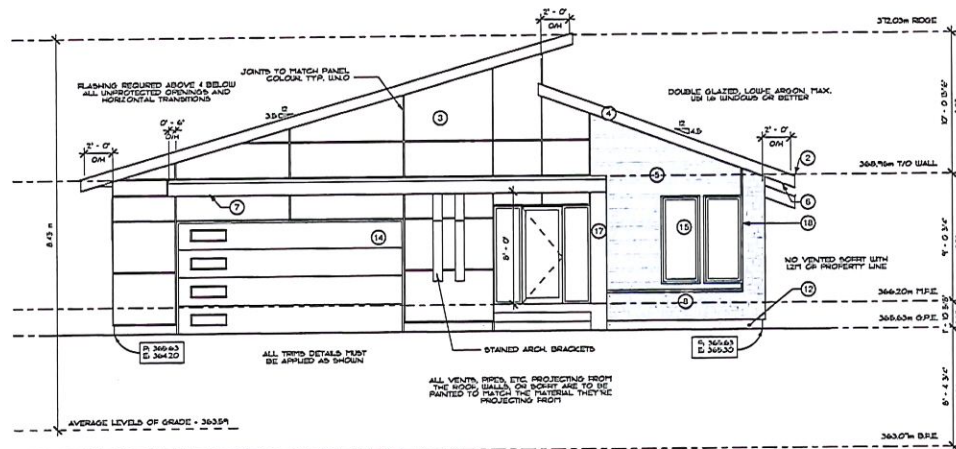
DRAWN BY:

CHECKED:	
----------	--

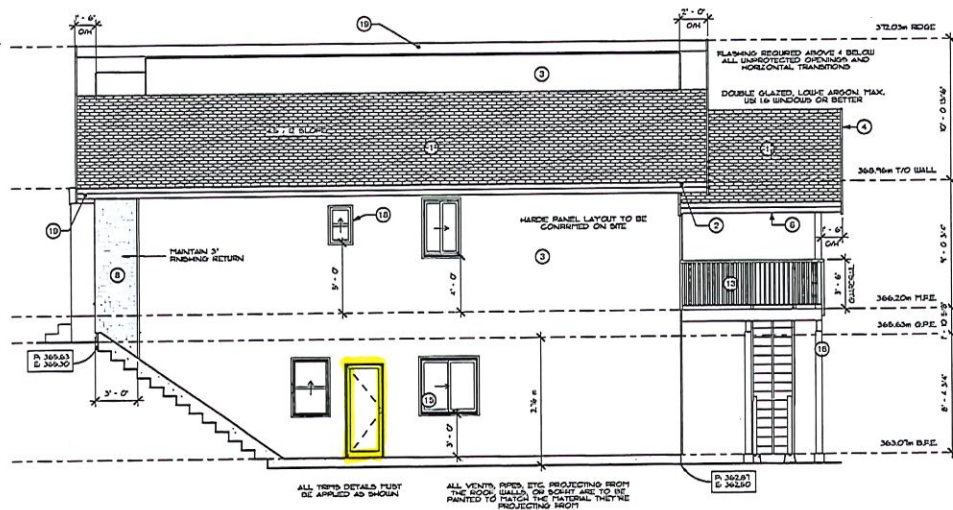
PROJECT NUMBER:	SHEET
-----------------	-------

P2106





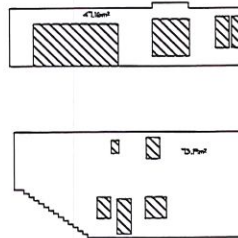
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

# **BUILDING EXPOSURE AND SPATIAL SEPERATION (9.10.15)**

COMMITMENT GLAZING	AREA OF FACADE	LIFTING DISTANCE	UNPROTECTED OPENINGS		CONSTRUCTION OF BLDG. FACE	
			ALLOWED	PROVIDED		
RIGHT FACADE	73.7m	15m to PL	8.00%	7.3%	OHLE C	C
LEFT FACADE	60.30m	2.34m to PL	0.84%	3.70%	OHLE C	C
REAR FACADE	86.80m	20.22m to SB	100%	35.85%	OHLE C	C
FRONT FACADE	47.16m	17.5m to CL Road	100%	40.78%	OHLE C	C



## **SCHEDULE OF FINISHES**

- BLACK ARCHITECTURAL LAMINATE ROOF SHINGLES
- SURFACE MOUNTED ALUMINUM METAL GUTTER
- REAR CEMENT PANEL - COLOUR TO OWNERS SPEC
- PAINTED 2x4 BARGE BOARD - COLOUR TO OWNERS SPEC
- PVC WOOD GLAZING
- PERFORATED WHITE SORBIT UNO
- WOOD SOFFIT
- DRY STACK CULTURED STONE - TO OWNERS SPEC
- STONE CAP - TO OWNERS SPEC
- PAINTED 1x4 TRIM - COLOUR TO OWNERS SPEC
- PAINTED 1x6 TRIM - COLOUR TO OWNERS SPEC
- EXPOSED CONCRETE
- PRE-ENGINEERED SIDE MOUNTED METAL RAILING - COLOUR TO OWNERS SPEC UNO
- PAINTED 8x16 GARAGE DOOR - TO OWNERS SPEC
- NAIL ON VINYL WHITE WINDOWS
- UNPAVED BEAM & POST - BY ENGINEER
- METAL FASCIA
- 1 X 2 WINDOW TRIM
- PAINTED 2x8 FASCIA BOARD - COLOUR TO OWNERS SPEC

## **NOTES**

- ANY CHANGES TO FINISHES MUST BE COORDINATED BY OWNER

ARC HOME DESIGN INC. ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE DESIGN. A STRUCTURAL ENGINEER MAY BE REQUIRED AS PER LOCAL AUTHORITY HAVING JURISDICTION. IF NEEDED, PLEASE NOTIFY ARC HOME DESIGN BEFORE CONSTRUCTION IMMEDIATELY.



32719 UNGER COURT, MISSION BC, V4S 0B9  
TEL: 604.823.3247  
ARC@ARCHITECTURE.COM

THIS DRAWING IS SOLELY THE PROPERTY OF ARC HOME DESIGN INC. ANY PERSON HAVING POSSESSION OF THIS DRAWING SHALL NOT: A) COPY OR REPRODUCE IT BY ANY MEANS; B) LOAN OR LEND IT TO ANY OTHER PERSON; C) SELL OR OTHERWISE DISPOSE OF IT; D) MAKE ANY CHANGES OR ALTERATIONS TO IT WITHOUT THE WRITTEN CONSENT OF ARC HOME DESIGN INC.

THE OWNER IS RESPONSIBLE TO COMPLY WITH THE CURRENT REGULATIONS OF THE BC BUILDING ACT, AND REGULATIONS. ARCHITECTS WILL TAKE PRECAUTIONS OVER EQUALS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE RESPONSIBILITY OF THE CLIENT/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, LEVELS & STRUCTURE PRIOR TO CONSTRUCTION.

NO	DESCRIPTION	BY	DATE
1	ISSUED FOR BP	JC V	14/06/2021

PROJECT  
**WHALLEY RESIDENCE**  
**SALMON ARM**

DRAWING TITLE  
**FRONT & RIGHT ELEVATION**

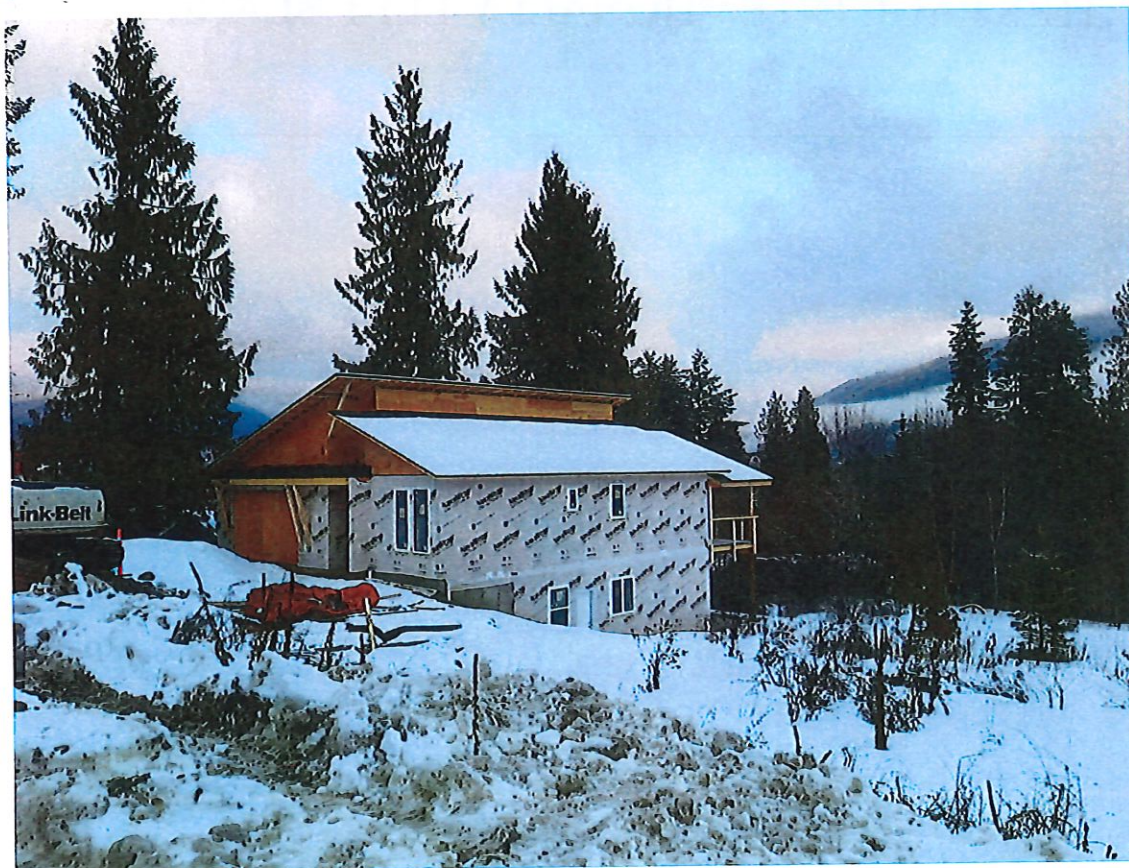
DATE:	2021-04-06
SCALE:	As Indicated
DRAWN BY:	OV
CHECKED:	OV
PROJECT NUMBER:	P2106
SHEET NO:	A3.0



APPENDIX 6



46 STREET NE



THIS PAGE INTENTIONALLY LEFT BLANK



Item 24.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4493 be read a third time.

[Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

### BYLAW NO. 4493

#### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on March 14, 2022 at the hour of 7:00 p.m. was published in the March 2, 2022 and March 9, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP57693 from R-1 Single Family Residential Zone to R-4 (Medium Density Residential Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4493"

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS DAY OF 2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE DAY OF , 2022

\_\_\_\_\_  
For Minister of Transportation & Infrastructure

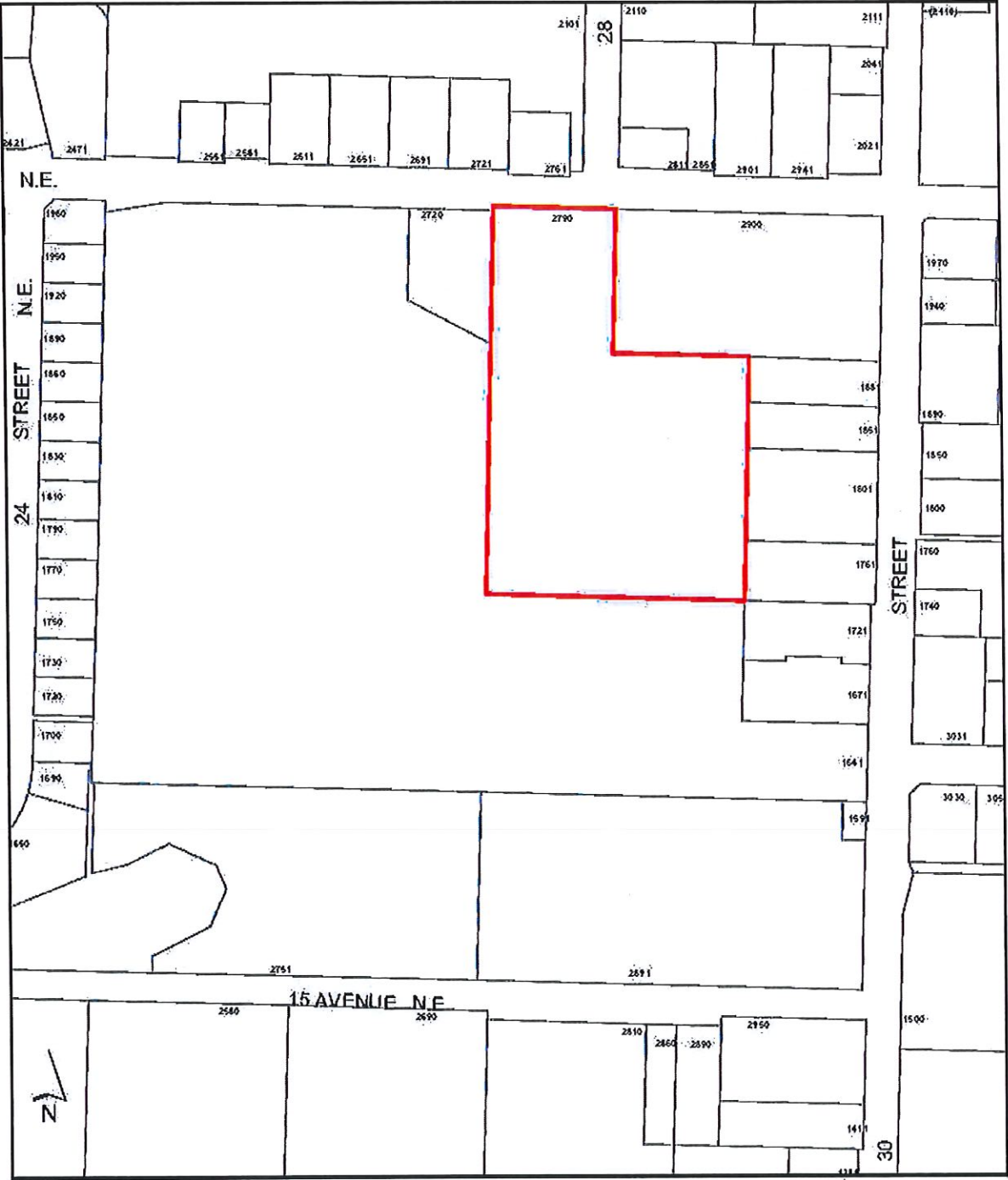
ADOPTED BY COUNCIL THIS DAY OF 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



Schedule "A"



Item 24.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4494 be read a third time.

[Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

### BYLAW NO. 4494

#### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on March 14, 2022 at the hour of 7:00 p.m. was published in the March 2, 2022 and March 9, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 Single Family Residential Zone to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.



5. CITATION

This bylaw may be cited as **"City of Salmon Arm Zoning Amendment Bylaw No. 4494"**

READ A FIRST TIME THIS                      28                      DAY OF                      February                      2022

READ A SECOND TIME THIS                      28                      DAY OF                      February                      2022

READ A THIRD TIME THIS    DAY OF    2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE                      DAY OF    , 2022

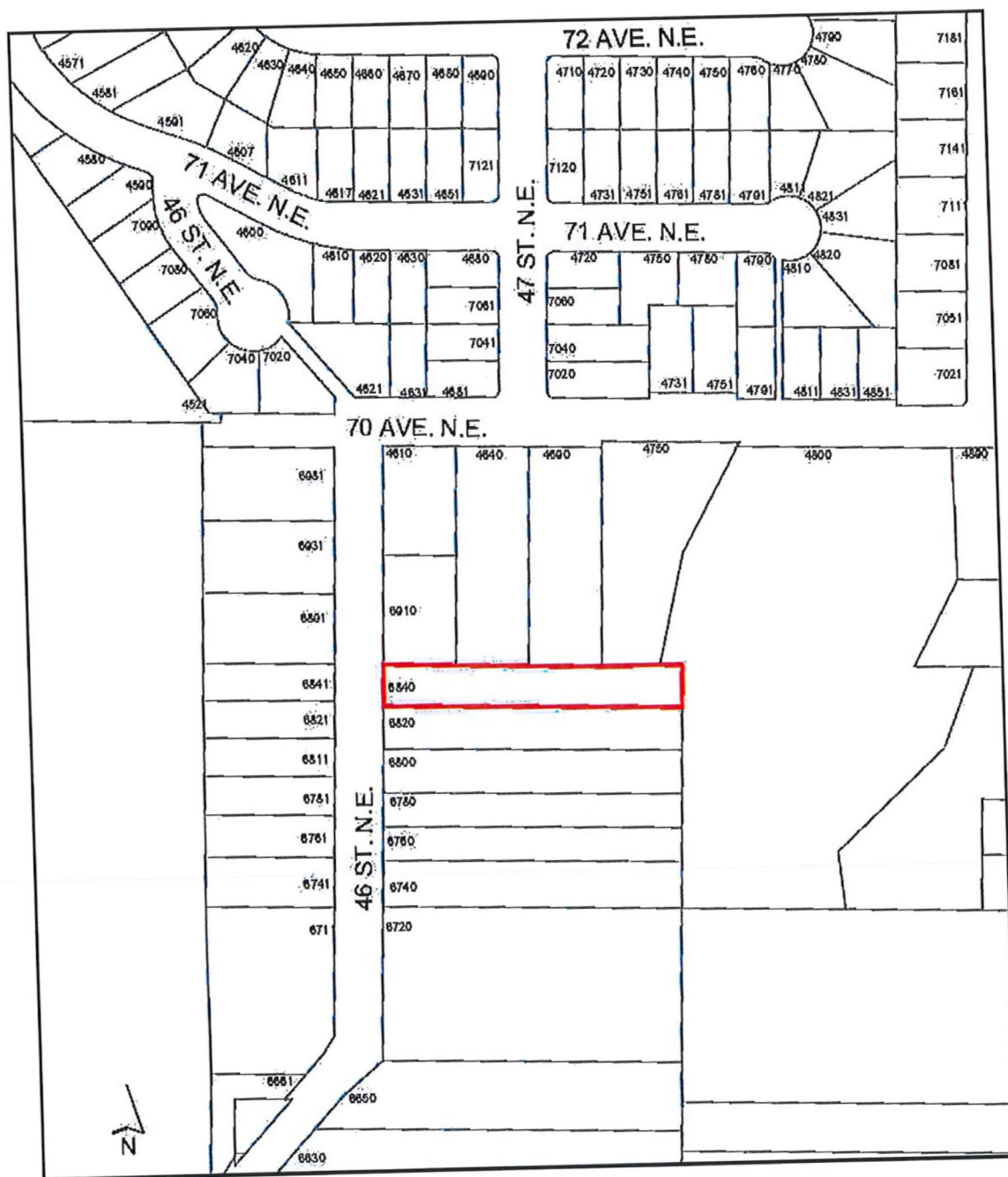
\_\_\_\_\_  
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS    DAY OF    2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

Schedule "A"



Item 26.

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: the Regular Council Meeting of March 14, 2022, be adjourned.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



THIS PAGE INTENTIONALLY LEFT BLANK