

1. March 14, 2022 - Agenda And Correspondence

Documents:

[MARCH 14, 2022 - AGENDA.PDF](#)  
[MARCH 14, 2022 - COUNCIL CORRESPONDENCE.PDF](#)

1.1. March 14, 2022 - Late Items

Documents:

[MARCH 14, 2022 - LATE ITEM 23.1 - N. AND S. SARTORIUS.PDF](#)  
[MARCH 14, 2022 - LATE ITEM 23.2 - S. KESKINEN.PDF](#)  
[MARCH 14, 2022 - LATE ITEM 22.2 - B. HALL.PDF](#)  
[MARCH 14, 2022 - LATE ITEM 23.1 - F. AND M. SIVERTZ.PDF](#)



# AGENDA

City of Salmon Arm  
Regular Council Meeting

Monday, March 14, 2022  
1:30 p.m.

*[Public Session Begins at 2:30 p.m.]*  
Council Chambers of City Hall  
500 – 2 Avenue NE  
Salmon Arm, BC

Page #	Item #	Description
	1.	CALL TO ORDER
1 - 2	2.	IN-CAMERA SESSION
	3.	ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY <i>We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.</i>
	4.	ADOPTION OF AGENDA
	5.	DISCLOSURE OF INTEREST
	6.	CONFIRMATION OF MINUTES
3 - 14	1.	Regular Council Meeting Minutes of February 28, 2022
	7.	COMMITTEE REPORTS
15 - 18	1.	Development and Planning Services Committee Meeting Minutes of March 7, 2022
19 - 24	2.	Greenways Liaison Committee Meeting Minutes of January 27, 2022
25 - 30	3.	Social Impact Advisory Committee Meeting Minutes of February 18, 2022
31 - 34	4.	Active Transportation Task Force Meeting Minutes of March 7, 2022
	8.	COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE
35 - 42	1.	Board in Brief – February 2022



9. **STAFF REPORTS**
  - 43 – 46 1. Director of Engineering & Public Works – Trojan UV PLC Upgrade – Water Plant
  - 47 – 50 2. Director of Engineering & Public Works – Building Canada – Public Transportation – Active Transportation Fund
  - 51 – 52 3. Director of Development Services – RFP – City of Salmon Arm Active Transportation Network Plan
10. **INTRODUCTION OF BYLAWS**
11. **RECONSIDERATION OF BYLAWS**
  - 53 – 60 1. City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 [Parking Charges and Rates] – Final Reading
  - 61 – 66 2. City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 [Curbside Collection Fees] – Final Reading
  - 67 – 82 3. City of Salmon Arm Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8] – Final Reading
12. **CORRESPONDENCE**
  - 83 – 84 1. Informational Correspondence
13. **NEW BUSINESS**
14. **PRESENTATIONS / DELEGATIONS**
  - 85 – 96 1. Presentation 4:00 – 4:15 p.m. (approximately)  
J. Broadwell, Manager, Ron Langridge, President and Althea Mongerson, Community and Membership Coordinator, Downtown Salmon Arm – 2021 Highlights, Year End Presentation
  - 97 – 98 i. Chief Financial Officer – Business Improvement Area – 2022 Annual Budget and 2021 Revenue & Expense Statement
15. **COUNCIL STATEMENTS**
  - 99 - 100 1. Councillor Wallace Richmond – Shuswap Family Centre – Endorsement as recipient of SILGA's 50/50 proceeds
16. **SALMON ARM SECONDARY YOUTH COUNCIL**
17. **NOTICE OF MOTION**
18. **UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS**
19. **OTHER BUSINESS**
  - 101 - 102 1. Released from In-Camera Meeting of December 13, 2021 – Salmon Arm Tennis Club loan deferral
20. **QUESTION AND ANSWER PERIOD**

**7:00 p.m.**

(Items 21 – 26 to follow 2021 Court of Revision – Circulated under Separate Agenda)

<b>Page #</b>	<b>Item #</b>	<b>Description</b>
	<b>21.</b>	<b>DISCLOSURE OF INTEREST</b>
	<b>22.</b>	<b>HEARINGS</b>
103 – 120	1.	Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; Setback requirements]
121 – 148	2.	Development Permit Application No. DP-437 [TSL Developments Ltd.; 700 30 Street NE; Form and Character]
149 – 164	3.	Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character]
	<b>23.</b>	<b>STATUTORY PUBLIC HEARINGS</b>
165 – 186	1.	Zoning Amendment Application No. ZON-1229 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]
187 - 198	2.	Zoning Amendment Application No. ZON-1230 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]
	<b>24.</b>	<b>RECONSIDERATION OF BYLAWS</b>
199 - 202	1.	City of Salmon Arm Zoning Amendment Bylaw No. 4493 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4] – Third Reading
203 - 206	2.	City of Salmon Arm Zoning Amendment Bylaw No. 4494 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8] – Third Reading
	<b>25.</b>	<b>QUESTION AND ANSWER PERIOD</b>
207 - 208	<b>26.</b>	<b>ADJOURNMENT</b>

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Item 2.

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

- a) THAT: pursuant to Section 90(1) (c) labour relations or other employee relations and (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; of the Community Charter, Council move In-Camera.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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Item 6.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Regular Council Meeting Minutes of February 28, 2022, be adopted as circulated.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



## REGULAR COUNCIL

Minutes of a Regular Meeting of Council of the City of Salmon Arm held in the Council Chambers of City Hall 500 – 2 Avenue NE and by electronic means, at 1:30 p.m. and reconvened at 2:30 p.m. on Monday, February 28, 2022.

### PRESENT:

Mayor A. Harrison  
Councillor T. Lavery (participated remotely)  
Councillor S. Lindgren (participated remotely)  
Councillor L. Wallace Richmond  
Councillor K. Flynn  
Councillor C. Eliason (participated remotely)  
Councillor D. Cannon

Chief Administrative Officer E. Jackson  
Director of Engineering and Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Chief Financial Officer C. Van de Cappelle  
Manager of Human Resources S. Wood  
Recorder B. Puddifant (participated remotely)

### ABSENT:

#### 1. CALL TO ORDER

Mayor Harrison called the meeting to order at 1:30 p.m.

#### 2. IN-CAMERA SESSION

0067-2022

Moved: Councillor Cannon  
Seconded: Councillor Eliason  
THAT: pursuant to Section 90(1) (c) labour relations or other employee relations and (e) the acquisition, disposition or expropriation of land or improvements, if the council considers that disclosure could reasonably be expected to harm the interests of the municipality; of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 1:30 p.m.  
Council returned to Regular Session at 2:04 p.m.  
Council recessed until 2:30 p.m.

Mayor Harrison returned to the meeting at 2:30 and assumed the Chair.

#### 3. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."

4. **REVIEW OF AGENDA**

Addition of Item 19.2 to release Officer Appointments Motion 0017-2022 (ic) from In-Camera.

Addition of Item 12.2 - S. Metcalfe, President of Shuswap Minor Football – email dated February 25, 2022 – Permission requested to place a storage container at Little Mountain.

Addition to Item 24.1 – R. Keskinen – email dated February 24, 2022 - Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8].

Addition to Item 24.1 – M. Walsh – email dated February 27, 2022 - Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8].

Addition to Item 24.1 – S. Keskinen – email dated February 25, 2022 - Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8].

5. **DISCLOSURE OF INTEREST**

Councillor Wallace Richmond read a statement on the invasion of Ukraine and requested the installation of yellow and blue lights at City Hall in support of Ukraine.

19. **OTHER BUSINESS**

1. **Appointment of Chief Administrative Officer**

The following Motion was released from the In-Camera Council Meeting of February 14, 2022.

0013-2022 (ic)                      Moved: Councillor Lindgren  
    Seconded: Councillor Cannon  
    THAT: Pursuant to Section 147 of the Community Charter, Erin Jackson be appointed as Chief Administrative Officer for the City of Salmon Arm effective February 15, 2022;

    AND THAT: Motion 0013-2022 (ic) be released from In-Camera.

**CARRIED UNANIMOUSLY**

2. **Officer Appointments**

The following Motion was released from the In-Camera Council Meeting of February 28, 2022.

0017-2022 (ic)                      Moved: Councillor Flynn  
    Seconded: Councillor Cannon  
    THAT: pursuant to Sections 147 of the *Community Charter*, Robert Niewenhuizen be appointed as the Deputy Chief Administrative Officer;

    AND THAT: Robert Niewenhuizen's appointment as Acting Deputy Corporate Officer be rescinded;

19. OTHER BUSINESS - continued2. Officer Appointments - continued

AND THAT: pursuant to Section 148 of the *Community Charter*, Council appoint Sue Wood as Corporate Officer for the City of Salmon Arm;

AND THAT: pursuant to Section 66 of the *Freedom of Information and Protection of Privacy Act*, Council appoint Sue Wood as Freedom of Information and Protection of Privacy Head for the City of Salmon Arm;

AND THAT: pursuant to Section 58(1) of the *Local Government Act*, Sue Wood be appointed Chief Election Officer for the 2022 General Local Election;

AND THAT: pursuant to Section 148 of the *Community Charter*, Council appoint Erin Jackson as Deputy Corporate Officer for the City of Salmon Arm;

AND FURTHER THAT: Erin Jackson's appointment as Corporate Officer be rescinded.

CARRIED UNANIMOUSLY

6. CONFIRMATION OF MINUTES1. Regular Council Meeting Minutes of February 14, 2022

0068-2022

Moved: Councillor Lavery

Seconded: Councillor Flynn

THAT: the Regular Council Meeting Minutes of February 14, 2022, be adopted as circulated.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS1. Development and Planning Services Committee Meeting Minutes of February 22, 2022

0069-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Lindgren

THAT: the Development and Planning Services Committee Meeting Minutes of February 22, 2022, be received as information.

CARRIED UNANIMOUSLY

2. Community Heritage Commission Meeting Minutes of February 7, 2022

0070-2022

Moved: Councillor Cannon

Seconded: Councillor Eliason

THAT: the Community Heritage Commission Meeting Minutes of February 7, 2022, be received as information.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS - continued

3. Environmental Advisory Committee Meeting Minutes of February 11, 2022

0071-2022                      Moved: Councillor Lindgren  
                                    Seconded: Councillor Cannon  
                                    THAT: the Environmental Advisory Committee Meeting Minutes of February 11, 2022, be received as information.

CARRIED UNANIMOUSLY

4. Downtown Parking Commission Meeting Minutes of February 15, 2022

0072-2022                      Moved: Councillor Eliason  
                                    Seconded: Councillor Lavery  
                                    THAT: the Downtown Parking Commission Meeting Minutes of February 15, 2022, be received as information.

CARRIED UNANIMOUSLY

8. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE

9. STAFF REPORTS

1. Director of Engineering & Public Works - Downtown Parking Commission - Downtown Salmon Arm Member Appointments

0073-2022                      Moved: Councillor Eliason  
                                    Seconded: Councillor Lindgren  
                                    THAT: Council appoint the following four (4) Downtown Salmon Arm representatives to serve on the Downtown Parking Commission for the two (2) year term from February 28, 2022 to February 27, 2024:

- Jacquie Gaudreau;
- Gerald Foreman;
- Morgen Matheson; and
- Vera Chomyshen.

CARRIED UNANIMOUSLY

2. Manager of Human Resources - Budget Amendment - Server Purchase

0074-2022                      Moved: Councillor Flynn  
                                    Seconded: Councillor Wallace Richmond  
                                    THAT: the 2022 Budget contained in the 2022 - 2026 Financial Plan Bylaw be amended to reflect the distribution between capital and operating costs attributed to the server purchase as follows:

- Server Maintenance Contracts - \$9,000.00 (decrease - \$21,000.00); and
- Servers - \$89,000.00 (increase - \$21,000.00).

CARRIED UNANIMOUSLY

9. STAFF REPORTS - continued

3. Director of Development Services - Proposed Changes to the City of Salmon Arm Community Heritage Register

0075-2022

Moved: Councillor Cannon

Seconded: Councillor Wallace Richmond

THAT: Council authorize submission of the amendments to the Community Heritage Register, outlined in the staff report dated February 16, 2022, to the Provincial Heritage Branch for deposit.

CARRIED UNANIMOUSLY

4. Director of Engineering & Public Works - Environmental Monitoring Program - Shuswap Lake

0076-2022

Moved: Councillor Flynn

Seconded: Councillor Cannon

THAT: Larratt Aquatic Consulting Ltd. be awarded the Shuswap Lake Environmental Monitoring Program for the three year term of 2022 to 2024 as follows:

2022 - \$25,678.00 plus actual laboratory costs;

2023 - \$26,449.00 plus actual laboratory costs;

2024 - \$27,242.00 plus actual laboratory costs.

CARRIED UNANIMOUSLY

5. Director of Development Services - Award of contract for Active Transportation Network Plan

0077-2022

Moved: Councillor Lavery

Seconded: Mayor Harrison

THAT: Urban Systems Ltd. be awarded the contract to complete an Active Transportation Network Plan for a fee of \$99,549.00 (plus GST).

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS

1. City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 [Parking Charges and Rates] - First, Second and Third Readings

0078-2022

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 be read a first, second and third time.

CARRIED UNANIMOUSLY

10. INTRODUCTION OF BYLAWS - continued

2. City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 [Curbside Collection Fees] - First, Second and Third Readings

0079-2022                      Moved: Councillor Eliason  
                                      Seconded: Councillor Lavery  
                                      THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw  
                                      No. 4504 be read a first, second and third time.

CARRIED UNANIMOUSLY

3. City of Salmon Arm Zoning Amendment Bylaw No. 4493 [Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4] - First and Second Readings

0080-2022                      Moved: Councillor Eliason  
                                      Seconded: Councillor Cannon  
                                      THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No.  
                                      4493 be read a first and second time;

                                      AND THAT: final reading of the Zoning Amendment Bylaw be withheld subject  
                                      to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

4. City of Salmon Arm Zoning Amendment Bylaw No. 4494 [Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8] - First and Second Readings

0081-2022                      Moved: Councillor Flynn  
                                      Seconded: Councillor Lindgren  
                                      THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No.  
                                      4494 be read a first and second time;

                                      AND THAT: final reading of the Zoning Amendment Bylaw be withheld subject  
                                      to approval by the Ministry of Transportation and Infrastructure.

CARRIED UNANIMOUSLY

11. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Fee for Service Amendment Bylaw No. 4497 [2022 Water Meter Rates] -Final Reading

0082-2022                      Moved: Councillor Wallace Richmond  
                                      Seconded: Councillor Cannon  
                                      THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw  
                                      No. 4497 be read a final time.

CARRIED UNANIMOUSLY



12. CORRESPONDENCE1. Informational Correspondence

2. BC Bike Race Team – letter dated February 17, 2022 – Request for approval to use City lands for BC Bike Race event

0083-2022

Moved: Councillor Eliason

Seconded: Councillor Cannon

THAT: Council approve the 2022 BC Bike Race on Sunday, September 18, 2022 at Klahani Park and/or South Canoe Trailhead area, as outlined in the letter dated February 17, 2022, subject to the provision of adequate liability insurance and adherence with the Public Health Officer's guidelines.

CARRIED UNANIMOUSLY

Councillor Eliason left the meeting at 3:39 p.m.

1. S. Caner, Executive Director, Shuswap Food Action Society – letter dated February 22, 2022 – Requesting the City's endorsement of a Universal School Food Program

0084-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Lindgren

THAT: Council endorse the efforts of the Shuswap Food Action Society in support of a universal, cost-shared healthy school food program.

CARRIED UNANIMOUSLY

4. H. O'Hara, Executive Director, BC Farmers' Markets – letter dated February 11, 2022 – Request for letter of support for Nutrition Coupon Program

0085-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Cannon

THAT: Council provide a letter to Minister of Health Adrian Dix in support of BC Farmers' Markets ongoing funding of the Nutrition Coupon Program.

CARRIED UNANIMOUSLY

3. S. Niven – email dated February 17, 2022 – May is CF Awareness Month 2022

0086-2022

Moved: Councillor Cannon

Seconded: Councillor Wallace Richmond

THAT: Council authorize the installation of green and blue lights at City Hall during the month of May in support of Cystic Fibrosis Awareness Month.

CARRIED UNANIMOUSLY

12. CORRESPONDENCE - continued

1. Informational Correspondence - continued

7. A. Slater, General Manager, SILGA - email dated February 18, 2022 - 2022 SILGA and Convention, Salmon Arm - Registration is now open

0087-2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Flynn

THAT: Council authorize Mayor and Council to attend to the 2022 SILGA AGM and Convention.

CARRIED UNANIMOUSLY

2. S. Metcalf, President, Salmon Arm Minor Football - email dated February 25, 2022 - Permission requested to place storage container at Little Mountain

0088-2022

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: Council authorize the temporary placement of a storage container at Little Mountain Field of Dreams and authorize staff to enter into an agreement with Salmon Arm Minor Football.

CARRIED UNANIMOUSLY

13. NEW BUSINESS

14. PRESENTATIONS

15. COUNCIL STATEMENTS

1. Councillor Lavery - Virtual FCM Conference - Local Solutions to Net Zero

0089-2022

Moved: Mayor Harrison

Seconded: Councillor Lindgren

THAT: Council authorize Councillor Lavery to attend the 2022 Virtual FCM Conference with the cost of \$195.00 plus applicable taxes to be funded from Council Expense.

CARRIED UNANIMOUSLY

16. SALMON ARM SECONDARY YOUTH COUNCIL

17. NOTICE OF MOTION

18. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS

**20. QUESTION AND ANSWER PERIOD**

Council held a Question and Answer session with the members of the public present.

The Meeting recessed at 3:49 p.m.

The Meeting reconvened at 7:00 p.m.

Councillor Eliason returned to the meeting at 7:00 p.m.

**PRESENT:**

Mayor A. Harrison  
Councillor T. Lavery (participated remotely)  
Councillor S. Lindgren (participated remotely)  
Councillor L. Wallace Richmond  
Councillor C. Eliason (participated remotely)  
Councillor D. Cannon  
Councillor K. Flynn

Chief Administrative Officer E. Jackson  
Director of Engineering and Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Director of Corporate Services S. Wood

**ABSENT:****21. SPECIAL PRESENTATION**

Councillor Cannon and the City of Salmon Arm Community Heritage Committee presented the Heritage Conservation Awards to Holly Ready (Skelton House/Gabe's Bunkhouse - 251 5 Street SE), Leanne Dorrish and trustees of the Congregation (Canoe United Church - 6861 50 Street NE), and Cindy Malinowski and Charles MacLennan (Lyman House - 680 2 Avenue NE). The recipients were thanked for their commitment to heritage in the City.

**22. DISCLOSURE OF INTEREST****23. HEARINGS**

24. STATUTORY PUBLIC HEARINGS

1. Zoning Amendment Application No. ZON-1227 [McCaffrey, A.; 6821 46 Avenue NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

A. McCaffrey, the applicant, outlined the application and was available to answer questions from Council.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:33 p.m. followed by comments from Council.

25. RECONSIDERATION OF BYLAWS

1. City of Salmon Arm Zoning Amendment Bylaw No. 4489 [ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8] - Third Reading

0090-2022

Moved: Councillor Lavery  
Seconded: Councillor Wallace Richmond  
THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4489 be read a third time.

CARRIED UNANIMOUSLY

26. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

27. ADJOURNMENT

0091-2022

Moved: Councillor Flynn  
Seconded: Councillor Lindgren  
THAT: the Regular Council Meeting of February 28, 2022, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 7:45 p.m.

CERTIFIED CORRECT:

\_\_\_\_\_  
CORPORATE OFFICER

Adopted by Council the      day of      , 2022.

\_\_\_\_\_  
MAYOR

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Item 7.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Cannon

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee Meeting Minutes of March 7, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



## **DEVELOPMENT AND PLANNING SERVICES COMMITTEE**

Minutes of a Meeting of the Development and Planning Services Committee of the City of Salmon Arm held in Council Chambers, City Hall, 500 – 2 Avenue NE, Salmon Arm, BC, and by electronic means on Monday, March 7, 2022.

### **PRESENT:**

Mayor A. Harrison  
Councillor T. Lavery (participated remotely)  
Councillor L. Wallace Richmond (participated remotely)  
Councillor S. Lindgren  
Councillor K. Flynn  
Councillor D. Cannon  
  
Chief Administrative Officer E. Jackson  
Director of Engineering & Public Works R. Niewenhuizen  
Director of Development Services K. Pearson  
Director of Corporate Services S. Wood  
Recorder B. Puddifant

### **ABSENT:**

Councillor C. Eliason

#### **1. CALL TO ORDER**

Mayor Harrison called the meeting to order at 8:00 a.m.

#### **2. ACKNOWLEDGEMENT OF TRADITIONAL TERRITORY**

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together".

#### **3. REVIEW OF THE AGENDA**

#### **4. DISCLOSURE OF INTEREST**

#### **5. REPORTS**

1. Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; (Setback requirements)]

Moved: Councillor Lindgren

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:

5. REPORTS - continued1. Development Variance Permit Application No. VP-548 [Walus, A.; 6360 37 Street NE; (Setback requirements) - continued

1. Section 36.11.1 – Front Parcel Line Setback – reduce the minimum building setback from 6.0m to 4.5m to facilitate construction of an accessory building (detached garage).

CARRIED UNANIMOUSLY

2. Development Permit Application No. DP-437 [TSL Developments Ltd.; 700 30 Street NE; Form and Character]

Moved: Councillor Wallace Richmond

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that Development Permit No. DP-437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-437 vary Zoning Bylaw No. 2303 as follows:

1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-437 be withheld subject to receipt of an estimate and Irrevocable Letter of Credit (in the amount of 125% of the estimate) for landscaping.

J. Baer, TSL Developments Ltd., the applicant, was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

3. Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character]

Moved: Councillor Lavery

Seconded: Councillor Cannon

THAT: the Development and Planning Services Committee recommends to Council that Development Permit No. DP-439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481 Except Plans H401 and EPP70085 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

5. REPORTS - continued3. Development Permit Application No. DP-439 [Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character] - continued

AND THAT: Development Permit No. DP-439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Real Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;
2. Section 17.9.3 – Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Rem Lot 14 on the drawings attached as Appendix 6 to the staff report dated February 24, 2022.

B. Laird, Bremmvic Holdings Ltd., the applicant, outlined the application and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

6. FOR INFORMATION7. CORRESPONDENCE8. ADJOURNMENT

Moved: Councillor Wallace Richmond

Seconded: Councillor Lavery

THAT: the Development and Planning Services Committee meeting of March 7, 2022 be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:26 a.m.

---

Mayor Alan Harrison  
Chair

Item 7.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: the Greenways Liaison Committee Meeting Minutes of January 27, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

**CITY OF SALMON ARM**

Minutes of the Greenways Liaison Committee (GLC) Meeting held online and in City Hall, 500 – 2 Avenue NE, Salmon Arm, BC, (GoTo Meeting) on **Thursday, January 27, 2022** at 3:30 p.m.

**PRESENT:**

Chris Stromgren, Shuswap Trail Alliance  
Brian Browning, Shuswap Trail Alliance  
Steve Fabro, Citizen at Large  
Rob Bickford, Citizen at Large  
Joe Johnson, Citizen at Large – Acting Chair

Adrian Bostock, Shuswap Trail Alliance (non-voting)  
Darin Gerow, City of Salmon Arm, Manager of Roads & Parks  
Chris Larson, City of Salmon Arm, Senior Planner, Recorder

**REGRETS:**

Janelle Rimell, Interior Health  
Kevin Flynn, Chair

The meeting was called to order at 3:30 p.m.

**1. Acknowledgement of Traditional Territory**

*We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.*

**2. Introductions**

**3. Presentations**

**4. Approval of Agenda and Additional Items**

**5. Approval of Minutes of Previous Greenways Liaison Committee Meeting**

Moved: Steve Fabro

Seconded: Brian Browning

THAT: the minutes of the Greenways Liaison Committee Meeting of November 18, 2021 be approved as circulated.

**CARRIED UNANIMOUSLY**

**6. Old Business /Arising from minutes**

**none**

**7. New Business**

- **2022 Budget**  
Budget to be circulated for review and future discussion.
- **SASS/Bastion Bypass – General Vandalism Concerns**  
Complaints have been received regarding vandalism along this corridor, and general increase in sign vandalism noted. The associated costs are expected to go into maintenance budget.

8. **Other Business &/or Updates**

- **STA Update - Planning and Projects (attached)**  
The STA outlined efforts and projects in progress, as at the previous November meeting (attached). Discussion with SD83 is ongoing, the trails around the parking area at South Canoe will be upgraded in spring, while the Ida View trail is under ongoing development.
- **South Canoe Update**  
Snow grooming is ongoing with more community involvement. Online updates are being provided.
- **Active Transportation Task Force**  
The ATTF process was noted as ongoing, with an RFP process closing soon.
- **Wildfire Reduction Work**  
Work in the Little Mountain area is ongoing. Park Hill is expected to be a future project.

9. **Next meeting – 3:30, Thursday, April 7, 2022**

Moved: Steve Fabro

Seconded: Chris Stromgren

THAT: the Greenways Liaison Committee Meeting of January 27, 2022 be adjourned.

**CARRIED UNANIMOUSLY**

The meeting adjourned at 4:00 p.m.

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Endorsed by Meeting Chair

Received for information by Council on \_\_\_\_\_, 2022.

Attachment – STA update



Shuswap Trail Alliance Project Summary: 2021/2022

**City of Salmon Arm: Greenways Project Summary 2021/2022**

UPDATED: Jan 25, 2022 (JB)



Projects of significance within and/or directly accessible to Salmon Arm residents and visitors. Also - includes shared planning, training, marketing, and educational program development.

Pending City of Salmon Arm Greenways Projects: 2022		Partner Funding	STA Funded	In-Kind	Status		New m	Fix m	Maintain m	Plan m	Signs #
2266	Salmon Arm - Active Transportation Task Force				in progress	City SA					
1530	Salmon Arm - Bike (& School) Connectors Plan	\$2,058.95			in progress	City SA PO#40218					
2237	Salmon Arm-Foreshore (Raven) Trail-Monitoring 2022	\$2,200.00			in progress	City SA					
2207	Salmon Arm-Planning (General) 2022				in progress	City SA					
	Salmon Arm - Townie Loop Sign Project				to confirm	City SA					?
2138	Salmon Arm - West Bay				need funding	ALIB/NIB/LSLIB/CSA/IHA/CPR/CSRD/MP/MLA/STA/SCS					
	South Canoe - Skills Park and Greenspace	\$26,000.00	\$5,000.00		in progress	City SA/CFC/STA					
1956	South Canoe - Rob Nash Memorial Shelter	\$3,853.69			in progress	City SA/STA/SCF/SCOutdoor School/HNash					
	Uptown Greyways Loop				to confirm	City SA					
<b>2022 Project Total</b>		<b>\$34,112.64</b>	<b>\$5,000.00</b>	<b>\$0.00</b>			<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Combined Value</b>		<b>\$39,112.64</b>									

Additional Pending Projects of Note for Salmon Arm: 2022		Partner Funding	STA Funded	In-Kind	Status	Partners	New m	Fix m	Maintain m	Plan m	Signs #
2105	Experience Development: Tourism (General)	Shuswap Tourism/SA MRDT (see below)			ongoing	ST/EDS/Operators/TOTA/DestinationBC/STS					
2264	Kela7scen (Mt Ida) Planning				need funding	ALIB/LSLIB/NIB/Splatsin/STS/SORE/MFLNRO/CSRD/SA					
2154	LHT - East Canoe Creek Bridge	\$6,792.86			in progress	Various/EQ Dressage/Donations					
2239	LHT - General				in progress	STA/Rec Sites Trails/CitySA/CanoeFP					
2206	LHT - Non Winter Advisory & Plan				in progress	STA/Rec Sites Trails/CitySA/CanoeFP					
1846	Secwepemc Landmarks Concept	BCRDP/STS funding reserve			in progress	STS Lakes Division/CSA/SA/ArtsC/ST					
2058	Secwepemc Landmarks and Trailhead Signposts (Heritage BC)	\$13,200.00			in progress	Heritage BC/STA					
2148	Secwepemc Landmarks Phase 2 - Cerip	\$125,196.27			in progress	CERIP					
2152	Secwepemc Landmarks Phase 2 - TOTA	\$166,761.28			in progress	TOTA					
2216a	South Canoe Winter grooming/storage				in progress	SCC/STA/Voly					
2119	MRDT - Trail Signage (hike/bike icon plates)	\$2,000.00			in progress	MRDT					
2235	MRDT Georeferenced Map Use Tutorials	\$4,000.00			in progress	MRDT					
2233	MRDT Larch Hills Traverse/Rail Trail Plan	\$9,000.00			in progress	MRDT					
2236	MRDT Mountain Bike Trail Guide Reprint	\$6,000.00			in progress	MRDT					
2204	MRDT Online App & Website update 2022	\$5,500.00			in progress	MRDT					
2219	MRDT Trail Signage (hike/bike icon plates)	\$2,000.00			in progress	MRDT					
<b>2022 Additional Projects of Note Total</b>		<b>\$340,450.41</b>	<b>\$0.00</b>	<b>\$0.00</b>			<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Combined Value</b>		<b>\$340,450.41</b>									

## City of Salmon Arm: Greenways Project Summary 2021/2022

UPDATED: Jan 25, 2022 (JB)



Projects of significance within and/or directly accessible to Salmon Arm residents and visitors. Also - includes shared planning, training, marketing, and educational program development.

## Pending City of Salmon Arm Greenways Projects: 2022

Projects (Completed): 2021	Partner Funding	STA Funded	In-Kind	Status		New m	Fix m	Maintain m	Plan m	Signs #
	Partner Funding	STA Funded	In-Kind	Status		New m	Fix m	Maintain m	Plan m	Signs #
2100 Lamb Greenway Subdivision Assessment	\$537.91									
1858 Salmon Arm - Hillcrest Subdivision Greenways 2018 (Hillcrest Heights)	\$25,000.00		\$281.60	finished	City SA PO#46439	800				
2147 Salmon Arm - Shuswap Trails Website	\$31,800.00	\$184.28	\$564.08	finished	City SA/MRDT/SCF					
2108 Salmon Arm - Spring Maintenance	\$9,668.54		\$765.00	finished	City SA			43,490		
2156 Salmon Arm - Forshore Trail Upgrades	\$8,742.61			finished	City SA		280			
2116 South Canoe - Summer Students Brushing (CSJ - confirmed)	\$5,585.94	\$335.77		finished	STA/CSJ					
2057 Peter Jannink Burdock Removal (Shuswap Naturalist Club)	\$2,408.34			finished	Shuswap Naturalist Club					
2165 Yellow Flag Iris Removal	\$8,000.00		\$1,081.65	finished	CSISS/STA					
2137 Salmon Arm - Foreshore (Raven) Trail - Monitoring 2020	\$2,041.24			finished	City SA/Advisory/Nature Trust/MFLNRO/SABNES					
2116 South Canoe Upgrades/Planning/Voly-General 2020	\$2,196.00	\$9,987.78	\$6,213.14	finished	CitySA/Rec Sites/SC Advisory partners					
2107 Salmon Arm - Planning (General) 2020		\$3,699.26	\$1,822.94	finished	City SA					
2165 Salmon Arm - Active Transportation Task Force		\$1,621.66	\$365.07	in progress	City SA					
2138 Salmon Arm - West Bay		\$877.66	\$204.51	need funding	ALIB/NIB/LSLIB/CSA/IHA/CPR/CSRD/MP/MLA/STA/SCS					
1948 Trail Guide Update - Paddle Mini-Guide (Blueways)	\$4,600.00	\$4,116.54	\$1,952.28	finished	MRDT					
2104 MRDT - Trail Guide & Website update 2021	\$3,700.00		\$1,035.22	finished	MRDT					
2118 MRDT - Trail Signage (en route trail signs) (MgGuire Lk signage)	\$3,800.00		\$1,129.99	finished	MRDT					
2120 Shuswap Regional Trail Strategy Roundtable 2021	\$5,933.34	\$3,291.14	\$1,132.02	finished	Various/Rec Sites/CSRD/ST/Lks Div/Fraser Basin/IHA, WO-18-230-079					
1846 Secwepemc Landmarks Concept	\$34,103.50	\$6,436.52	\$21,323.15	in progress	STS Lakes Division/CSA/SArtsC/ST					
2058 Secwepemc Landmarks and Trailhead Signposts (Heritage BC)	\$5,000.00	\$3,200.00	\$3,968.97	in progress	Heritage BC/STA					
2148 Secwepemc Landmarks Phase 2 - Cerip	\$803.73			in progress	CERIP					
2152 Secwepemc Landmarks Phase 2 - TOTA	\$3,238.72			in progress	TOTA					
2116a South Canoe Winter grooming/storage	\$6,163.11	\$323.20	\$3,166.85	in progress	SSC/STA/Voly					
2164 Kela7scen (Mt Ida) Planning		\$5,511.78	\$1,931.96	need funding	ALIB/LSLIB/NIB/Splatsin/STS/SORE/MFLNRO/CSRD/SA					
2154 LHT - East Canoe Creek Bridge	\$5,886.42		\$68.00	in progress	Various/EQ Dressage/Donations					
2139 LHT - General		\$3,446.35	\$4,547.71	finished	STA/Rec Sites Trails/CitySA/CanoeFP					
2106 LHT - Non Winter Advisory & Plan		\$601.65	\$3,137.04	finished	STA/Rec Sites Trails/CitySA/CanoeFP					
<b>Total Projects Completed 2021</b>	<b>\$169,209.40</b>	<b>\$43,633.59</b>	<b>\$54,691.18</b>	*doesn't include GST		<b>800</b>	<b>280</b>	<b>43490</b>	<b>0</b>	<b>0</b>

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Item 7.3

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Wallace Richmond

Seconded: Councillor Eliason

THAT: the Social Impact Advisory Committee Meeting Minutes of February 18, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

Minutes of the **Social Impact Advisory Committee** meeting held electronically on Friday, February 18, 2022, at 10:00 a.m.

### PRESENT:

Councillor Louise Wallace Richmond	City of Salmon Arm, Chair
Dawn Dunlop	Canadian Mental Health Association
Paige Hilland	Shuswap Area Family Emergency (SAFE) Society
Kristy Smith	Okanagan Regional Library
Kim Sinclair	Aspiral Youth Partners
Gudrun Malmqvist	Shuswap Family Centre
Jo-Anne Crawford	Shuswap Association for Community Living
Jen Gamble	Shuswap Immigrant Services
Erin Jackson	City of Salmon Arm (entered the meeting at 10:04 a.m.)
B. Puddifant	City of Salmon Arm, Recorder

### ABSENT:

Chiara Dentrey	Okanagan College
Tim Gibson	Seniors Resource Centre
David Parmenter	Shuswap Children's Association
	Interior Health Association-Mental Health

### GUESTS:

The meeting was called to order at 10:00 a.m.

#### 1. Introductions

#### 2. Acknowledgement of Traditional Territory

*We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together.*

#### 3. Presentations

**4. Approval of Agenda and Additional Items**

Addition of Item 7.a – Shuswap Immigrant Service Society – Salmon Arm Community Response Protocol

Moved: Kristy Smith

Seconded: Kim Sinclair

THAT: the Social Impact Advisory Committee Meeting Agenda of February 18, 2022, be approved with addition.

**CARRIED UNANIMOUSLY**

Erin Jackson

**5. Approval of Minutes of January 21, 2022 Social Impact Advisory Committee Meeting**

Moved: Paige Hilland

Seconded: Jo-Anne Crawford

THAT: the minutes of the Social Impact Advisory Committee Meeting of January 21, 2022 be approved as circulated.

**CARRIED UNANIMOUSLY**

**6. Old Business/Arising from minutes**

**a) New Intake for Poverty Reduction Planning & Action - Update**

Erin Jackson provided an update on the application for the Poverty Reduction Planning & Action grant and the support for the application from Interior Health, Downtown Salmon Arm and Salmon Arm Economic Development Society. The application has been submitted to the Province and receipt has been confirmed. In the event that the application is successful, the City will draft the RFP.

**7. New Business**

**a) Shuswap Immigrant Service Society – Salmon Arm Community Response Protocol**

Jenn Gamble outlined the Community Response Protocol. This Protocol will be used as a tool for social agencies and community organization to deal with racism and hate and will be distributed in the Shuswap region as the Protocol has been designed for use by multiple groups.

Moved: Jo-Anne Crawford

Seconded: Dawn Dunlop

THAT: the Committee receive the Community Response Protocol as information.

**CARRIED UNANIMOUSLY**

8. Other Business &/or Roundtable Updates
9. Next meeting – Friday, March 18, 2022 at 10:00 a.m.
10. Adjournment

Moved: Paige Hilland

Seconded: Kim Sinclair

THAT: the Social Impact Advisory Committee Meeting of February 18, 2022 be adjourned.

**CARRIED UNANIMOUSLY**

The meeting adjourned at 10:40 a.m.

---

Councillor Louise Wallace Richmond, Chair

Minutes received as information by Council at their Regular Meeting of  
, 2022.



## Are you the victim of an incident of racism or hate? Have you witnessed an incident of racism or hate?

This Community Response Protocol provides information about how to report the incident and where to find support.

Type of Incident or Crime	Definition	Steps for Response
<b>Discrimination</b>	Inequitable or unfair treatment of a person or group because of a personal characteristic like sex, race, religion, family status, disability, place of origin, gender identity or sexual orientation. This could include unequal pay at work, denial of service at a business, or denial of rent/housing.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• Refer to appropriate community support if requested</li> <li>• Identify if the employer or service provider has a protocol for addressing incidents of racism or discrimination</li> <li>• With permission of victim, call police non-emergency number</li> <li>• Alert Resilience BC Anti-Racism Network of incident; report using online form</li> </ul>
<b>Hate-Motivated Incident (Non-criminal)</b>	Actions motivated by hate against an identifiable group, based on race, national or ethnic origin, language, colour, religion, sex, age, mental or physical disability, sexual orientation, or gender identity or expression, or on any other similar factor. This could include using aggressive or abusive language in public.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• With permission of victim, call police non-emergency number</li> <li>• Refer to appropriate community support if requested</li> <li>• Alert Resilience BC Anti-Racism Network member; report using online form</li> </ul>
<b>Hate-Motivated Crime</b>	Criminal offences against people or property motivated by hate, prejudice or bias toward an identifiable group. This may include assault, threats, harassment, material on social media or graffiti/vandalism.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• Contact police at 911 in cases of emergency</li> <li>• Call the non-emergency police number in non-emergency cases</li> <li>• Refer to appropriate community support if requested</li> <li>• Alert Resilience BC Anti-Racism Network member; report using online form</li> </ul>
<b>Hate Speech, Propaganda and Material</b>	Public statements (verbal or written) in any public space that promote or incite hatred against an identifiable group, or advocate genocide toward an identifiable group. Public spaces includes non-private social media.	<ul style="list-style-type: none"> <li>• Identify immediate needs of victim and respond</li> <li>• Contact police at 911 if incident is taking place in real time</li> <li>• Or report the incident to police using their non-emergency number</li> <li>• Contact representatives from the targeted community</li> <li>• Connect with Resilience BC Anti-Racism Network; report using online form</li> </ul>
<b>Social Media and Internet Platforms</b>	Include apps such as Facebook and Twitter and platforms such as Zoom and gaming sites.	<ul style="list-style-type: none"> <li>• Call non-emergency police number and ask for an Officer responsible for hate crime and incident reporting.</li> <li>• Contact webmaster or hosting company</li> <li>• Connect with Resilience BC Anti-Racism Network; report using online form</li> <li>• Report on the Crimes Stoppers website</li> </ul>
<b>Hate Graffiti and Vandalism</b>	Damage or defacement of property demonstrating hate, prejudice or bias toward an identifiable group.	<ul style="list-style-type: none"> <li>• For property crime in progress, contact the police at 911 immediately</li> <li>• For other incidents, call police non-emergency number</li> <li>• Take photographs or videotape, take note of details such as location and time of incident</li> <li>• Support the victim(s) of graffiti. After documenting contact municipal or regional government for removal.</li> <li>• Refer to appropriate organization</li> <li>• Connect with Resilience BC Anti-Racism Network; report using online form</li> </ul>



## Community Response Protocol Contact Information:

### Emergency Services and Immediate Responders:

Police and Emergency Services **911**

### Non-Emergency Local Numbers:

Police reports for non-emergencies - **250-832-6044**

Police Victim Services (self-referral or through police) **250-832-4453**

Community Victim Services: **250-832-0005**

Hospital - **250-833-3600**

Mental Health Line- short-term mental health support – (no local area code) **310-6789**

Local government – **250-803-4000**

### Local Community Support Services:

Legal aid organization - **250-545-3666**

Family services - **250-832-2170**

Shuswap Immigrant Services Society-**250-804-2726** or online reporting (data collection only): **shuswapantiracismmandhate.sissociety.ca**

SAFE Society 24 hr Crisis Line - **250-832-9616**

### Provincial or National toll free numbers and websites:

BC211 – for a referral to local services - **211** or **www.bc211.ca** VictimLink - **1-800-563-0808**

Youth Against Violence Line - **1-800-680-4264**

Kids Help Phone **1-800-668-6868**

KUU-US Crisis Line-First Nations and Indigenous Line **1-800-558-8717**

Prideline - support for 2SLGBTQI+ - **1-800-566-1170**

Youth Prideline – support for 2SLGBTQI+youth – **1-855-956-1777** Crime

Stoppers **1-800-222-8477** or reporting online hate at

**bccrimestoppers.com**

Crisis Line - Short-term emotional support – **1-800-784-2433**

BC Hate Crimes - **1-855-462-5733**

Healing in Colour Therapists - **healingincolour.com**

Legal Aid BC - **1-866-577-2525**

Access Pro Bono - **1-877-762-6664**

Learn more about the Resilience BC Anti-Racism Network at **ResilienceBC.ca** or call your local network member at **250-804-2726** or email at: **outreach@sissociety.ca**

Access the confidential regional reporting form at: **shuswapantiracismmandhate.sissociety.ca**

We see a future free from racism and hate. The Resilience BC Anti-Racism Network is bringing communities together to do the hard work and make this vision a reality.

The Resilience BC Anti-Racism Network is funded by the Province of British Columbia and offers a province-wide approach to identifying and challenging racism.

**Data Collection and Confidentiality Policy:** No identifying information is collected or shared without signed approval



**The Resilience BC Anti-Racism Network operates on the territories of over 200 First Nations, each with their own diversity of traditions, languages and histories.**



**Anti-Racism  
Network**



**ResilienceBC**

Item 7.4

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Mayor Harrison

Seconded: Councillor Lavery

THAT: the Active Transportation Task Force Meeting Minutes of March 7, 2022 be received as information.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

Minutes of the Meeting of the Active Transportation Task Force held by electronic means on Monday, March 7, 2022 at 10:00 a.m.

### PRESENT:

Mayor Alan Harrison  
Councillor Tim Lavery  
Joe Johnson  
Blake Lawson  
Camilla Papadimitropoulos  
Gary Gagnon  
Steve Fabro  
Kathy Atkins  
Phil McIntyre-Paul  
David Major  
Craig Newnes  
Lana Fitt  
Marianne VanBuskirk  
Paige Hilland  
Chris Larson  
Barb Puddifant

City of Salmon Arm, Chair  
City of Salmon Arm, Chair  
Greenways Liaison Committee  
Citizen at Large (entered the meeting at 10:06 a.m.)  
Citizen at Large  
Citizen at Large (entered the meeting at 10:10 a.m.)  
Citizen at Large  
Citizen at Large  
Shuswap Trail Alliance  
Shuswap Cycling Club  
Downtown Salmon Arm  
Salmon Arm Economic Development Society  
School District No. 83  
Social Impact Advisory Committee  
City of Salmon Arm, Senior Planner  
City of Salmon Arm, Recorder

### ABSENT:

Anita Ely  
Louis Thomas

Adams Lake Indian Band  
Interior Health  
Councillor, Neskonlith Indian Band

### GUESTS:

Jen Bellhouse  
Sarah Freigang  
Brian Patterson

Shuswap Trail Alliance  
Urban Systems  
Urban Systems

The meeting was called to order at 10:00 a.m.

#### 1. Call to Order, Introductions and Welcome

#### 2. Acknowledgement of Traditional Territory

Mayor Harrison read the following statement: "We acknowledge that we are gathering here on the traditional territory of the Secwepemc people, with whom we share these lands and where we live and work together."

#### 3. Approval of Agenda and Additional Items

Moved: Joe Johnson

Seconded: Steve Fabro

THAT: the Agenda for the March 7, 2022 Active Transportation Task Force Meeting be approved as circulated.

CARRIED UNANIMOUSLY



**4. Approval of minutes from February 7, 2022**

Moved: Camilla Papadimitropoulos

Seconded: David Major

THAT: The minutes of the Active Transportation Committee Meeting of February 7, 2022 be approved.

CARRIED UNANIMOUSLY

Blake Lawson entered the meeting at 10:06 a.m.

Gary Gagnon entered the meeting at 10:10 a.m.

**5. Presentations**

Sarah Freigang, Transportation Planner, Urban Systems, outlined the preliminary Active Transportation Network Plan and was available to answer questions from the Task Force.

**6. Old Business / Arising from Minutes****7. Sub-Group Updates**

a) RFP sub-group - no update

b) Interim Ideas Sub-Group - no update

**8. New Business**

- a) Share planning process with the Community  
Councillor Lavery spoke regarding the upcoming involvement of Urban Systems and its approach to public and stakeholder engagement Active Transportation Plan. Councillor Lavery will organize a list of potential volunteers from the Task Force and coordinate this with Chris Larson. The support of this process by the Task Force was discussed.

**9. Other Business &/or Roundtable Updates, Ideas and Questions****10. Next Meeting**

The next meeting of the Active Transportation Task Force will be April 4, 2022 at 10:00 a.m.

**11. Adjournment**

Moved: Joe Johnson

Seconded: Steve Fabro

THAT: the March 7, 2022 Meeting of the Active Transportation Task Force be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 11:12 a.m.

---

Mayor Alan Harrison, Co-Chair

---

Councillor Tim Lavery, Co-Chair

Received for information by Council the       day of       , 2022.

Item 8.1

## CITY OF SALMON ARM

Date: March 14, 2022

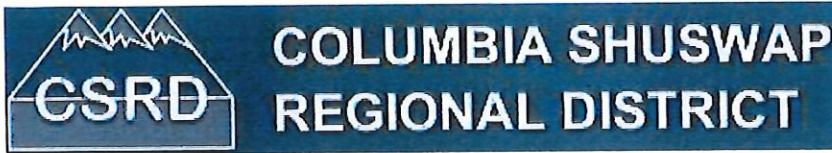
Board in Brief – February 2022

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



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## #YourCSR - February 2022

February 2022



[Web version](#)

## Highlights from the Regular Board Meeting

### Business arising from the Minutes

#### Federation of Canadian Municipalities (FCM) Annual Conference and Trade Show Attendance

The Board approved Directors Karen Cathcart, David Brooks-Hill and Rhona Martin to attend the FCM Conference to be held in Regina, Saskatchewan from June 2-5.



### Correspondence

#### SILGA 2022 Convention

Rather than draft a resolution for the Southern Interior Local Government Association

(SILGA), the Board approved a motion to send a letter to the Ministry of Forests, Lands, and Natural Resource Operations and Rural Development asking for improved public notification of blasting activities on logging roads.

The Board approved sending a resolution to SILGA calling for the Provincial government to increase funding to BC library systems.

## Committee Reports and Updates

### Committee of the Whole Meeting (January 26, 2022) Recommendations

The Board supported motions coming out of budget discussions to add a 0.29 Clerical Assistant position to the Finance Department and a full-time Freedom of Information and Records Clerk position for the Corporate Administration Department.

## Business General & Business by Area

### Shuswap North Okanagan Rail Trail Governance Advisory Committee

This item was postponed to the March 17, 2022 Regular Meeting.

### Grant-in-Aid Requests

The Board approved allocations from the 2022 electoral grant-in-aid budget for projects in Electoral Areas A, C, D, E and F. [View report.](#)

### Electoral Area C: Area C Community Works Funds – Notch Hill Town Hall Association

The Board approved spending \$32,563 plus applicable taxes from the Area C Community Works Fund for a new water well and treatment system at the Notch Hill Town Hall. [View report.](#)

### Electoral Area E: Sicamous and District Recreation Centre Fitness Centre Equipment Upgrades – Community Works Fund

The Board approved spending \$67,000 plus applicable taxes from the Electoral Area E Community Works Fund allocation for upgrades to the fitness centre at the Sicamous and District Recreation Centre. [View report.](#)

### Electoral Area F: Scotch Creek Water System Negotiated RFP Design and Engineering Services

The Board approved allocating \$60,000 plus applicable taxes from the Electoral Area



Feasibility Study Fund for design and engineering services for the new Scotch Creek Water System. [View report.](#)

#### **Electoral Area D: Electoral Area D Community Works Fund – Energy Efficient Upgrades for the Ranchero Deep Creek Fire Hall**

The Board approved spending up to \$45,000 plus applicable taxes from the Electoral Area D Community Works Fund allocation for energy efficient upgrades to the Ranchero Deep Creek Fire Hall Building. [View report.](#)

#### **Electoral Area C: South Shuswap Rides Program**

The Board supported in principle an application by the CSRD under the Rural Transit Solutions Fund on behalf of the South Shuswap Transportation Society (SSTS), subject to the following conditions:

- A formal request from an authorized signatory of the SSTS, requesting that the CSRD sponsor an application to purchase a second passenger vehicle,
- Receipt of a completed application to the extent possible. Any detail that will need to be completed by the CSRD will be handled by the CSRD,
- Confirmation from the SSTS that the Society has available funding on-hand to meet its 20 per cent funding commitment under the program.

Electoral Area C Director Paul Demenok declared a conflict of interest on this matter as he is a Director of the society. He did not participate in discussions or vote on this matter.

## **Administration Bylaws**

#### **Whitetooth Ski Hill Legacy Fund Administration Amendment Bylaw No. 5841, 2021**

The Board approved the bylaw amendment, which will include the concurrence of the Town of Golden on any funding application approvals for the use of the Whitetooth Ski Hill Legacy Funds. [View bylaw.](#)

#### **All Areas: General Local Government Election and Other Voting Amendment Bylaw No. 5844, 2022**

The Board approved a bylaw which will allow mail ballot voting at the request of an eligible voter. Previously there had been some eligibility criteria for citizens looking to vote by mail. [View bylaw.](#)

## **Delegations**

#### **Community Wildfire Reduction Plan for Area A**

Brin Farrell and Louis Orioux from BA Blackwell and Associates Ltd. presenting the

Community Wildfire Resilience Plan for Area A. [View presentation.](#)

### **Kicking Horse Canyon Project Update**

A presentation was made to the Board by the Kicking Horse Canyon Project Team and Ministry of Transportation and Infrastructure regarding recent and upcoming construction, traffic management, and alternate routes.



## **LAND USE MATTERS**

### **Business General**

#### **Electoral Area E: BC Timber Sales Wiseman Creek Referral**

The Board made a recommendation to the Ministry of Forests, Lands, Natural Resource Operations and Rural Development that a moratorium be placed on logging activity in the Sicamous and Wiseman Creek Community Watershed areas due to the high geohazard risk created by the 2021 Two Mile Creek Fire. [View report.](#) [View press release.](#)

### **Development Permits (DPs), Temporary Use Permits (TUPs) & Development Variance Permits (DVPs)**

#### **Electoral Area B: Temporary Use Permit No. 850-15**

The owners of 1850 Westerburg Road in South Revelstoke have applied for a TUP for the owners to continue living in an existing single family dwelling (a double-wide mobile home) on their property while a new single-family dwelling is being constructed. The Board approved the TUP with conditions designed to ensure the proper removal of the mobile home once the new construction is complete. [View report.](#)



### **Electoral Area B: Development Variance Permit No. 851-09**

The subject property is located at 517 Vancouver Street in Trout Lake. The property owners have applied to reduce the minimum setback for the east exterior side parcel boundary from 4.5 m to 0.30 m, only for a new accessory building wall, and from 1 m to 0 m, only for the eaves of a new accessory building. The Board approved issuance of the DVP. [View report.](#)

### **Electoral Area F: Development Variance Permit No. 650-42**

The subject property is located at 7720 Squilax-Anglemont Road in Anglemont. The property owner reconstructed an existing deck which is located within the east interior side parcel boundary setback. The owner is also proposing to construct a new accessory building (2-car garage) with a breezeway attaching the building to the existing single-family dwelling. This application has been made to vary to the maximum parcel coverage from 30% to 34.6% to allow for the construction of the new accessory building and breezeway, and to vary the east interior side parcel boundary from 2.0 m to 0.10 m to recognize the location of the reconstructed deck. It is also proposed to recognize the location of the existing single-family dwelling within the west interior side parcel boundary from 1.0 m to 0.54 m, only for the eaves of the dwelling, and from 2.0 m to 1.51 m, only for the exterior wall of the dwelling.

The Board approved variances to parcel coverage up to 34.6% and minimum setbacks from the west interior side parcel boundary, but did not approve the variance to the east interior side parcel boundary which contains the reconstructed deck. [View report.](#)

### **Electoral Area A: Development Variance Permit No. 641-50A**

The two subject lots, located at 1753 Oberg Johnson Road, Blaeberry, are part of a three-lot boundary adjustment subdivision. This application requested a variance to the provisions of Part 8 – Assessment and Demonstration of Potable Water of Bylaw No. 641, which would allow for an exemption from proof of water requirements for these two proposed lots, which would be serviced by wells that do not meet the exemption provisions. The Board approved issuance of the DVP. [View report.](#)

## **Zoning, OCP and Land Use Amendments**

### **Electoral Areas A, B, C, D, E, & F: Subdivision Servicing Bylaw No. 680**

Subdivision Servicing Bylaw No. 680 replaces the current Subdivision Servicing Bylaw No. 641. It is designed to streamline previous regulations and improve its ease of use of the bylaw, while ensuring that the creation of new lots is done in a safe, sustainable manner. The Board unanimously approved adoption of the bylaw. [View report.](#)

### **Electoral Area E: Electoral Area E Official Community Plan Bylaw No. 840 and Electoral Area E Zoning Bylaw No. 841**

Directors voted unanimously to adopt the new Official Community Plan and Zoning Bylaw that applies to Electoral Area E (Rural Sicamous, Swansea Point and Malakwa). The new OCP and Zoning Bylaw replaces the land-use policies and regulations for the area previously covered by Rural Sicamous Land Use Bylaw No. 2000 and introduces new policies and regulations for the remainder of Electoral Area E. [View report](#). [View press release](#).

### **Electoral Area F: Lakes Zoning Amendment Bylaw No. 900-29F**

The subject property is located at Strata Plan EPS611, St. Ives. The property owners wanted to rezone their foreshore to allow for up to nine private mooring buoys and three floating docks. After Board discussion of the staff recommendation to allow one dock and nine buoys, the Board approved an amended motion to allow for two docks and nine buoys. [View report](#).

## **Release of In-Camera Resolutions**

The following resolutions were released from the In-Camera (Closed) session of the February 17, 2022 meeting:

THAT: Dylan Hardy and Veronika Stevenson be reappointed to the Revelstoke Area Economic Development Commission for a two-year term ending on February 28, 2024.

THAT: the Board empower the authorized signatories to enter into an agreement with Morrison Hershfield to complete a Solid Waste Management Plan Effectiveness Review for a total cost not to exceed \$45,462 plus applicable taxes.

THAT: the Board release the public statement from In Camera portion of the meeting. This statement was regarding the retirement of Charles Hamilton, Chief Administrative Officer of the CSR. It can be read [here](#).

## **NEXT BOARD MEETING**

The Regular CSR Board Meeting will be held Thursday, March 17, 2022 in the CSR Boardroom, 555 Harbourfront Drive NE, Salmon Arm. The Regular Board meeting public session generally starts at 9:30 AM.

Any scheduling changes to the meeting start time will be noted on the Events tab of the CSR's website.

In-person attendance is available to the public in accordance with current provincial health orders. Seating is limited and will be first-come, first-served.

The public is strongly encouraged to join the meeting via Zoom. Information on how to register for the Zoom meeting access is on the Events tab of the CSR website under the

Board meeting date.



Columbia Shuswap Regional District  
555 Harbourfront Drive NE, PO Box 978  
Salmon Arm, BC V1E 4P1  
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Item 9.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council approve the purchase of two (2) new replacement PLC's from Ramtech Environmental for the Trojan Swift 24 UV Reactors at the Water Plant. The quote includes materials, programming, configuration and testing of the new PLCs as well as travel and labour for a total price of \$23,155.40 plus applicable taxes;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of the material and to authorize sole sourcing of same to the provincial distributor of this product, Centrix Control Solutions.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



File: 2022-09

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TO: His Worship Mayor Harrison and Members of Council

FROM: Robert Niewenhuizen, Director of Engineering and Public Works

PREPARED BY: Gerry Rasmuson, Manager of Utilities

DATE: March 7, 2022

SUBJECT: **TROJAN UV PLC UPGRADE – WATER PLANT**

---

### **STAFF RECOMMENDATION**

**THAT:** Council approve the purchase of two (2) new replacement PLC's from Ramtech Environmental for the Trojan Swift 24 UV Reactors at the Water Plant. The quote includes materials, programming, configuration and testing of the new PLC's as well as travel and labour for a total price of \$23,155.40 plus applicable taxes.

**AND THAT:** The City's Purchasing Policy No. 7.13 be waived in the procurement of the material and to authorize sole sourcing of same to the provincial distributor of this product, Centrix Control Solutions.

---

### **BACKGROUND**

The Canoe Water Treatment Plant was placed online in May 2009 to treat the raw water from Shuswap Lake to meet the parameters specified under the Drinking Water Protection Act. The City utilizes a direct filtration process followed by Ultra Violet and Chlorine disinfection prior to distributing to the water network for consumption.

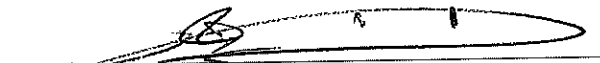
The Ultra Violet Disinfection process is accomplished through the use of two (2) Trojan UV Reactors. These units have been in operation since the Water Plant went online in 2009. The current System Controller Center (SCC) utilizes Allen Bradley L32e CompactLogix PLC's. These processors are now obsolete and require upgrading to the Allen Bradley CompactLogix L33er. This PLC replacement and upgrade to the UV disinfection process is critical to meeting Canadian Drinking Water Regulations and the upgrade has been approved in the 2022 Capital budget with an anticipated expenditure of \$25,000.

**STAFF COMMENTS**

Ramtech Environmental Products in Calgary are the Western Canada distributor for Trojan Technologies. As such, staff views this as a sole source project under Policy No. 7.13 Section 3 whereby it is a non-competitive situation due to the proprietary nature of the materials and required work to be performed.

Along with the new PLC's there will be the necessary programming of the software upgrades for a total price of \$22,155.40, plus applicable taxes. Not included in this price is an estimated air fare of \$1000.00 for the programmer to attend our plant to conduct the installation and programming, Freight costs are still to be determined.

Respectfully submitted,

  
Robert Niewenhuizen, ASCT  
Director of Engineering and Public Works

cc. Chelsea Van de Cappelle, CFO



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Item 9.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: The 2022 Budget contained in the 2022 – 2026 Financial Plan Bylaw be amended to increase the scope and budget of the 16 Avenue NE (16 St – 10 Ave) Sidewalk Upgrade to Multi-use path project budget in the amount of \$395,000.00 to be funded from the following source:

- \$360,000.00 Building Canada Active Transportation Fund Grant
- \$40,000.00 Cenotaph Intersection (Budget \$40,000.00)

AND THAT: Council authorize submission of a grant application under the Building Canada – Public Transportation, Active Transportation Fund for the 16 Avenue NE (6 Avenue– 20 Street NE) Sidewalk Upgrade to Multi-use path project, estimated cost \$605,000.00 plus taxes.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



TO: His Worship Mayor Harrison and Members of Council  
FROM: Robert Niewenhuizen, Director of Engineering and Public Works  
PREPARED BY: Jennifer Wilson, City Engineer  
DATE: March 3, 2022  
SUBJECT: **Building Canada – Public Transportation – Active Transportation Fund**

---

**RECOMMENDATION:**

**THAT:** The 2022 Budget contained in the 2022 - 2026 Financial Plan Bylaw be amended to increase the scope and budget of the 16 Ave NE (16 St – 10 Ave) Sidewalk Upgrade to Multi-use path project budget in the amount of \$395,000 to be funded from the following source:

- \$360,000.00 Building Canada Active Transportation Fund Grant
- \$40,000.00 Cenotaph Intersection (Budget \$40,000)

**AND THAT:** Council authorize submission of a grant application under the Building Canada – Public Transportation, Active Transportation Fund for the 16 Ave NE (6 Ave -20 Street NE) Sidewalk Upgrade to Multi-use path project, estimated cost \$605,000.00 plus taxes;

**BACKGROUND:**

The Government of Canada have recently announced an intake for grant applications for the Building Canada – Public Transportation - Active Transportation Fund program (ATF).

The ATF is to help support a modal shift away from cars and toward active transportation in support of Canada's National Active Transportation Strategy. Funding for municipalities is available up to a maximum 60% cost-share up to a maximum of \$50,000,000. There is no limit on the number of applications that a municipality can submit and projects of a like kind can be bundled.

Eligible projects will be evaluated against the following merit Criteria:

- Improved community connectivity and accessibility
- Economic benefits (Employment opportunities, tourism, active trans to business district)
- Environmental and Climate Benefits (GHG reductions; land use intensification, protection of green spaces, use of green technologies)
- Improved Use Mobility and Support of a Safe and Secure Environment (safety or security issues addressed, ensure safe and secure environment for vulnerable populations)
- Viability (part of AT strategy, significant community support, planning work is in an advanced state)



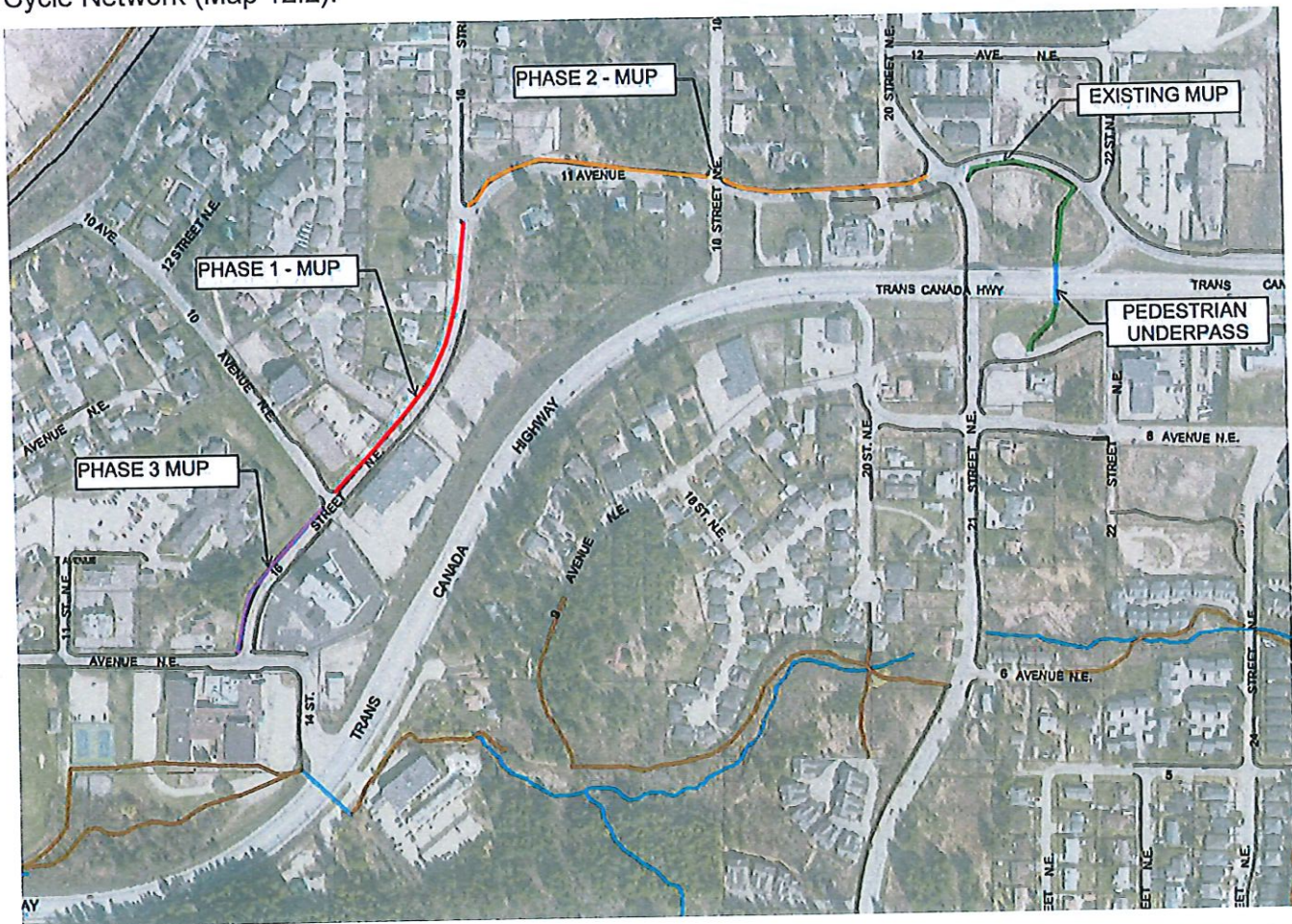
Projects are not required to be shovel ready, but as noted above, the state of the project planning is a consideration in the award of the funding. All project work must be completed by March 31, 2026.

The deadline for grant applications is **March 31, 2022**.

Potential Projects for submission:

### **16 Street/11 Ave NE sidewalk upgrade to Multi-Use Path**

The 2022 Capital Budget included the 16 Ave NE (16 St – 10 Ave) sidewalk, curb & gutter project in the amount of \$205,000. The scope of work included replacing the curb & gutter and sidewalk along the subject portion of roadway with a 3.0m offset multi-use path. This project is Phase 1 of a planned 3-Phase project to replace the deteriorating sidewalk on the north side of the roadway from the intersection of 16 Street & 6 Avenue NE (high school) to 20 Street & 11 Avenue NE (RCMP Station), refer to figure below. This route is identified in the Official Community Plan as a key corridor within our Cycle Network (Map 12.2).



The total project value is estimated at \$605,000, which would require an additional \$ 40,000 to be funded by the City to meet our required 40% contribution. The Cenotaph Intersection is being delayed to insufficient budget to complete the project.

A successful Building Canada ATF grant would allow all three phases to be completed with a small amount of additional City funding.

**STAFF COMMENTS**

Staff recommend that Council authorize submission of a grant application under the Building Canada Public Transportation, Active Transportation Fund for the 16 Ave NE (6 Ave -20 Street NE) Sidewalk Upgrade to Multi-use path project, estimated cost \$605,000.00. The project already has substantial city funding committed and increases connectivity between schools, downtown, Recreation Centre, etc., making the project a good fit for the Building Canada ATF grant.

Respectfully submitted,



---

Robert Niewenhuizen  
Director of Engineering and Public Works

cc Chelsea Van De Cappelle, CFO

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Item 9.3

## CITY OF SALMON ARM

Date: March 14, 2022

Director of Development Services  
RFP – City of Salmon Arm Active Transportation Network Plan  
For Information

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond






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To: His Worship Mayor Harrison and Members of Council

Date: March 3, 2022

Subject: RFP – City of Salmon Arm Active Transportation Network Plan

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**Background:**

Using the Request for Proposals (RFP) document developed with the Active Transportation Task Force (Appendix 1), City staff advertised for the services of a qualified consulting team to create an ATNP with a budget of \$100,000.00 via BCBid. Six (6) submissions were received by the January 28, 2022 deadline:

<u>Company</u>	<u>Quote</u>	<u>Rank</u>
Urban Systems Ltd.	\$ 99,549, plus GST	1
EXP Services	\$ 99,040, plus GST	2
Bunt & Associates	\$ 89,900, plus GST	3
WATT Consulting Group	\$ 75,170, plus GST	4
ISL Land Services	\$ 94,330, plus GST	5
Copenhagenize Design	\$101,200, plus GST	6

At the February 28, 2022 Regular Council meeting Staff recommended and Council moved that Urban Systems Ltd. be awarded the contract to complete an Active Transportation Network Plan (ATNP) for a fee of \$99,549.00 (plus GST).

The memo to Council dated February 24, 2022 noted in error that 3 submissions were compliant with the RFP requirements. In fact, all 6 submissions met the mandatory criteria of the RFP. As a correction and for transparency, the rank of all 6 submissions received is provided here for Council's information.

All submissions received were independently reviewed and ranked by staff, with the top ranked submissions remaining consistent and unchanged.

 A handwritten signature in black ink, appearing to read "Kevin Pearson", is written over a horizontal line.
 

Kevin Pearson, MCIP, RPP  
Director of Development Services

Item 11.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4503 be read a final time.

[Parking Charges and Rates]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond





File: 0360.30.02

TO: His Worship Mayor Harrison and Members of Council

FROM: Rob Niewenhuizen, Director of Engineering and Public Works

DATE: February 11, 2022

SUBJECT: **AMENDMENT TO THE FEE FOR SERVICE BYLAW NO. 2498 – DOWNTOWN PARKING RATES**

## RECOMMENDATION

**THAT:** “City of Salmon Arm Fee for Service Amendment Bylaw No. 4503” be read a first, second and third time.

## BACKGROUND:

The Downtown Parking Plan was completed by ISL Engineering & Land Services in August of 2021. The Downtown Parking Commission (DPC) in reviewing the Salmon Arm Downtown Parking Plan (Plan) have made a recommendation to City Council to increase the “on-street” and “reserved” off street parking lot rates. These increased rates will allow more resources to further enhance the efficiency of the parking systems including investments in advanced parking meter technology and enforcement.

It has been well over 20 years since any of the parking rates have been modified or increased. The existing on-street parking fee within the City of Salmon Arm (City) downtown area is currently \$0.25 per hour. As per the Plan, this is significantly lower than the average fee for similar municipalities (Appendix A – Excerpt from the Plan).

The Plan does not specifically address reserved off-street parking rates, however staff have conducted an internal survey of reserved rates of the same comparable municipalities surveyed within the Plan and note that the City is again below the average (Appendix B).

Staff are proposing an amendment to establish new parking rates effective, **July 1, 2022:**

	Current	Proposed
On-Street Parking Meter Rate	\$0.25	\$1.00
Reserved Off-Street Parking Stalls	\$25.00 per Month*	\$50.00 per Month*
Reserved, Personalized Off-Street Parking Stalls	\$35.00 per Month*	\$60.00 per Month*

\*Plus taxes as applicable

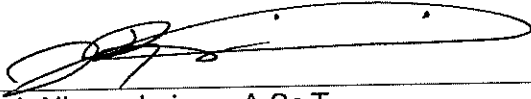
It is also recommended that the City no longer offer a 10% discount for the purchase of a six (6) month reserved parking pass, which is also consistent with comparable municipalities.

**Fee For Service Amendment – Downtown Parking Rates**

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Following the adoption of the recommended parking rates, notice will be provided to all existing reserved parking pass holders, advertised on the City social media platforms, posted at City Hall and on the City website.

We respectfully recommend that Schedule B, Appendix 3, Subsection 5 of the Fee for Service Bylaw No.2498 be amended to reflect the revised downtown parking rates as recommended by the DPC.



---

Rob Niewenhuizen, A.Sc.T.  
Director of Engineering and Public Works

cc Chelsea Van De Cappelle, Chief Financial Officer

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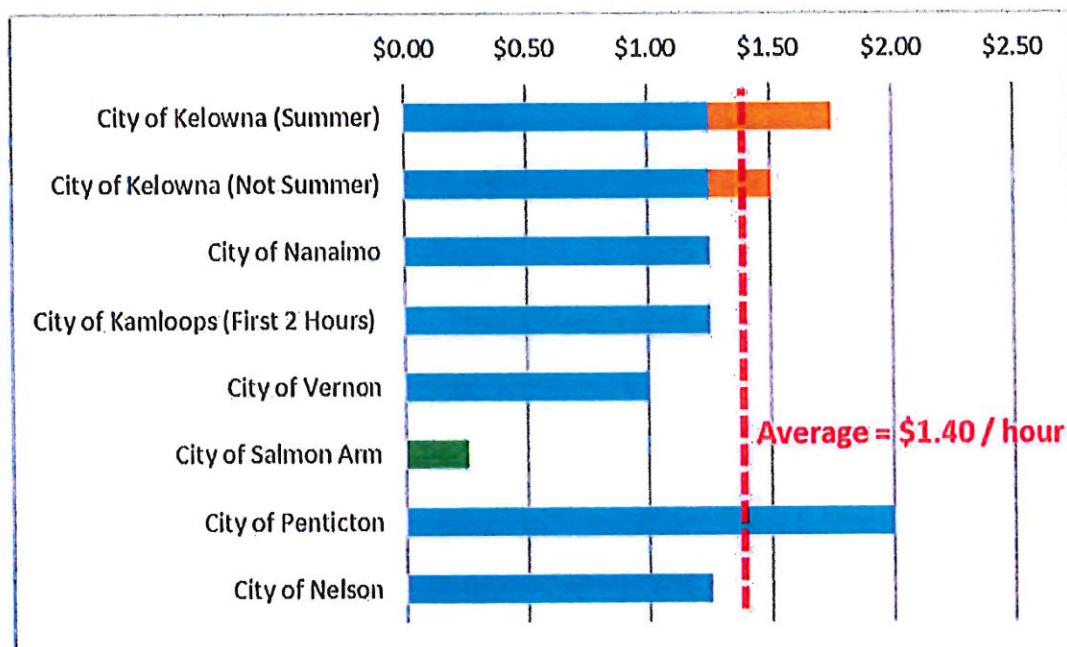


Figure ES.1: Downtown Parking Fee for Comparable BC Municipalities

Based on the review of similar BC municipalities, there is an average on-street parking fee of \$1.40 per hour during the first two hours. The existing parking fee within the City of Salmon Arm downtown area is currently \$0.25 per hour, significantly lower than the average fee for similar municipalities. With the recent public survey results in mind, the implementation of paid on-street parking should be accompanied with an educational initiative, potentially in collaboration with the Downtown Business Association and Downtown Parking Commission, to discuss the benefits of implementing paid parking and how the additional revenue generated will positively impact the surrounding local businesses.

A memo (*Parking Enforcement Technologies*) prepared by the City of Salmon Arm was reviewed in order to identify potential types of methods and technologies that could be implemented including Single Space Metering (Smart Meter) and the multi-space metering (kiosk-based metres). Some basic assumptions were applied when calculating the Cost-Benefit for the two potential parking technologies (i.e., Smart Meter versus Kiosk-based Meter) and the summary can be found in **Table ES.1**.

Overall, it was found that both technologies will have a similar cost per space and the estimated payback period for both technologies will be short; 1 year, 1 months for the Kiosk-based meters and 1 year and 5 month for the smart meter.

Fee For Service Survey  
Reserved Off-Street Parking

## Appendix B

Comparable Municipality	Reserved Type	Monthly Rate	Average	Average
City of Kelowna	Off Street Res.	\$ 150.00	\$ 115.90	
	Random Permit	81.79		
City of Nanaimo	Off Street Res.	60.00	60.00	
City of Kamloops	Off Street Res.	40.00 - 75.00	55.83	
City of Vernon	Off Street Res.	60.00	60.00	
City of Penticton	Off Street Res.	50.00 - 60.00	55.00	\$ 69.35
City of Nelson	Parkade Only	100.00	100.00	

## CITY OF SALMON ARM

BYLAW NO. 4503**A bylaw to amend "District of Salmon Arm Fee for Service Bylaw No. 2498"**

WHEREAS it is deemed desirable and expedient to alter the fees imposed by "District of Salmon Arm Fee for Service Bylaw No. 2498";

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. Schedule "B", Appendix 3 - Miscellaneous Fee Schedule, Subsection 5 of "District of Salmon Arm Fee for Service Bylaw No. 2498" is hereby deleted in its entirety and replaced with Schedule "B" Appendix 3 - Miscellaneous Fee Schedule, Subsection 5 attached hereto and forming part of this bylaw.

5.	<b>Pay Parking</b> Per hour	\$1.00
	<b>Hudson Avenue NW Parking Lot (Salmar Lot)</b> Reserved - per month Reserved - per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>Marine Park NE Parking Lot</b> Daily Regular Truck and Trailer and/or Motorhome	\$4.00 (GST included) \$6.00 (GST included)
	<b>Inner Core NE Parking Lot</b> Reserved - per month Reserved - per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>Avon NE Parking Lot</b> Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>4th Street NE Parking Lot</b> Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST
	<b>Firehall No. 3 Parking Lot</b> Reserved - Per month Reserved - Per month (personalized)	\$50.00 plus GST \$60.00 plus GST

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

Fee for Service Amendment Bylaw  
(Parking Rates) No. 4503

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force on July 1, 2022.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Fee for Service Amendment Bylaw No. 4503".

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS 28 DAY OF February 2022

ADOPTED BY COUNCIL THIS DAY OF 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

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Item 11.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4504 be read a final time.

[Curbside Collection]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



# CITY OF SALMON ARM

To: Mayor Harrison and Members of Council  
 Date: February 14, 2022  
 From: Chelsea Van de Cappelle, Chief Financial Officer  
 Subject: Fee for Service Amendment – Curbside Collection Fee's

## Recommendation

That: Bylaw No. 4504 cited as "City of Salmon Arm Fee for Service Amendment Bylaw No. 4504" be given 3 readings.

## Background

As Council is aware, the City introduced Food Waste Collection in July of 2019. The program has been running successfully and as expected, the City has seen a reduction in garbage tonnage taken to the landfill. At this time, Council adopted a Fee for Service Amendment (Current Fees) related to Curbside Collection. While the fees have been reviewed annually, no changes were recommended since this time.

Following a review of the City of Salmon Arm Fee for Service charges associated with Curbside Collection this year, it has been determined that the cost associated with the procurement of Additional Food Waste Containers has increased. This increased pricing is a result of an unprecedented rise in the market price of resin due to material shortages. An amendment to the Fee for Service Bylaw is required in order to ensure full cost recovery. Staff are proposing an amendment to establish a revised charge for Additional Food Waste Containers.

	Current Fee	Proposed Fee
Curbside Household	\$101.00 per year	\$101.00 per year
Additional Food Waste Container	\$25.00 plus GST and PST per container	\$30.00 plus GST and PST per container
Additional Food Waste Collection	\$60.00 per year per additional container	\$60.00 per year per additional container
Extra Food Waste Tag	\$3.00 per tag	\$3.00 per tag
Extra Refuse Tag	\$3.00 per tag	\$3.00 per tag

During the preparation of the 2022 Budget, staff reviewed the annual Curbside Household fee and Additional Food Waste Collection fee and while the program as a whole is projecting a deficit in

2022, staff recommended that this deficit be offset by a transfer from the Solid Waste and Recycling Reserve rather than a fee increase at this time.


The reserve was established as a result of past surpluses within the Solid Waste and Recycling function. The intent of the reserve is to absorb further increases to expenditures associated with the collection of solid waste and recycling and service changes. The reserve also serves as a contingency plan when and if the Recycle BC program is phased out or eliminated. The reserve also provides the City with flexibility to address future issues or cost implications without impacting the users in terms of:

- Opportunities to gather user data and establish historical trends for decision-making;
- Tipping fee increases to projected expenditure levels;
- Contract changes and increases;
- Cushion future cost increases associated with:
  - Conversion of sanitation vehicles from diesel fuel to natural gas;
  - Program expansion;
  - Further expansion of the organic yard waste collection;
  - Continued advertising/educational campaign to enhance and promote recycling and reduction of solid waste; and
  - Recycling audit, etc.

Staff do not recommend a change to the Extra Refuse/Food Waste Tag fees as they are currently consistent with those charged by the CSRD at the landfill.

We respectfully recommend that Schedule B, Appendix 10 – Curbside Collection, Section 3 of the Fee for Service Bylaw No. 2498 be amended to reflect the increase in costs associated with Additional Food Waste Containers.

Respectfully Submitted,

  
\_\_\_\_\_  
Chelsea Van de Cappelle, CPA  
Chief Financial Officer

## CITY OF SALMON ARM

### BYLAW NO. 4504

A bylaw to amend "District of Salmon Arm Fee for Service Bylaw No. 2498"

---

WHEREAS, it is deemed desirable and expedient to alter the fees imposed by "District of Salmon Arm Fee for Service Bylaw No. 2498";

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled enacts as follows:

1. Schedule B - Appendix 10 - Curbside Collection Fee, Section 3 of "District of Salmon Arm Fee for Service Bylaw No. 2498" is hereby deleted in its entirety and replaced with Schedule B - Appendix 10 - Curbside Collection Fee, Section 3 attached hereto and forming part of this bylaw.

#### SEVERABILITY

2. If any portion of this Bylaw is held invalid by a Court of competent jurisdiction, then that invalid portion shall be severed and the remainder of this Bylaw shall be deemed to have been adopted without the severed portion.

#### ENACTMENTS

3. Any enactments referred to herein is a reference to an enactment of British Columbia and regulations thereto, as amended, revised, consolidated or replaced from time to time.

#### EFFECTIVE DATE

4. This Bylaw shall come into full force and effect upon adoption of same.

CITATION

5. This Bylaw may be cited as the "City of Salmon Arm Fee for Service Amendment Bylaw No. 4504"

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS 28 DAY OF February 2022

ADOPTED BY THE COUNCIL DAY OF 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

## BYLAW NO. 2498

## APPENDIX 10

## SCHEDULE "B"

## CURBSIDE COLLECTION FEE

3. The Curbside Collection Fee shall be as follows:

Curbside Household	\$101.00 per year
Additional Food Waste Container	\$30.00 plus GST and PST per container
Additional Food Waste Collection	\$60.00 per year per additional container
Extra Food Waste Tag	\$3.00 per tag
Extra Refuse Tag	\$3.00 per tag

Item 11.3

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Fee Zoning Amendment Bylaw No. 4489 be read a final time.

[ZON-1227; McCaffrey, A.; 6821 46 Street NE; R-1 to R-8]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond





To: His Worship Mayor Harrison and Members of Council

Date: January 13, 2022

Subject: Zoning Bylaw Amendment Application No. 1227

Legal: Lot 3, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597  
 Civic Address: 6821 46 Street NE  
 Owner/Applicant: A. McCaffrey

### STAFF RECOMMENDATION

**THAT:** a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 3, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R1 (Single Family Residential) to R8 (Residential Suite Zone).

**AND FURTHER THAT:** final reading of the zoning amendment bylaw be withheld subject to:

- 1) registration of an SRW, as required by BC Hydro, and
- 2) approval by the Ministry of Transportation and Infrastructure.

### PROPOSAL

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) in order to permit the development of a secondary suite within the existing single family dwelling.

### BACKGROUND

The subject property is located in the new Turtle Ridge subdivision in the Canoe neighbourhood (Appendix 1 & 2). The parcel is designated Residential Low Density in the City's Official Community Plan (OCP), and zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North:	Vacant lot	Zoned R1
South:	Vacant lot	Zoned R1
East:	Vacant lots, Single Family Dwelling	Zoned R1
West:	Vacant lot (future subdivision)	Zoned R1

The subject property is approximately 846.4m<sup>2</sup> in area. An approximate 236.0m<sup>2</sup> (2540ft<sup>2</sup>) single family dwelling is proposed. The proposed basement suite is 56.3m<sup>2</sup> (606ft<sup>2</sup>). The plans show that the entrance to the proposed suite will be on the south side of the building (Appendix 5). Drawings provided in support of the rezoning application are attached as Appendix 5. Parking is to be provided onsite in the proposed two-car garage and driveway. The site contains a 6.0m wide statutory right of way along the east property line. The right of way protects BC Hydro and Power Authority utility connections. The proposed development would not impact this right of way area. To date, there are no R-8 zoned properties in this subdivision and approximately ten (10) R8 properties within the greater Canoe community. Site photos are attached as Appendix 6.

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

### COMMENTS

#### Fire Department

No concerns.

#### Building Department

No concerns. British Columbia Building Code (BCBC) will apply.

#### FortisBC

No issues with this proposal.

#### Engineering Department

No concerns.

#### BC Hydro

BCH needs a blanket Distribution Statutory right-of-way.

#### Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

#### Planning Department

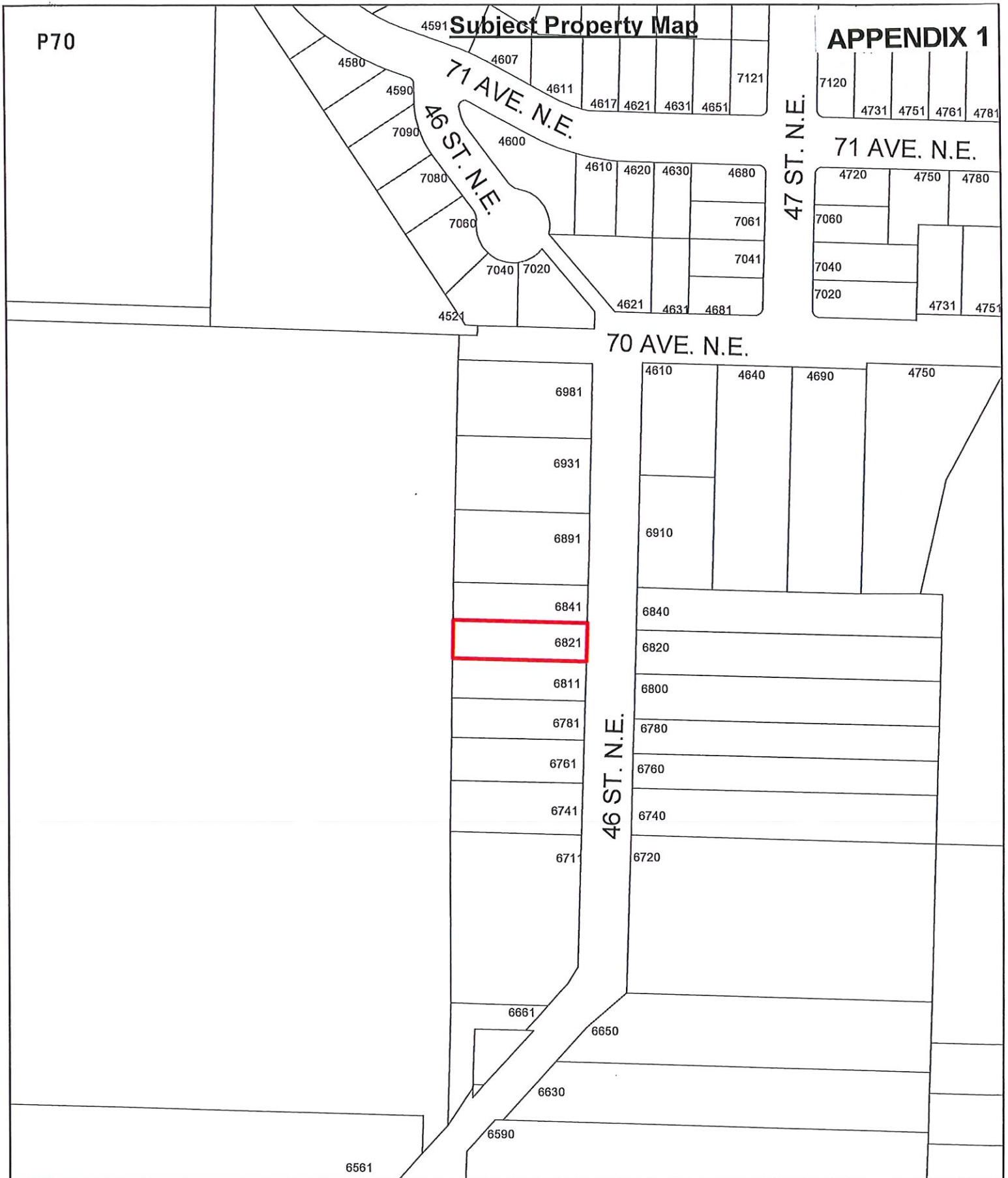
Based on parcel area, the subject property has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by the previously mentioned OCP policy and the proposed layout of the unit is compliant with zoning requirements, including an additional off-street parking space for the suite (on the proposed driveway). Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

  
Prepared by: Evan Chorlton  
Planner I  
Reviewed by: Chris Larson, MCIP, RPP  
Senior Planner

P70

# Subject Property Map

## APPENDIX 1

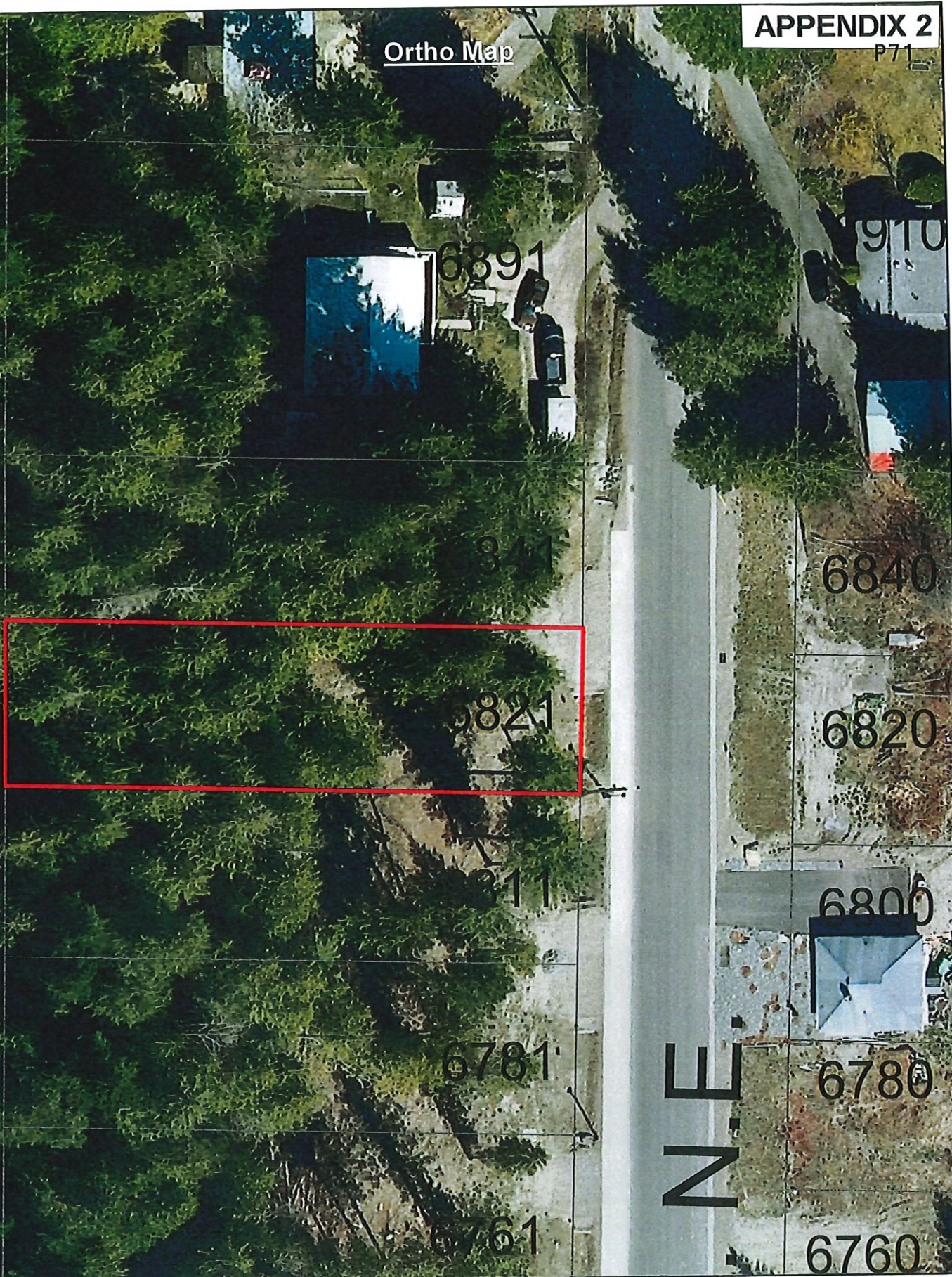


0 10 20 40 60 80 Meters

Subject Property  
 Parcels



Ortho Map



W  
N

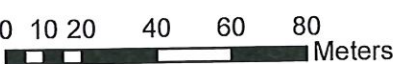
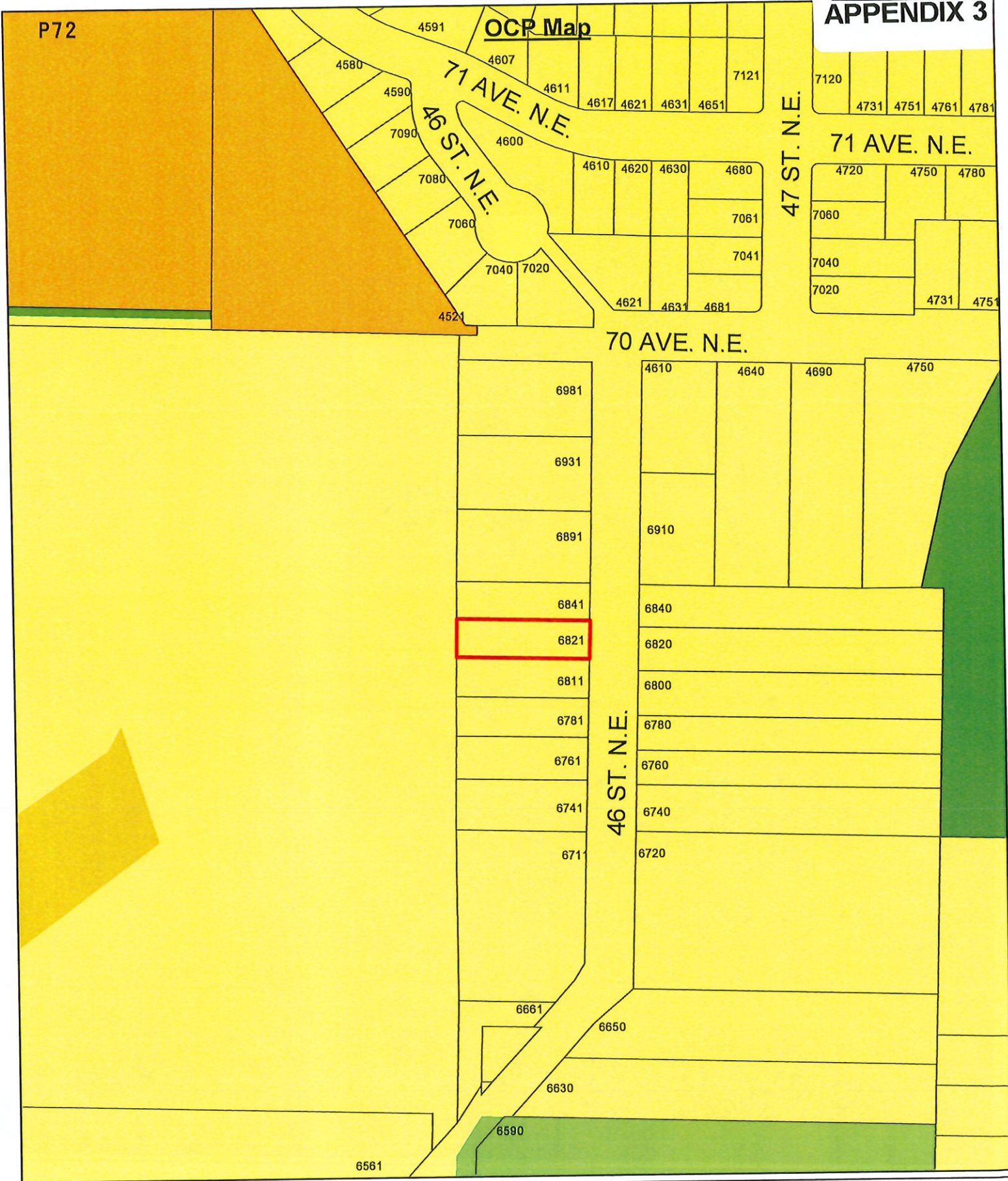


0 2.5 5 10 15 20 Meters

Subject Property  
 Parcels



OCP Map

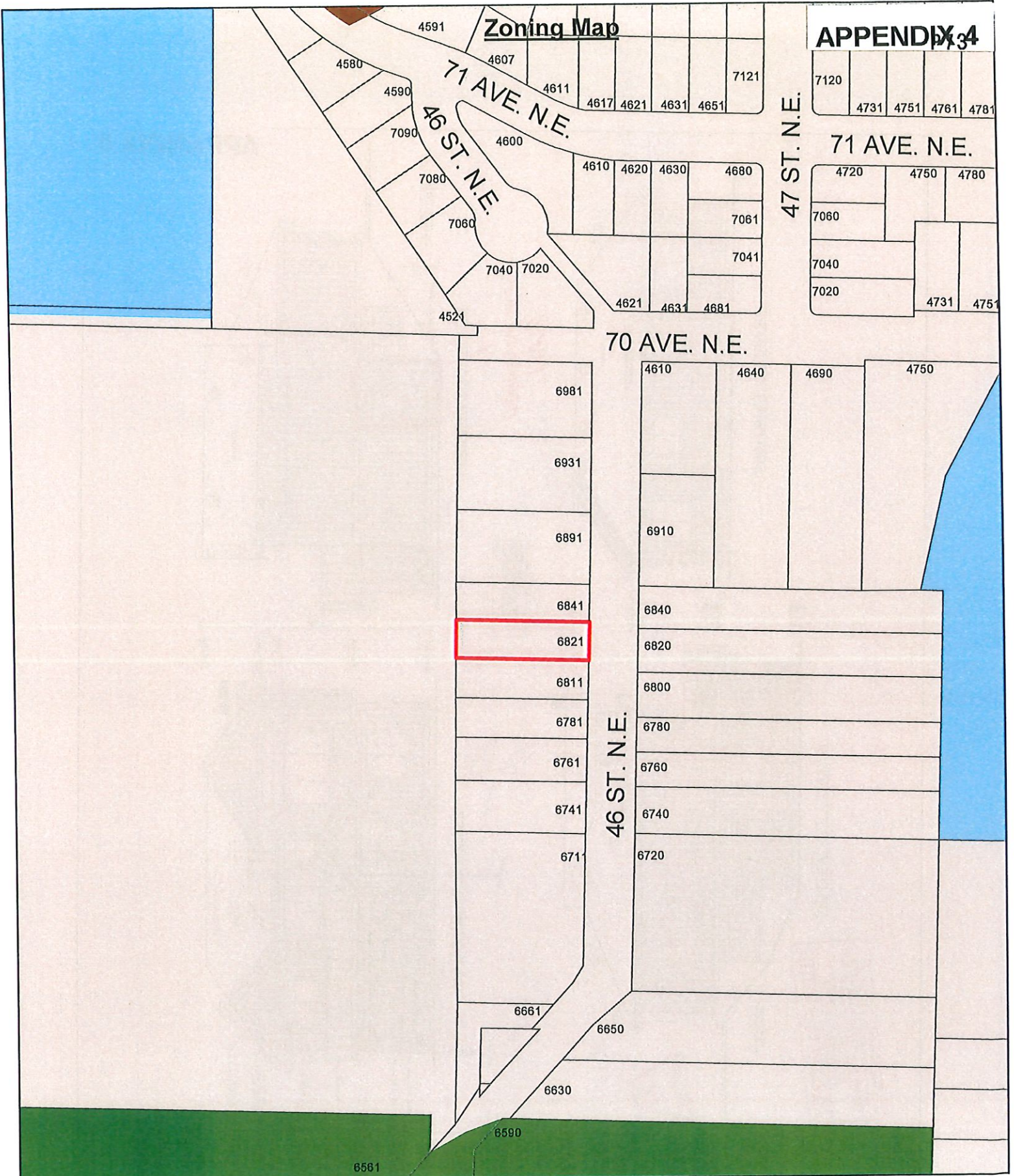


- Subject Property
- Parcels
- Community Park
- Park
- Neighbourhood Park
- Residential - Low Density
- Residential - Medium Density
- Acreage Reserve



# Zoning Map

## APPENDIX 34



0 10 20 40 60 80 Meters

Subject Property

Parcels

A-2

P-1

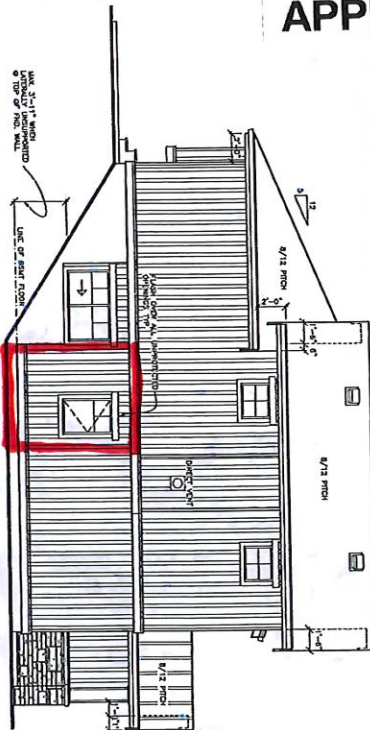
R-1

R-8



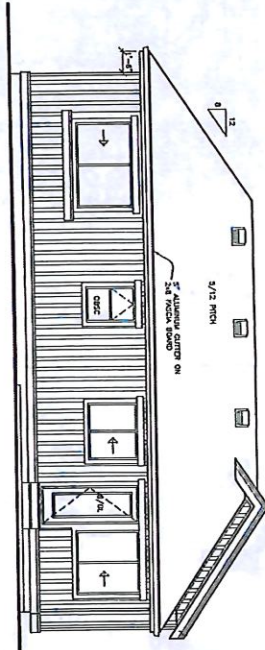
# APPENDIX 5

LEFT ELEVATION

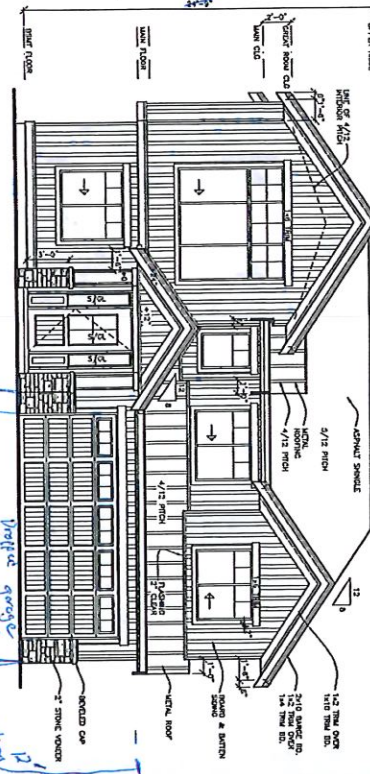


SEE AMENDED  
PLAN.

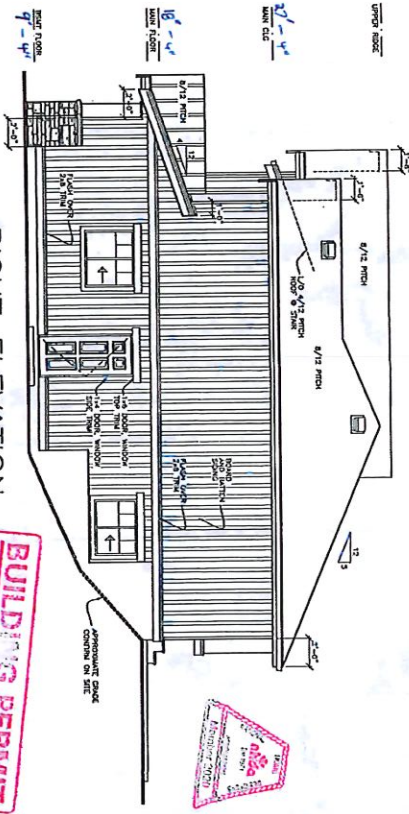
REAR ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



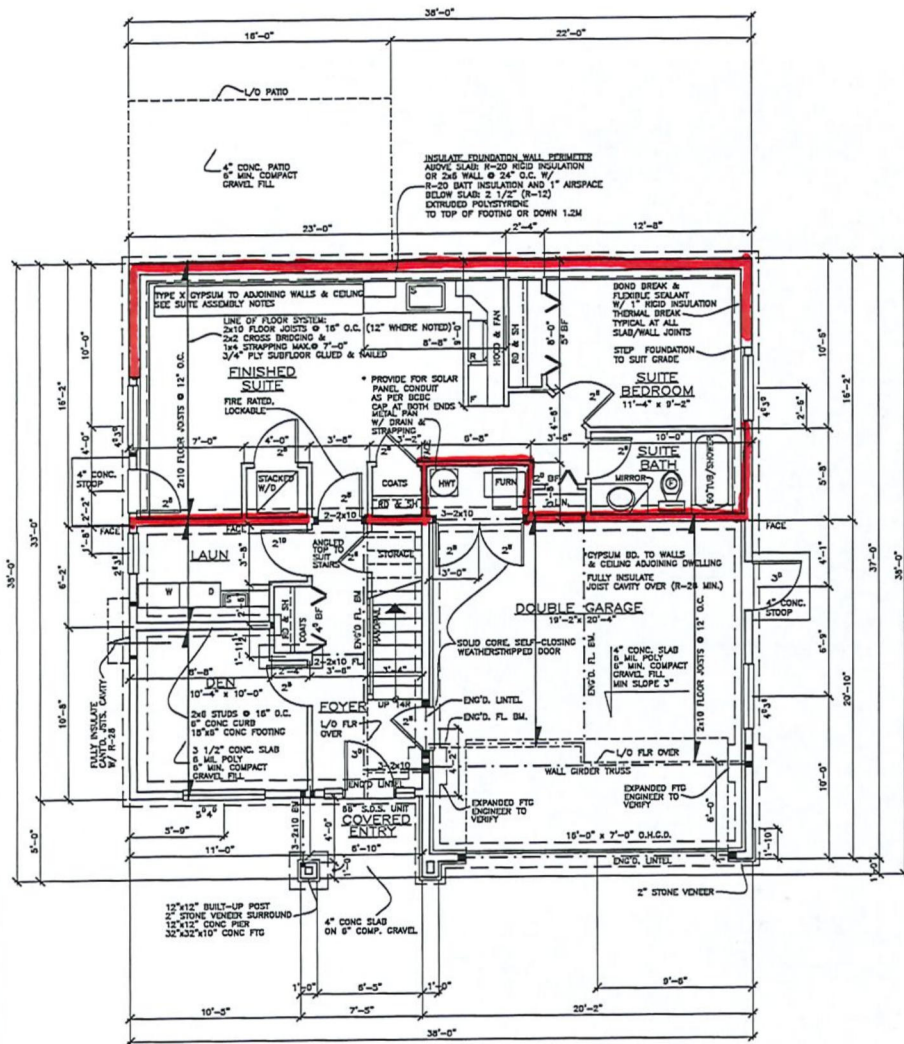
**BUILDING PERMIT**  
**COPY ONLY**  
THIS STAMP MUST APPEAR IN RED INK  
ON THE DOWN-SIDE OF THE PERMIT  
TO BE VALID.



**JENISH HOUSE DESIGN LIMITED**

HEAD OFFICE  
331-1111 CONNOR AVE.  
KILGORE, B.C. V1P 6A8  
TEL: 250-331-1111  
FAX: 250-331-1112

DATE	17
SCALE	1/4"=1'-0"
SHEET	4 OF 5
PLAN NUMBER	2-2-773
DATE	17
SCALE	1/4"=1'-0"
SHEET	4 OF 5
PLAN NUMBER	2-2-773
DATE	17
SCALE	1/4"=1'-0"
SHEET	4 OF 5
PLAN NUMBER	2-2-773



## BASEMENT/ FOUNDATION PLAN

SCALE: 1/4"=1'-0"

FINISHED AREA = 316 SQ. FT.

SUITE AREA = 606 SQ. FT.  
GARAGE AREA = 413 SQ. FT.

GARAGE AREA = 413 SQ. FT.

PROVIDE ROUGHEN SUBFLOOR DEPRESSURIZATION SYSTEM,  
4" GRANULAR FILL BELOW SLAB AND PROVIDE 4" PIPE WITH  
CONNECTION FOR FUTURE DEPRESSURIZATION EQUIPMENT AND AIRTIGHT CAP  
TO BE PASSIVELY VENTED TO EXTERIOR, TO BE TERMINATED OUTSIDE

**SECONDARY SUITE WALL AND CEILING ASSEMBLIES**  
**30 MINUTE FIRE RATING @ 43 STC**

**CEILING: 30 MINUTE FIRE RATING & 43 STC RATING**  
 BOBC TABLE 9.10.3.1-1 @ 785/c

- 2" x 10" FLOOR JOISTS
- RESISTENT METAL CHANNELS @ 24" O.C. (785/c)
- 1" MIN. F.C.W. MIN. 5" INSULATION IN CAVITY (785/c)
- 1 LAYER 5/8" TYPE X CYSPUM

FLOOR JOISTS  
 BATT INSULATION  
 RESISTENT METAL CHANNEL  
 TYPE X CYSPUM

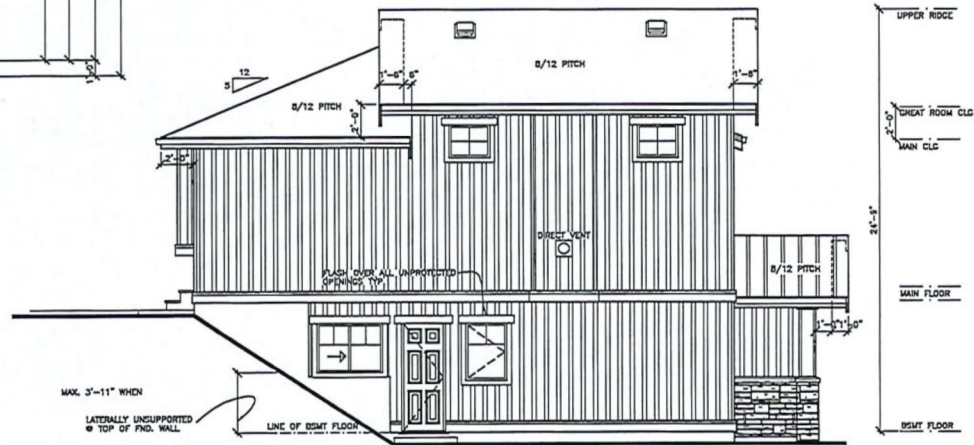
**2x4/2x8 DOORING WALL: 45 MINUTE FIRE RATING & 43 STC RATING**  
 BOBC TABLE 9.10.3.1-1 @ 785/c

- 2x4 @ 16" LAYER 1/2" TYPE X CYSPUM
- 2x4/2x8 STUDS @ 16" (OR 2x4 @ 5" W/ 3.5" INSULATION
- SIDE B RESISTENT METAL CHANNELS @ 24" (OR 2x4 @ 5")
- SIDE B 1 LAYER 1/2" TYPE X CYSPUM

2x4 STUDS (OR 2x4)  
 BATT INSULATION  
 RESISTENT METAL CHANNEL  
 TYPE X CYSPUM

**30 MINUTE FIRE RATED SEPARATING DOOR**

\* MUST PROVIDE PHOTOELECTRIC FIRE ALARMS,  
 WITH A FIRE RATING UNDER 90 MINUTES.



LEFT ELEVATION

NOTE:  
REMOVAL OF JHDL LOGO, TITLE  
BLOCK OR WATER MARK IS AGAINST  
CANADIAN COPYRIGHT LAWS



APPENDIX 6



46 STREET NE





46 STREET NE

24. STATUTORY PUBLIC HEARINGS

1. Zoning Amendment Application No. ZON-1227 [McCaffrey, A.; 6821 46 Avenue NE; R-1 to R-8]

The Director of Development Services explained the proposed Zoning Amendment Application.

A. McCaffrey, the applicant, outlined the application and was available to answer questions from Council.

Submissions were called for at this time.

Following three calls for submissions and questions from Council, the Public Hearing was closed at 7:33 p.m. followed by comments from Council.

## CITY OF SALMON ARM

### BYLAW NO. 4489

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on February 28, 2022 at the hour of 7:00 p.m. was published in the February 16, 2022 and February 23, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 3, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 Single Family Residential Zone to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.



5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4489"

READ A FIRST TIME THIS                      24th                      DAY OF                      January                      2022

READ A SECOND TIME THIS                      24th                      DAY OF                      January                      2022

READ A THIRD TIME THIS                      28th                      DAY OF                      February                      2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE    9th            DAY OF    March, 2022

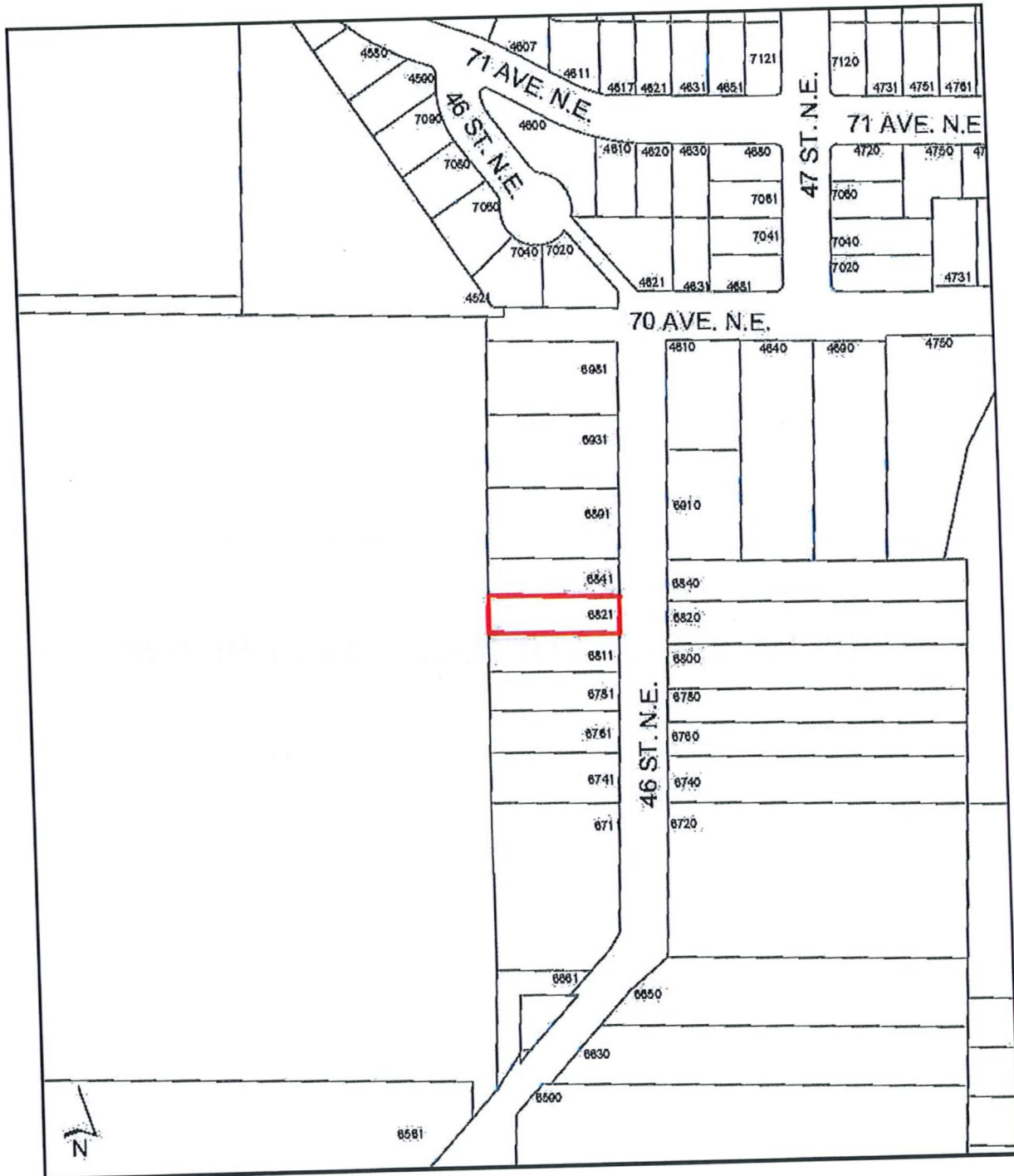
\_\_\_\_\_  
"E. KEAM"  
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS                      DAY OF                      2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

Schedule "A"



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## INFORMATIONAL CORRESPONDENCE – March 14, 2022

1.	Building Department – Building Statistics – February 2022	N
2.	Building Department – Building Permits – Yearly Statistics	N
3.	V. J. Howard – email dated February 25, 2022 – Transit route and transit ticket purchase locations	R
4.	L. Francis – email dated March 5, 2022 – Mobs of people	R
5.	C. Askew – email dated February 28, 2022 – Request for safety improvements	R
6.	C. Holowachuk – email dated March 8, 2022 – Housing	N
7.	M. Vroom, Shuswap Vintage Car Club – email dated March 8, 2022 – Shuswap Vintage Car Club car show	A
8.	M. Brock, Girl Guide Leader & District Commissioner – letter dated March 8, 2022 – Roadside clean-up	A
9.	T. Kutschker, Director/Curator – Salmon Arm Arts Centre – letter dated March 9, 2022 – Letter of Support for Salmon Arm Pride Project	R
10.	J. McEwan, Salmon Arm Fall Fair Manager – letter dated March 7, 2022 – Noise Bylaw Extension Request	A
11.	G. Nichols, PhD Candidate, Department of Population Medicine, Ontario Veterinary College, University of Guelph – email dated March 8, 2022 – Request to conduct tick research at two site in Salmon Arm	A
12.	K. Perez, Community Engagement Assistant, Parkinson Society British Columbia – email dated March 3, 2022 – Parkinson's Awareness Month 2022 Proclamation Request – City of Salmon Arm	S
13.	C. Dean, GBS/CIDP Liaison, GBS/CIDP Foundation of Canada – email dated March 7, 2022 – Proclamation Request	N
14.	Interior Health Info Bulletin – March 2, 2022 – New locations for COVID-19 vaccine clinics in the Interior	N
15.	A. Slater, General Manager, Southern Interior Local Government Association – email dated February 28, 2022 – 2022 SILGA Nomination Report	N
16.	FCM – email dated February 23, 2022 – Registration for AC 2022 launching tomorrow	R
17.	D. Sharman, BC Hydro – email dated February 25, 2022 – Southern Interior Community Relations Annual Report	N
18.	BC Multiculturalism and Anti-Racism Awards 2022 – Invitation	N
19.	S. Nichols, Corporate Officer, City of Maple Ridge – email dated February 28, 2022 – Mayor Morden to Minister Dix – Vaccine Restrictions	N
20.	B. Mader, Town of Oliver – letter dated February 22, 2022 – BC Wildfires Petition – Letter of Support	N
21.	C. Peters, BC anti-human trafficking educator, speaker, advocate – email dated March 9, 2022 – My script presentation to Federal Justice Committee re prostitution in Canada	N

N = No Action Required  
A = Action Requested

S = Staff has Responded  
R = Response Required

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Item 14.1

**CITY OF SALMON ARM**Date: March 14, 2022**Presentation 4:00 p.m. (approximately)**

**NAME:** Jennifer Broadwell, Manager, Ron Langridge, President and Althea Mongerson, Community and Membership Coordinator, Downtown Salmon Arm

**TOPIC:** 2021 Highlights, Year End Presentation

**Vote Record**

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond





Mayor and Council  
City of Salmon Arm  
PO Box 40  
Salmon Arm, BC V1E 4N2

March 8, 2022

Dear Mayor and Council

Downtown Salmon Arm 2021 Year End Presentation to Council

Amid the upheaval of normal operations, we welcomed familiar faces as the DSA staff structure received a refresh in 2021. Together, with the Board of Directors, we sought out meaningful programming to enhance the value for both members of and visitors to Downtown Salmon Arm.

As we adapted to the inevitable change of year two in a global pandemic and oppressive weather conditions, many of our traditional programs remained unable to proceed or required considerable restructuring. In lieu of providing you a comprehensive list of every activation of 2021, we have chosen to highlight the following few shared experiences.

*Small City, Big Growth*

With the success from the 2020 SUPPORT LOCAL campaign, several established downtown businesses were able to shift into new and larger retail spaces in 2021. As the year progressed, we welcomed more than 30 new businesses to the membership of Downtown Salmon Arm. This diverse business mix brought rejuvenation of empty storefronts into bustling spaces of commerce on what had been quiet city blocks.

Additionally, with overwhelming support from the City, we had an impressive thirteen outdoor dining patios, including five sidewalk cafés. This allowed some eateries within our business district the opportunity to explore alternative business hours.

*Small City, Big Support*

Our members remained our #1 priority. Acknowledging the need for clear and concise communication with both new and established members, we implemented a more effective strategy. We developed and distributed NEW MEMBER PACKAGES providing explanations and benefits of DSA membership, an overview of typical annual programming, introduction to Downtown Dollars, detailed parking map, and ways to become active members in their downtown community. We began implementing biweekly membership emails providing general information and updates on Downtown activity. And most importantly, we began regular in-person visits with our members to ensure they knew the team that is working on their behalf.

### *Small City, Big Network*

We celebrated the shift in our visitors' services and welcomed the Street Team and Mobile Outreach unit to downtown events. We value the vibrancy of their presence at local events and appreciate the advertising reach the mobile unit provides by taking our program materials to venues outside the downtown core.

Working with a renewed connection to COSA Bylaw, we implemented a new street entertainment program offering musicians' opportunities to perform while respectfully observing COSA noise and street solicitation bylaws. Working together allowed us to identify deficiencies in the program and work to increase awareness within our community of appropriate playing stations and conditions.

Collaborations with the Salmon Arm Fair enabled the first ever Salmon Arm Christmas Parade to roll through the streets of downtown lined with eager parade-goers and volunteers. We anticipate the growth of this seasonal community celebration for generations to enjoy.

Proud supporters, we were eager to participate again with the Salmon Arm Pride Project. The downtown community's response has been overwhelmingly strong to "find creative ways to include the whole community in furthering 2SLGBTQ+ awareness, visibility, and acceptance, using the arts as a binding force."

Gratefully, we accepted the invitation to participate in the community-wide wayfinding signage campaign initiated by MRDT and Salmon Arm Economic Development which included unifying downtown route communication.

### *Small City, Big Connections*

Most importantly, we acknowledge the vital intercommunication between our organization and City of Salmon Arm Council and Staff. We rely heavily on this relationship for creating and implementing programs that support our downtown businesses and ensure an engaging downtown core that is beautiful, safe, and accessible for all.



Your Downtown Improvement Association is honoured to be one of many key players for team Salmon Arm. As we look ahead, we are eager to continue building strong connections with our community partners. We believe these ties increase the value for property owners and business operators of Downtown Salmon Arm.

Included in this package, please find our 2021 Year End Financial Statement, the 2022 annual operating budget, and our prepared visual presentation planned for the March 14 Council meeting. Should you have any questions or concerns ahead of our meeting, please contact me.

Thank you for your support, time, and attention.

Respectfully submitted,

Jennifer Broadwell, Manager

Ron Langridge, President

# ***SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION***

---

## **Financial Statements**

**December 31, 2021**

December 31, 2021

**Contents**

	<u>Page</u>
<b>Compilation Engagement Report</b>	1
<b>Financial Statements</b>	
Statement of Financial Position	2
Statement of Operations and Changes in Net Assets	3
Notes to Financial Statements	4
Schedule 1 - Program Expenses (Recovery)	5





Allen Finch\*  
CPA, CGA, ASSOCIATE  
allen@acuitycpa.ca

Eric Penner\*  
CPA, PARTNER  
eric@acuitycpa.ca

Harlan Anderson\*  
CPA, CA, PARTNER  
harlan@acuitycpa.ca

\* ILLINOIS PROFESSIONAL CORPORATION

## COMPILATION ENGAGEMENT REPORT

To Management of Salmon Arm Downtown Improvement Association

On the basis of information provided by management, we have compiled the statement of financial position of Salmon Arm Downtown Improvement Association as at December 31, 2021, the statement of operations and changes in net assets for the year then ended, and Note 1, which describes the basis of accounting applied in the preparation of the compiled financial information.

Management is responsible for the accompanying financial information, including the accuracy and completeness of the underlying information used to compile it and the selection of the basis of accounting.

We performed this engagement in accordance with Canadian Standard on Related Services (CSRS) 4200, *Compilation Engagements*, which requires us to comply with relevant ethical requirements. Our responsibility is to assist management in the preparation of the financial information.

We did not perform an audit engagement or a review engagement, nor were we required to perform procedures to verify the accuracy or completeness of the information provided by management. Accordingly, we do not express an audit opinion or a review conclusion, or provide any form of assurance on the financial information.

Readers are cautioned that the financial information may not be appropriate for their purposes.

*Acuity Advisors* LLP

**Chartered Professional Accountants**

Salmon Arm, BC  
February 9, 2022



# **SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION**

## **Statement of Financial Position**

**As at December 31, 2021**

	2021	2020
<b>Assets</b>		
<b>Current</b>		
Cash	\$ 49,019	\$ 30,142
Accounts receivable	8,164	9,405
Deposits	5,975	5,950
	63,158	45,497
<b>Equipment</b>	37,282	33,963
	\$ 100,440	\$ 79,460
<b>Liabilities</b>		
<b>Current</b>		
Accounts payable and accrued liabilities	\$ 15,843	\$ 16,076
Deferred income	7,975	5,710
	23,818	21,786
<b>Net assets</b>	76,622	57,674
	\$ 100,440	\$ 79,460

**On behalf of the board:**

\_\_\_\_\_ Member

The accompanying notes are an integral part of these financial statements

# **SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION**

## **Statement of Operations and Changes in Net Assets**

**For the year ended December 31, 2021**

	2021	2020
<b>Revenue</b>		
Grants	\$ 195,759	\$ 188,230
Street cleaning	17,546	17,202
Interest income	43	73
	<b>213,348</b>	<b>205,505</b>
<b>Operating expenses</b>		
Amortization	17,066	13,139
Bookkeeping	1,563	1,788
Consulting Fees	2,085	2,183
Employee benefits	5,225	6,860
Insurance	3,017	1,969
Meals and entertainment	200	-
Office	11,484	6,230
Office and equipment maintenance	1,930	1,387
Professional fees	1,725	1,630
Program expenses (Schedule 1)	58,717	60,684
Rent	11,227	12,022
Salaries	78,765	83,799
Training and planning	(685)	4,871
Unrecovered GST	1,811	2,482
Website	270	1,384
	<b>194,400</b>	<b>200,428</b>
<b>Excess of revenues over expenditures</b>	<b>18,948</b>	<b>5,077</b>
<b>Net assets, beginning of year</b>	<b>57,674</b>	<b>52,597</b>
<b>Net assets, end of year</b>	<b>\$ 76,622</b>	<b>\$ 57,674</b>

The accompanying notes are an integral part of these financial statements

# SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION

## Notes to Financial Statements

December 31, 2021

### 1. Basis of Accounting

The basis of accounting applied in the preparation of the statement of financial position of Salmon Arm Downtown Improvement Association as at December 31, 2021 and the statement of operations and changes in net assets for the year then ended is on the historical cost basis, reflecting cash transactions with the addition of:

- Accounts receivable
- Prepaid expenses and deposits
- Accounts payable and accrued liabilities

### 2. Property and equipment

			2021	2020
	Cost	Amortization	Net Book Value	Net Book Value
Banners	\$ 65,701	\$ 64,336	\$ 1,365	\$ 2,276
Computer equipment	12,718	12,104	614	1,216
Computer software	934	932	2	3
Decorations	65,768	33,315	32,453	26,908
Office equipment	26,128	24,732	1,396	1,745
Signage	5,025	3,573	1,452	1,815
	\$ 176,274	\$ 138,992	\$ 37,282	\$ 33,963

Property and equipment are recorded at cost and are amortized over their estimated useful lives on the diminishing balance method at the following rates, except in the year of acquisition when only one-half of the rate is applied:

Banners	- 40%	diminishing balance
Computer equipment	- 55%	diminishing balance
Computer software	- 30%	diminishing balance
Decorations	- 40%	diminishing balance
Office equipment	- 20%	diminishing balance
Signage	- 20%	diminishing balance

# **SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION**

## **Schedule 1 - Program Expenses (recovery)**

For the year ended December 31, 2021

	2021	2020
Annual General Meeting	\$ 153	\$ -
Alexander Plaza	6,719	-
Applefest	-	-
Banner Project	682	-
Christmas	8,997	12,541
Community Clean Up Day	-	-
Covid Project	-	6,762
Downtown Cares	-	(16)
Downtown Live	-	920
Downtown Gift Boxes	(228)	2,942
Farmers Market	(15)	612
Flower Bed	500	132
Gift Vouchers	1,190	-
Halloween Treat Trail	80	-
Marketing and Advertising	12,739	7,657
Membership Engagement	283	2,113
Multicultural Day	84	64
Outside Movie	23	-
Project Supplies	3,314	6,620
Pride Project	59	-
Recycling Receptacles	-	(1,200)
Roots & Blues	118	-
SASCU - Dollars	665	-
Seasonal Decorations	3,669	-
Sinage	16	-
Sponsorships	184	-
Street Cleaning	19,485	21,081
Street Lights - Power	-	456
	\$ 58,717	\$ 60,684

## SALMON ARM DOWNTOWN IMPROVEMENT ASSOCIATION

Budget for the year ending: December 31, 2022

		BUDGET		
		OPERATIONAL	PARTNERSHIP	TOTAL
<b>INCOME:</b>				
Levy		\$ 203,589.00		
Total DIA Levy				\$ 203,589.00
Street Cleaning			\$ 17,546.00	
Donations				
Total Partnership Income				17,546.00
2021 Surplus				18,948.00
<b>TOTAL INCOME</b>				<b>\$ 240,083.00</b>
<b>EXPENSES:</b>				
<b>OFFICE ADMINISTRATION</b>				
Accounting & Legal		\$ 1,909.00		1,909.00
Bookkeeping		2,310.00		2,310.00
Insurance		3,200.00		3,200.00
Memberships		750.00		750.00
Communication (Tel. Cell. IT.)		3,000.00		3,000.00
Website		2,000.00		2,000.00
Office Maintenance		5,000.00		5,000.00
Office Supplies & Expense		14,800.00		14,800.00
Awards & Gifts		1,000.00		1,000.00
Professional Development		3,000.00		3,000.00
Rent Office		13,200.00		13,200.00
Sponsorships		820.00		820.00
Wages		79,950.00		79,950.00
Benefits		8,200.00		8,200.00
CPP/EI/WCB Expense		7,200.00		7,200.00
<b>TOTAL OFFICE ADMINISTRATION</b>		<b>\$ 146,339.00</b>		<b>\$ 146,339.00</b>
<b>PROJECT EXPENSES:</b>				
AGM		750.00		750.00
Marketing & Advertising & Trade Shows		7,000.00		7,000.00
Street Cleaning			17,546.00	17,546.00
Banners		2,500.00		2,500.00
Capital Projects -Act Transportation		11,000.00		11,000.00
Street Lights - Power		800.00		800.00
Seasonal Decorations		7,500.00		7,500.00
Beautification		5,000.00		5,000.00
Graffiti Removal		1,000.00		1,000.00
Branding		-		-
Events		32,648.00	-	32,648.00
Early Year	Community Clean Up	500.00		500.00
	Bike Month / Salty Street Fest	750.00		750.00
	Flower Bed	750.00		750.00
Summer	Multicultural Day	800.00		800.00
	Alexander Plaza	8,500.00		8,500.00
	Downtown Live	3,500.00		3,500.00
Fall	Farmers Market	1,000.00		1,000.00
	Applefest	750.00		750.00
	Halloween Treat Trail	750.00		750.00
Holidays	Christmas	13,000.00		13,000.00
Other	Membership Engagement	2,500.00		2,500.00
	Project Supplies	1,848.00		1,848.00
Gift Vouchers				
<b>TOTAL PROJECT EXPENSES:</b>				<b>-</b>
GST Expense (50% payable)		\$ 70,198.00	\$ 17,546.00	\$ 87,744.00
Amortization Expense		2,000.00		2,000.00
<b>TOTAL EXPENSES:</b>		<b>4,000.00</b>		<b>4,000.00</b>
		<b>222,537.00</b>	<b>17,546.00</b>	<b>240,083.00</b>
<b>SURPLUS/DEFICIT</b>				

Item 14.1.i

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Council approve the Business Improvement Area 2022 Budget and 2021 Financial Statements as presented.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



**CITY OF**  
**SALMON ARM**

---

To: Mayor Harrison and Members of Council  
Date: March 8, 2022  
From: Chelsea Van de Cappelle, Chief Financial Officer  
Subject: Business Improvement Area - 2022 Annual Budget and 2021 Revenue & Expense Statement

---

**Recommendation**

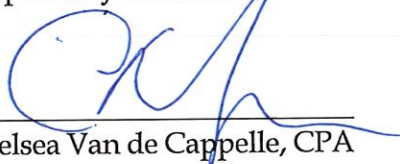
That Council approve the Business Improvement Area 2022 Budget and 2021 Financial Statements as presented.

**Background**

Pursuant to Bylaw No. 4357, the Downtown Improvement Association (DIA and also known as Downtown Salmon Arm) must submit to Council the Business Improvement Area budget for the upcoming year as well as an accounting of the previous year's operations.

Jennifer Broadwell will attend the Regular Council Meeting of March 14, 2022, to present the Business Improvement Area 2022 Budget and 2021 Financial Statements. Ms. Broadwell will address any questions Council may have with respect to the 2022 Business Plan.

Respectfully Submitted,



Chelsea Van de Cappelle, CPA

Item 15.1

## CITY OF SALMON ARM

Date: March 14, 2022

Councillor Wallace Richmond – Shuswap Family Centre –  
Endorsement as recipient of SILGA's 50/50 proceeds

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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Item 19.1

## CITY OF SALMON ARM

Date: March 14, 2022

### OTHER BUSINESS

The following Motion was released from the In-Camera Council Meeting of December 13, 2021:

0122-2021 (ic)      Moved: Councillor Eliason  
                               Seconded: Councillor Cannon  
                               THAT: Council authorize a two (2) year deferral of loan payments as requested by the Salmon Arm Tennis Club effective January 2022 to December 2023.

CARRIED UNANIMOUSLY

#### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

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Item 22.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:

1. Section 36.11.1 - Front Parcel Line Setback - reduce the minimum building setback from 6.0m to 4.5m to facilitate construction of an accessory building (detached garage).

[Walus, A.; 6360 37 Street NE; Setback requirements]

### Vote Record

- ☐ Carried Unanimously
  - ☐ Carried
  - ☐ Defeated
  - ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: February 28, 2022

Subject: Development Variance Permit Application No. VP-548 (Setback)

Legal: Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577  
 Civic Address: 6360 37 Street NE  
 Owner/Applicant: A. Walus

### **STAFF RECOMMENDATION**

**THAT:** Development Variance Permit No. VP-548 be authorized for issuance for Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan 37577 to vary Zoning Bylaw No. 2303 as follows:

**Section 36.11.1 – Front Parcel Line Setback – reduce the minimum building setback from 6.0 m to 4.5 m to facilitate construction of an accessory building (detached garage).**

### **PROPOSAL**

The subject parcel is located at 6360 37 Street NE (Appendices 1 and 2). The proposal is to construct a detached garage southwest of the existing single family dwelling in place of the existing accessory building/structure (shed) (Appendix 5). Due to the steep slopes/terrain and the existing retaining wall on the property, the proposed location of the accessory building requires a front parcel line setback variance from 6.0 m to 4.5 m along the west property line.

### **BACKGROUND**

The parcel is designated Low Density Residential (LR) in the City's Official Community Plan (OCP) and is zoned A3 (Small Holding) in the Zoning Bylaw (Appendices 3 and 4). The subject property is located in the Canoe area and has frontage onto 37 Street NE. This immediate area largely consists of residential uses. Nearby uses include the Park Hill Trail System and Canoe Beach.

Land uses directly adjacent to the subject property include the following:

North:	Single Family Dwelling and Accessory Building	Zoned A3
South:	Single Family Dwelling and Accessory Building	Zoned A3
East:	Golf Course	Zoned CD13/P1
West:	Single Family Dwelling and Accessory Building(s)	Zoned A3

The property is 1.055 ha in area/size and currently contains a single family dwelling and a shed. The property owner/applicant is proposing a new 23' x 16' (368 ft<sup>2</sup>) detached garage on the property. Aside from Section 36.11.1 of the Zoning Bylaw, the proposal meets all other A3 – Small Holding Zone regulations.

Site photos are attached, as Appendix 6.

COMMENTSFire Department

No concerns.

Engineering Department

If the retaining wall is greater than 4 feet, it will need to be reviewed by a Structural Engineer or a Geotechnical Engineer due to the load change.

Building Department

All applicable code requirements of the BCBC must be adhered to at the Building Permit Stage.

Planning Department

Development Variance Permits are considered on a case-by-case basis, and in doing so, a number of factors are taken into consideration. These factors include site-specific conditions, such as lot configuration, negative impact to the general form and character of the surrounding neighbourhood and negative impact(s) on adjacent properties.

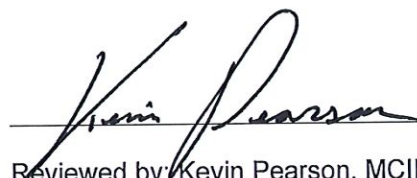
Historically, there has only been one other Variance Permit issued on 37 Street NE (VP-152; 1997). This was to vary the maximum height of the principal building on the adjacent property to the south (6300 37 Street NE).

As described in the letter submitted by the owner/applicant (Appendix 7), the owner wishes to build a detached garage close to the existing single family dwelling. However, to build a garage to accommodate 2 vehicles, the owner will need to build closer to the front property line and will need to be a minimum of 4.7 m instead of the required 6.0 m from the front property line. This is because the property is restricted by the existing retaining wall and steep slopes further east on the property.

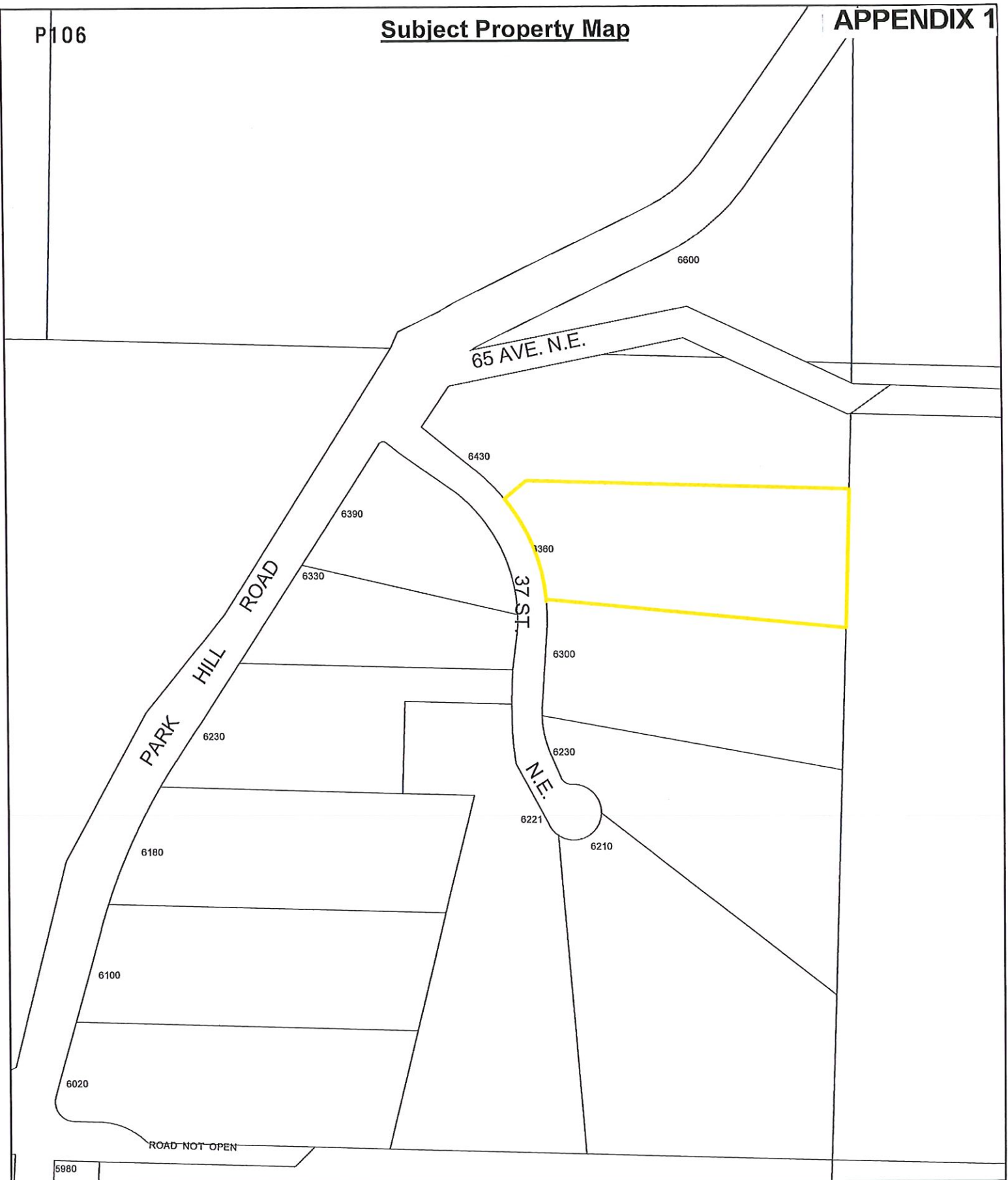
Staff feel that this variance request is reasonable considering the slope and terrain, and will not unreasonably or significantly affect the character of the parcel or streetscape, and have no concerns with this application.



Prepared by: Evan Chorlton  
Planner I





Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



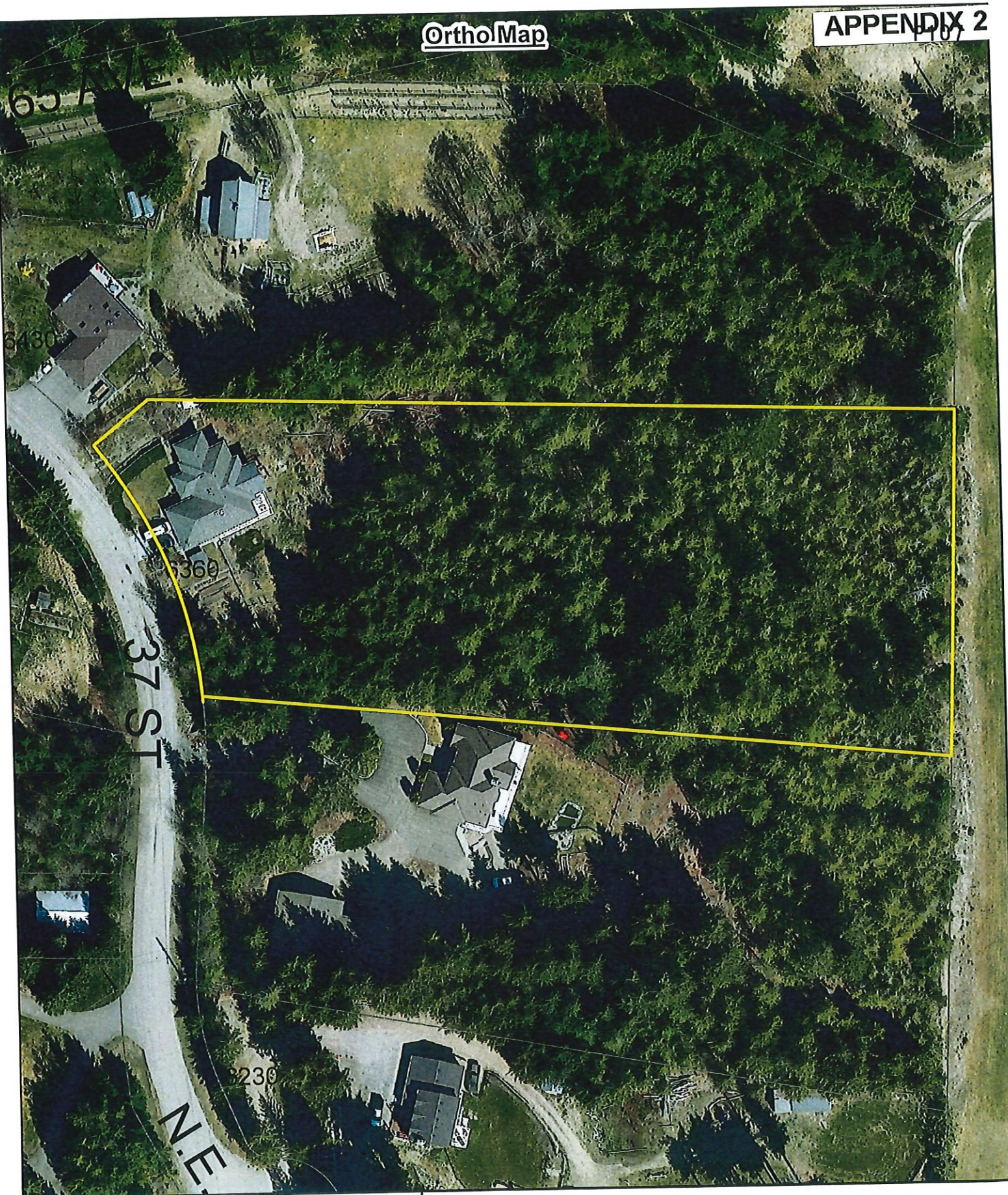
5980



0 12.525 50 75 100  
Meters

 Subject Property  
 Parcels

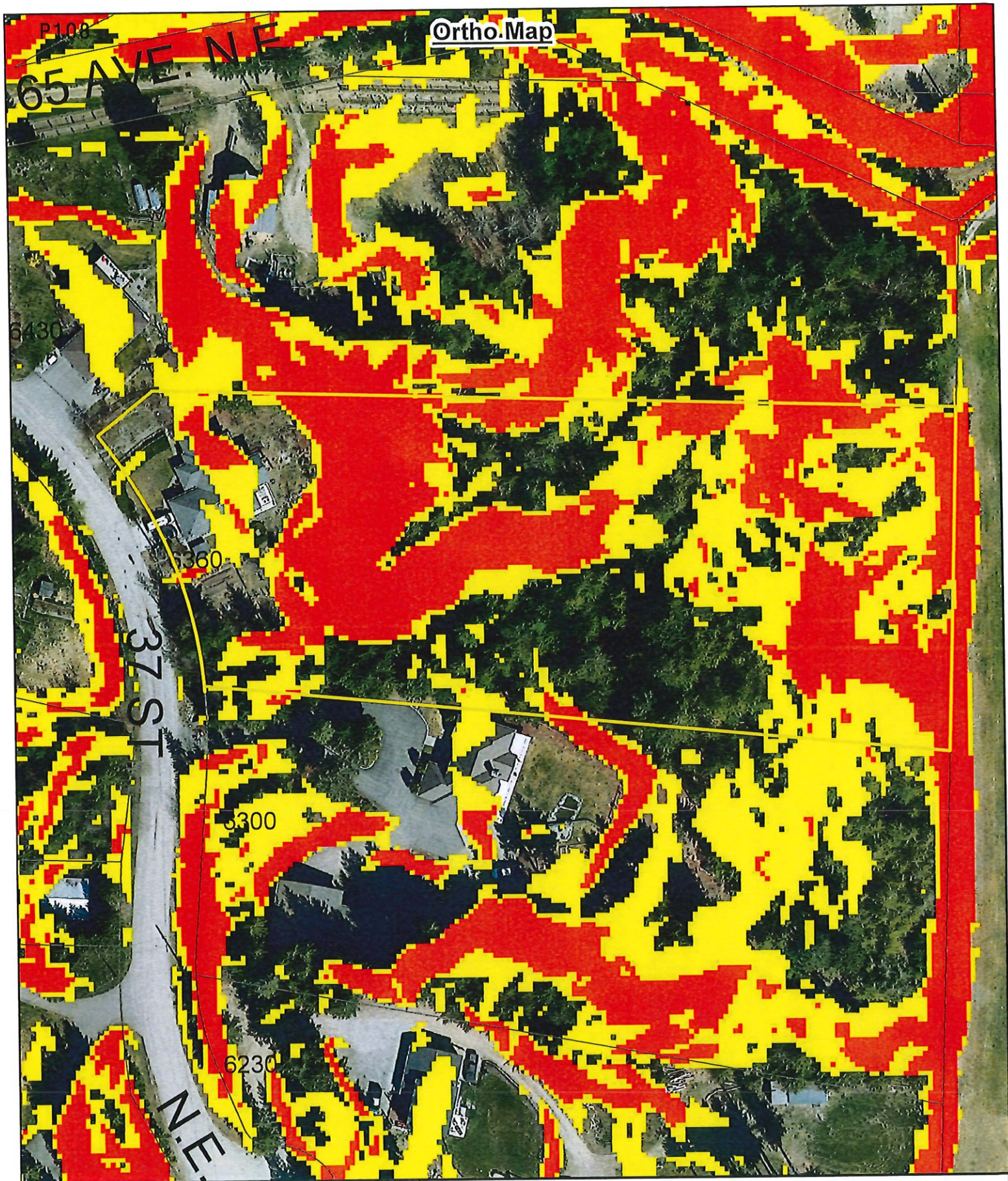




0 5 10 20 30 40 Meters

Subject Property  
Parcels





Ortho.Map

P108  
65 AVE. N.E.

6430

6360

37 ST

6300

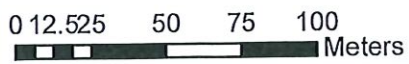
6230

0 5 10 20 30 40  
Meters

- 20 - 30% Slope
- 30% + Slope
- Parcels







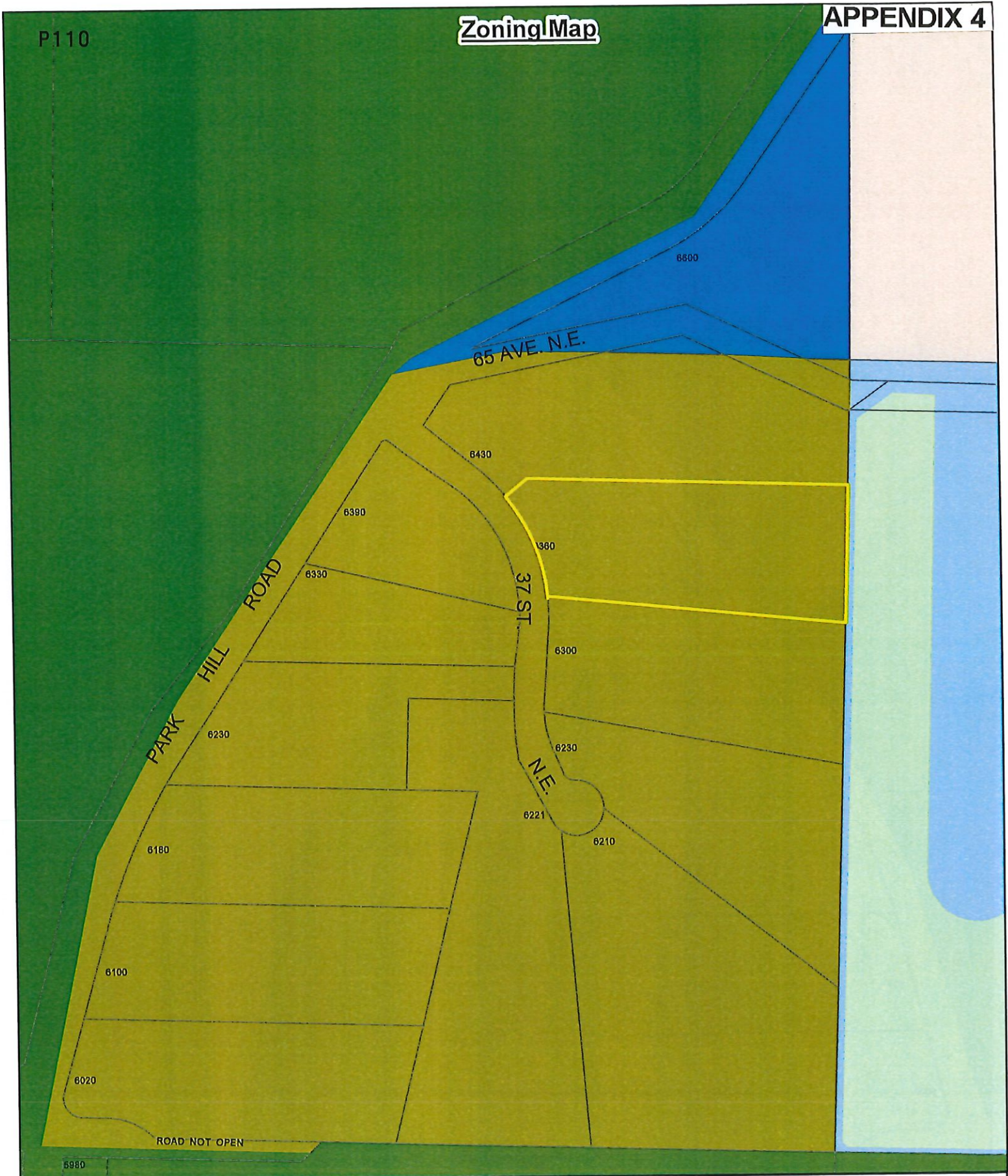
- Subject Property
- Parcels
- Neighbourhood Park
- Acreage Reserve
- Residential - Low Density
- Residential - Medium Density



P110

# Zoning Map

APPENDIX 4



0 12.525 50 75 100 Meters

Subject Property

Parcels

A-2

A-3

CD-13

P-1

R-1

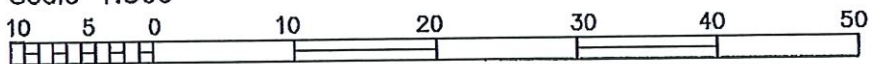
R-9



**APPENDIX 5**

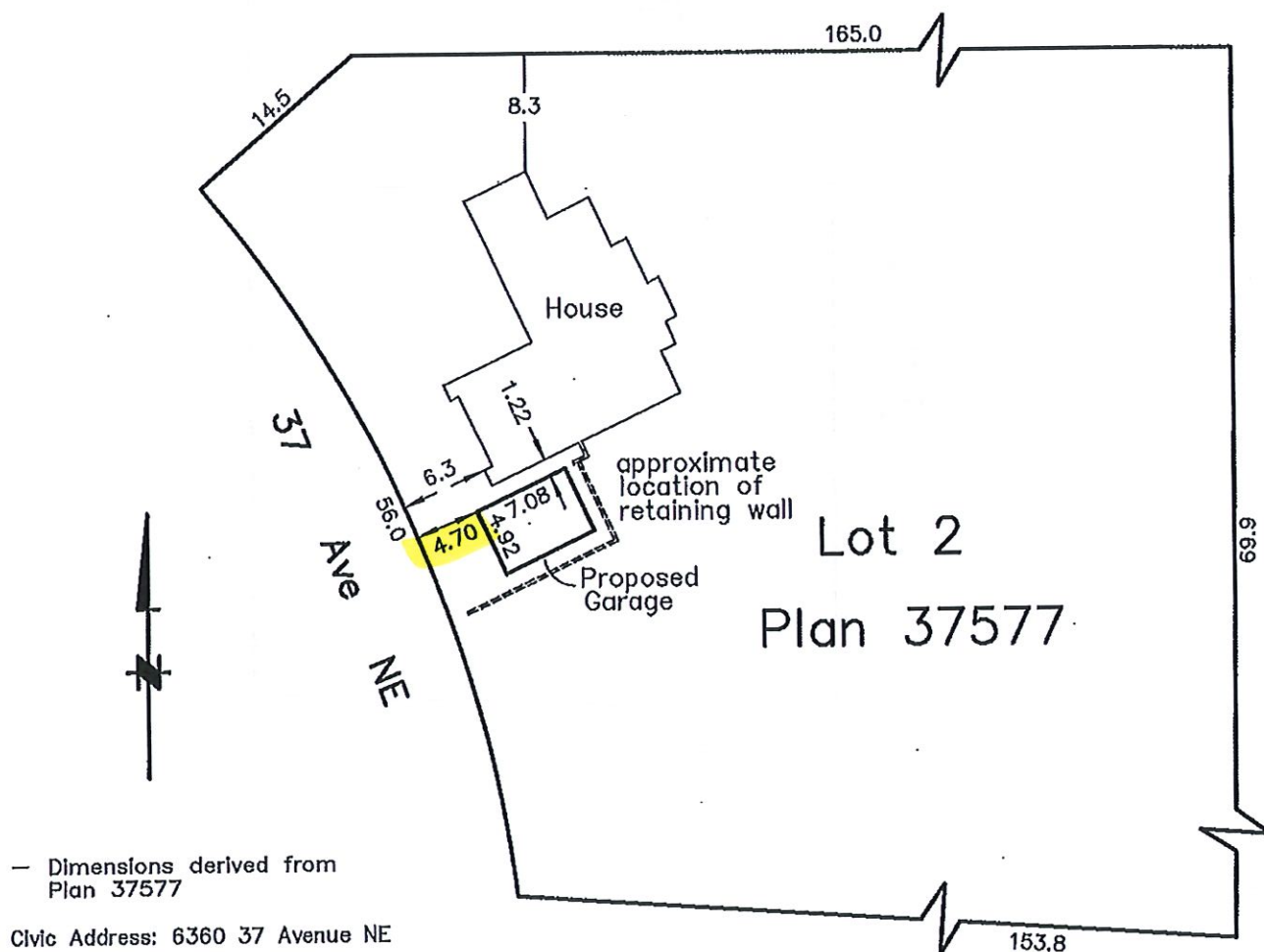
# Plan Showing Proposed Garage on Lot 2, Sec 31, Tp 20, Rge 9, W6M, KDYD, Plan 37577

Scale 1:500



All distances are in metres.

The intended plot size of this plan is 215mm in width by  
280mm in height (A size) when plotted at a scale of 1:500



— Dimensions derived from  
Plan 37577

Civic Address: 6360 37 Avenue NE

Parcel Identifier(PID): 005-725-666

List of documents registered on title which  
may affect the location of improvements:  
None

This plan was prepared for construction  
planning purposes and is for the exclusive use  
of our client. BROWNE JOHNSON LAND  
SURVEYORS accepts no responsibility or liability  
for any damages that may be suffered by a  
third party as a result of reproduction,  
transmission or alteration to this document  
without consent of BROWNE JOHNSON LAND  
SURVEYORS.

January 31, 2022

BROWNE JOHNSON LAND SURVEYORS  
B.C. AND CANADA LANDS  
SALMON ARM, B.C. 250-832-9701  
File: 35-22

P112

FOUNDATION  
PLAN.

4.88 m / 16'

10m REBAR 16" o/c  
BOTH WAYS.

7.01 m / 23'

N

S

8" 12" 4" THICK SLAB.

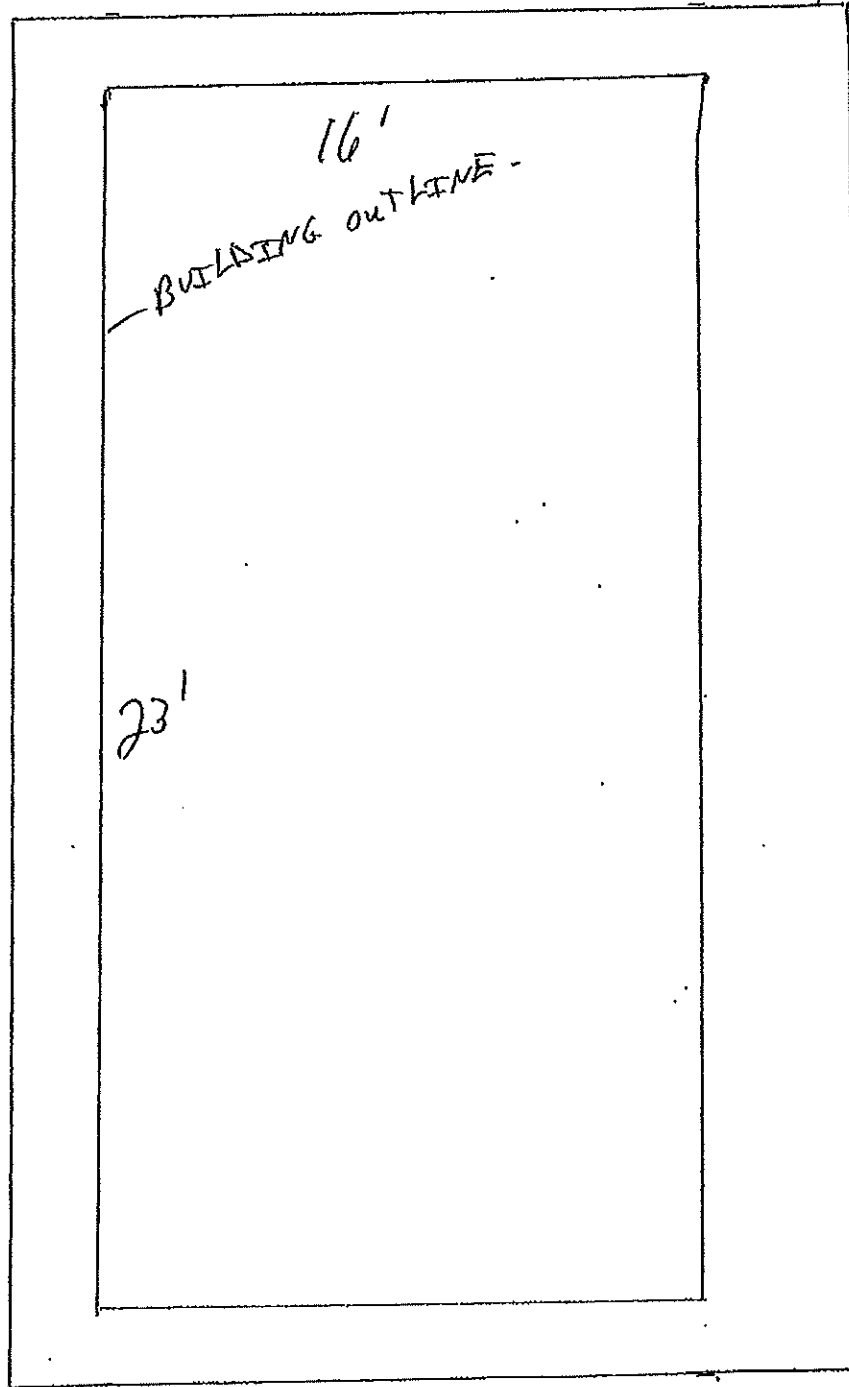
THICKEN EDGE ALL SIDES.



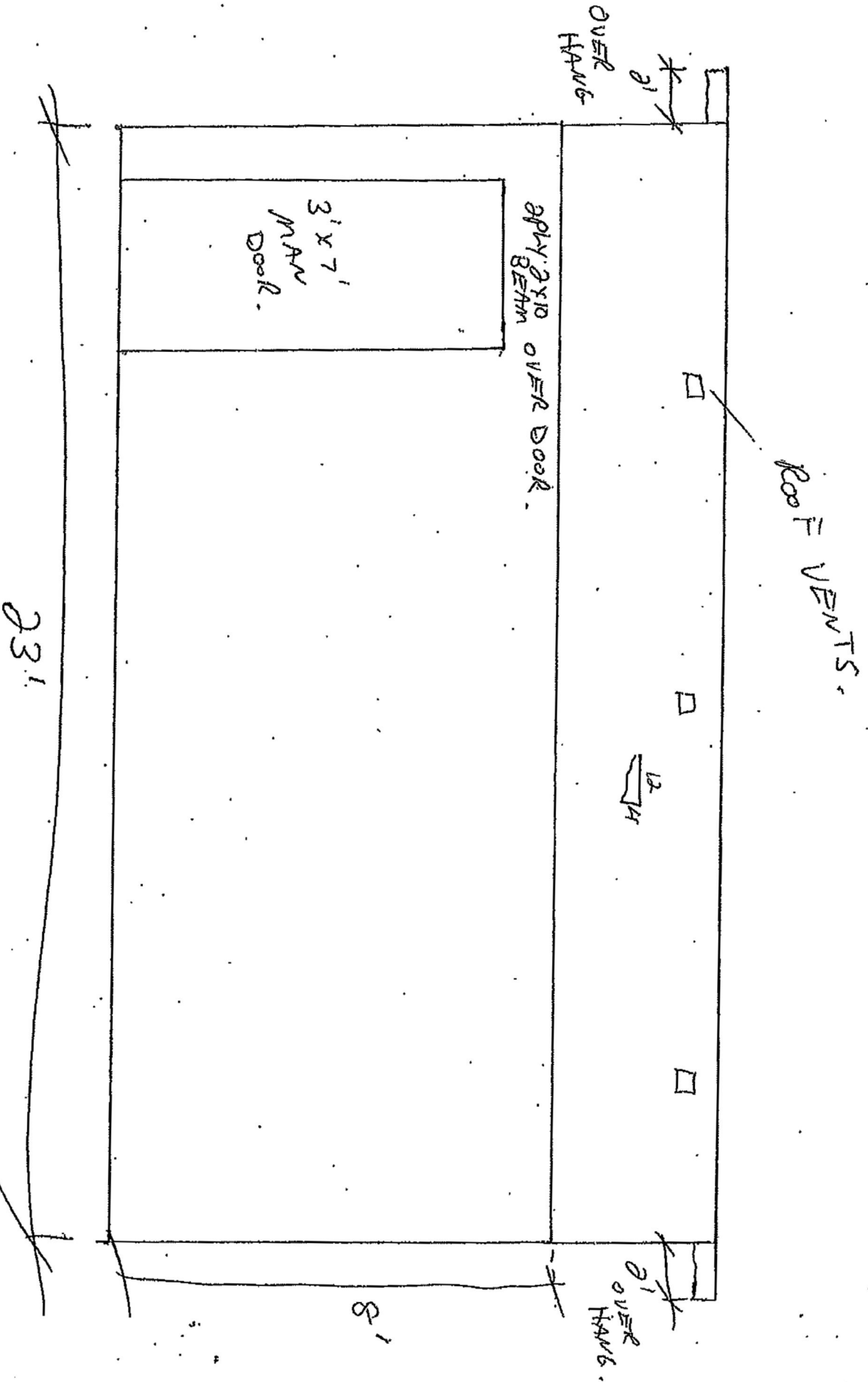
EAST

Roof plan.  
ENG. TRUSSES  
BY SUPPLIER.

Roof  
out LINE

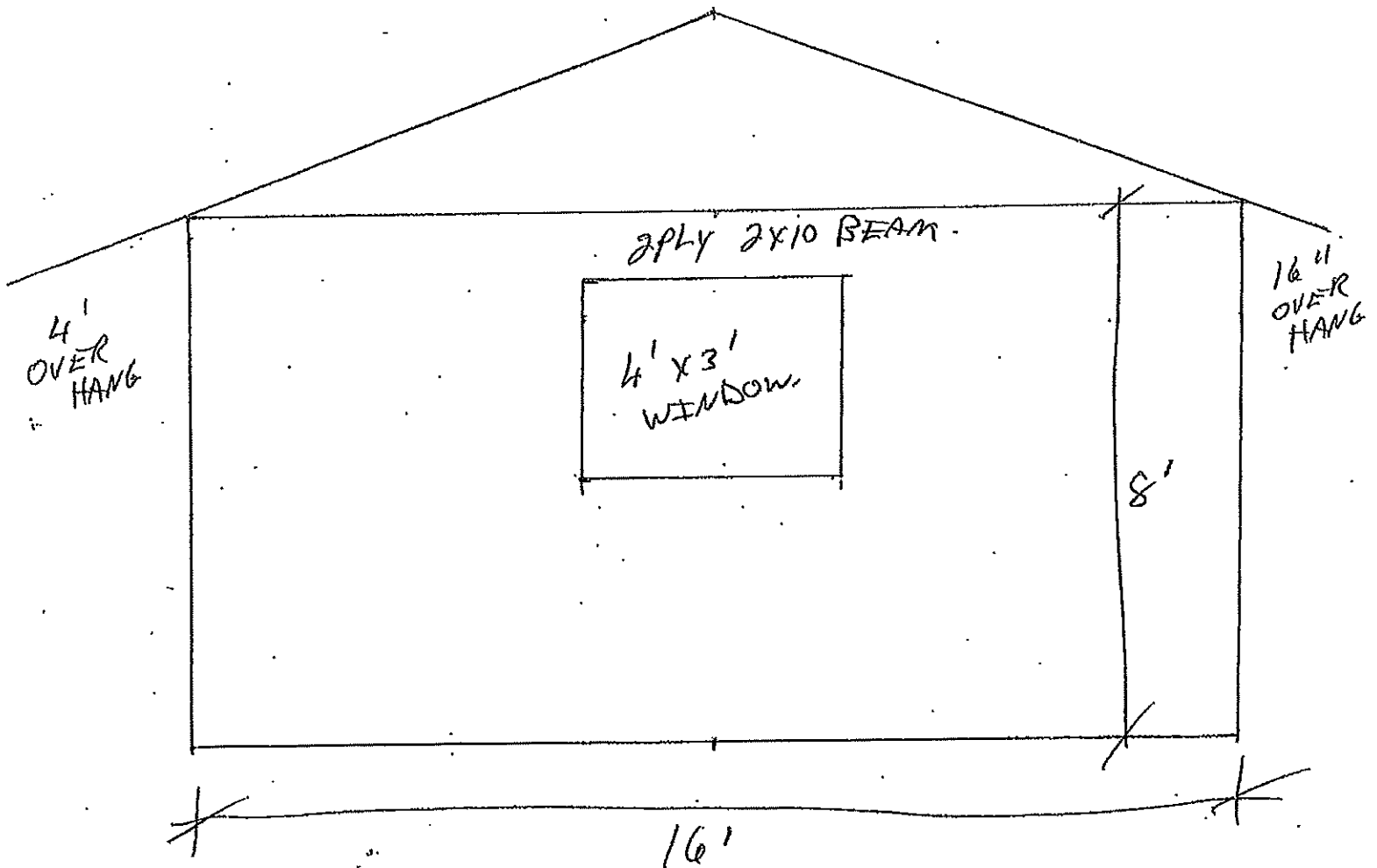


North E.L.

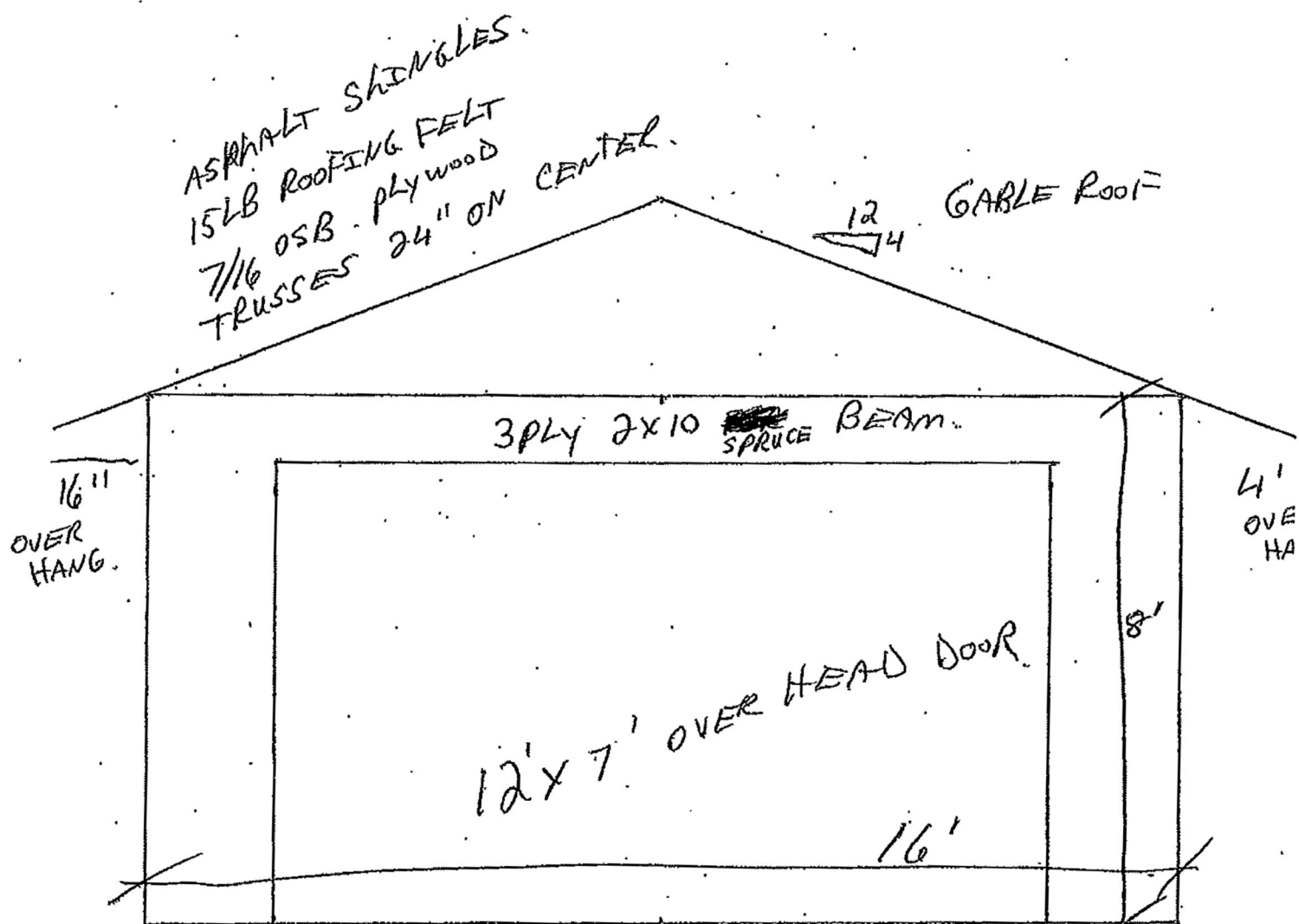


EAST EL.

P115



WEST EL.



WALL FRAMING 2x6 24" ON CENTER. WITH TREATED  
 7/16 OSB, PLYWOOD. BOTTOM PLATE  
 BUILDING WRAP: SILL GASKET  
 HARDIE BOARD SIDING.  
 WALL FRAMING TO BE ANCHORED DOWN WITH  
 1/2" x 1/2" QUICK BOLTS AT 4' ON CENTER.



South E.L.

2' 1"  
OVER  
HANG

12  
4

2' 1"  
OVER  
HANG

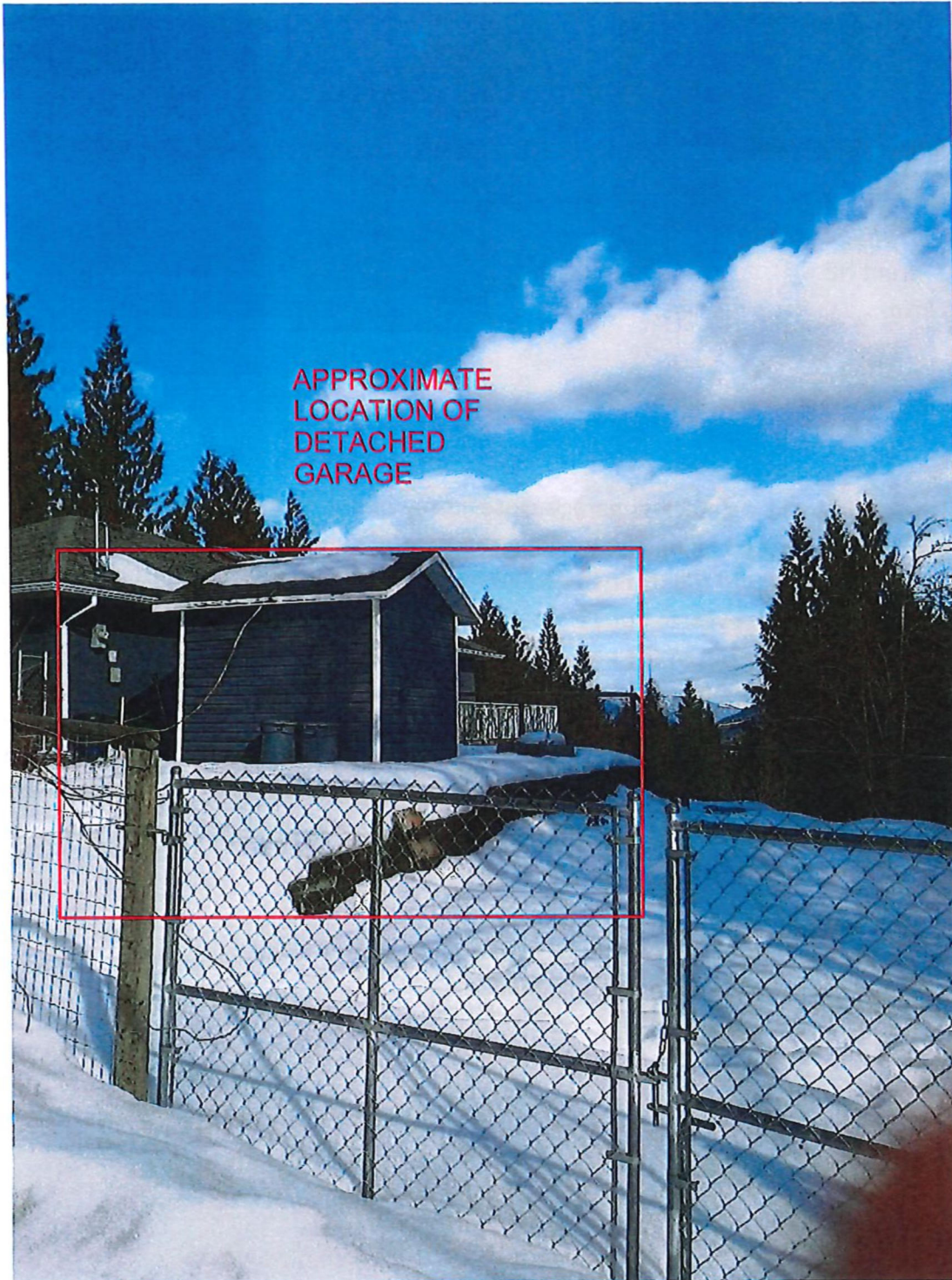
8'

23'

APPENDIX 6







February 01 2022  
**APPENDIX 7**

To: Salmon Arm City Hall

From: Alojzy (Alex) Walus  
6360 37 Street NE  
Salmon Arm

Dear Board of Variance members,

I am planning to build a detached garage close to my house located at 6360 37 Street NE in Salmon Arm (see attached plan). The existing garage inside my house is too small to fit my two vehicles. The dimensions of the planned garage are 7.01 by 4.88 m, which is just large enough to fit my pick-up truck. However, to build a garage of this size, I would need to build it closer to the front property line. The front of the planned garage needs to be 4.7 m instead of required 6.0 m from the property line. I cannot move back away from the property line because I am restricted by the existing retaining wall which is used to support the existing bank/steep slope at the rear of my property. I feel that this request is minor and that complying with the required 6.0 metre setback would cause me undue hardship due to the steeper terrain on my property and the supporting retaining wall which limits the flat/stable ground upon which I can build my desired garage.

Thank you for your consideration of my request.

Best Regards,

Alojzy (Alex) Walus



Item 22.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Permit No. DP-437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-437 vary Zoning Bylaw No. 2303 as follows:

1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-437 be withheld subject to receipt of an estimate and Irrevocable Letter of Credit (in the amount of 125% of the estimate) for landscaping.

[TSL Developments Ltd.; 700 30 Street NE; Form and Character]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond




---

To: His Worship Mayor Harrison and Members of Council

Date: February 24, 2022

Subject: Development Permit Application No. DP- 437 (Form and Character)  
 Civic Address: 700 30 Street NE  
 Owner/Applicant: TSL Developments Ltd. (Jordan Baer)

---

### **STAFF RECOMENDATION**

**THAT:** Development Permit No. 437 be authorized for issuance for Lot 2, Section 18, Township 20, Range 9, W6M, KDYD, Plan 26408, Except Plan 28836 (700 – 30 Street NE) in accordance with the Development Permit drawings attached as APPENDIX 7;

**AND THAT:** Development Permit No. 437 vary Zoning Bylaw No. 2303 as follows:

1. Section 9.9.2 – Minimum Setback of Principal Buildings, Rear Parcel Line, 5m reduced to 3m for Building 2 and Building 3 as shown in the drawings attached as APPENDIX 7;

**AND FURTHER THAT:** Issuance of Development Permit No. 437 be withheld subject to receipt of an Estimate and Irrevocable Letter of Credit (in the amount of 125% of the Estimate) for landscaping.

---

### **PROPOSAL**

To review the Development Permit package attached as Appendix 7. The applicant is proposing a 4 building, 20 unit residential development. A letter from the applicant details the development proposal and is included at Appendix 5. Large drawings to scale are available for viewing in the Planning Department.

### **BACKGROUND**

The subject property fronts 30 Street NE in the South Broadview area. The subject property is approximately 258.5 m<sup>2</sup> (1 ac) and is currently the site of a single family dwelling and small accessory building.

In September 2021 the subject property was rezoned from R1 (Single Family Residential) to R4 (Medium Density Residential Zone) in order to accommodate the development as shown in Appendix 7. The subject property is designated Residential Medium Density and is within the Urban Containment Boundary in the Official Community Plan (OCP) (see Appendices 1 to 4).

Adjacent Land Uses/Development:

North:	Single Family Residences	Zoned R1
South:	School and Church	Zoned P3
East:	School and Church	Zoned P3
West:	Single Family Residences	Zoned R1

The proposal includes four (4) buildings with five (5) units within each building for a total of twenty (20) units. The first storey units are approximately 125m<sup>2</sup> (1249ft<sup>2</sup>) and 138m<sup>2</sup> (1460ft<sup>2</sup>), the second storey units are approximately 115m<sup>2</sup> (1249ft<sup>2</sup>) and 135m<sup>2</sup> (1461ft<sup>2</sup>). The third storey units are approximately 226m<sup>2</sup> (2442ft<sup>2</sup>). The upper floor units of each building are accessible via elevators. Given the number of units,

thirty (30) parking spaces are required. Off-street parking is provided in a combination of single covered and uncovered parking spaces and six (6) tandem parking spaces adjacent to Building 3 and 4. The site plan shows a jogged internal strata road and as stated in the applicant letter this has been aligned in order to provide a safe intersection with 7 Avenue NE.

The building materials are proposed to be a combination of corrugated metal, stucco, glass and metal flashing. The metal flashing of each building is to be a different distinct colour providing colour variation between the buildings.

Designed by a Landscape Architect the proposed landscape plan shows eight (8) perimeter trees, lawn areas and a variety of shrubs. As noted in the applicant's letter, the landscape plan includes selection of Fire Smart trees and shrubs. The subject property will be enclosed by a 1.5m (5.0ft) white vinyl fence. It should be noted that the site also shows a garbage and recycling enclosure for the residents and designated snow removal areas. The applicant will address the location of a community mailbox with Canada Post and has considered appropriate locations that will be finalized at a later stage of development.

As noted in the recommendation, the proposal includes a variance request to reduce the required rear parcel in setback from 5.0m to 3.0m to accommodate Buildings 2 and 3. There are no other site plan related variances that are being requested.

#### COMMENTS

##### Building Department

No concerns.

##### Fire Department

No concerns.

##### Engineering Department

Comments provided by the Engineering Department are enclosed as Appendix 6. All off-site improvements will be addressed at the time of Building Permit. It should be noted that before the Public Hearing for the rezoning of the subject property from R1 (Single Family Residential) to R4 (Medium Density Residential) the owner/developer was required to complete a Traffic Impact Assessment (TIA) to determine the impact of the future traffic generated by the development onto 30 Street NE. After the TIA was complete the owner/developer contributed \$24,000.00 for the projected traffic generated by the development. The contribution is directed toward future improvements for the 7 Avenue NE and 30 Street NE intersection.

On-site requirements such as site grading and Stormwater control would be addressed at the time of Building Permit application.

##### Design Review Panel

At their February 23, 2022 meeting the Design Review Panel passed the following recommendation:

"THAT the DRP supports DP 437 as presented."

In their discussion the panel noted their appreciation for the variety in building form and are favourable to the design presented.

##### Planning Department

Section 8.4 of the OCP outlines the development guidelines for residential areas. The design guidelines encourage varied building design with articulated rooflines, varied building materials and colour variation between multiple buildings. With regard to site planning, the design guidelines further encourage building massing that ensures the safe pedestrian and vehicular circulation within and around the proposed development.

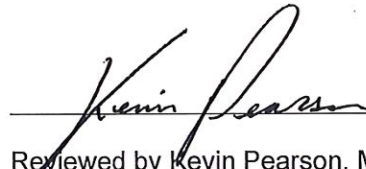
The location of the proposed multi-family development is in close proximity to schools, commercial services, recreational services and public transit – all objectives encouraged in the OCP. The proposed site and building design demonstrate the mix of residential housing type, density and varied multi-family development within the Urban Containment Boundary, also objectives encouraged in the OCP. Overall, the proposed development is consistent with the design guidelines of the OCP and staff support the development as proposed.

When considering the variance request to reduce the rear parcel line setback from 5.0m to 3.0m a number of factors are taken into consideration including – the potential negative impact to the immediately adjacent and affected property, current land use and future land use of the affected adjacent parcel to assess for potential conflict(s), site specific conditions and lot configuration.

With regard to the proposed variance, the current use of the adjacent parcel to the east is designated in the OCP and zoned consistent with its current use as a church. Staff feel that the minor variance into the rear parcel line setback would not negatively impact existing or future use of the adjacent parcel. The proposed variance would allow for the buildings of the development to be of similar area and design. Should Council not support the variance the developer would have to consider options such as reducing the area of Buildings 2 and 3 or reducing internal driveway aisles or reducing the number of parking stalls to accommodate the buildings. Staff feel that the requested variance is minor and allows for a livable development and support the variance request.

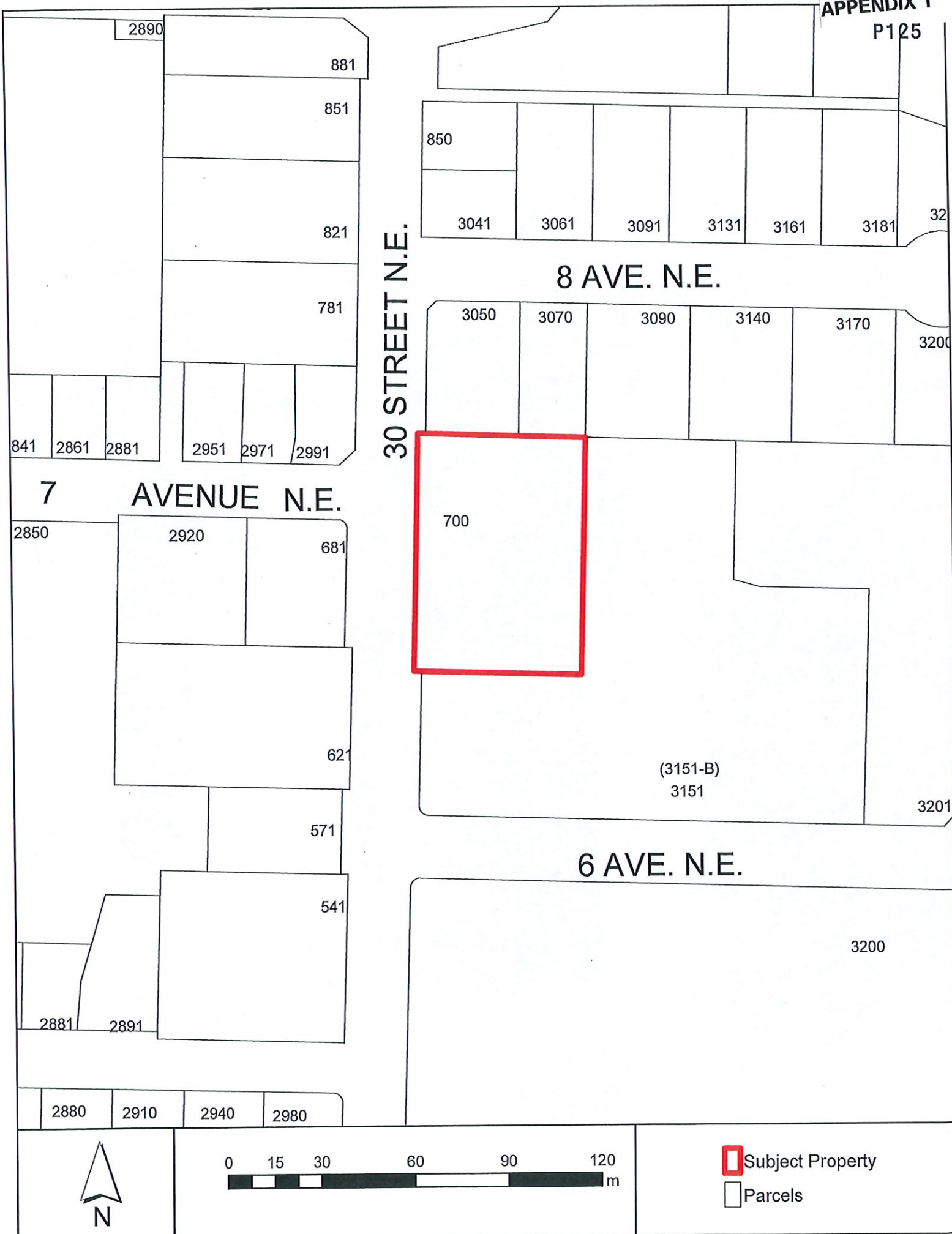


Prepared by Melinda Smyrl, MCIP, RPP  
Planner

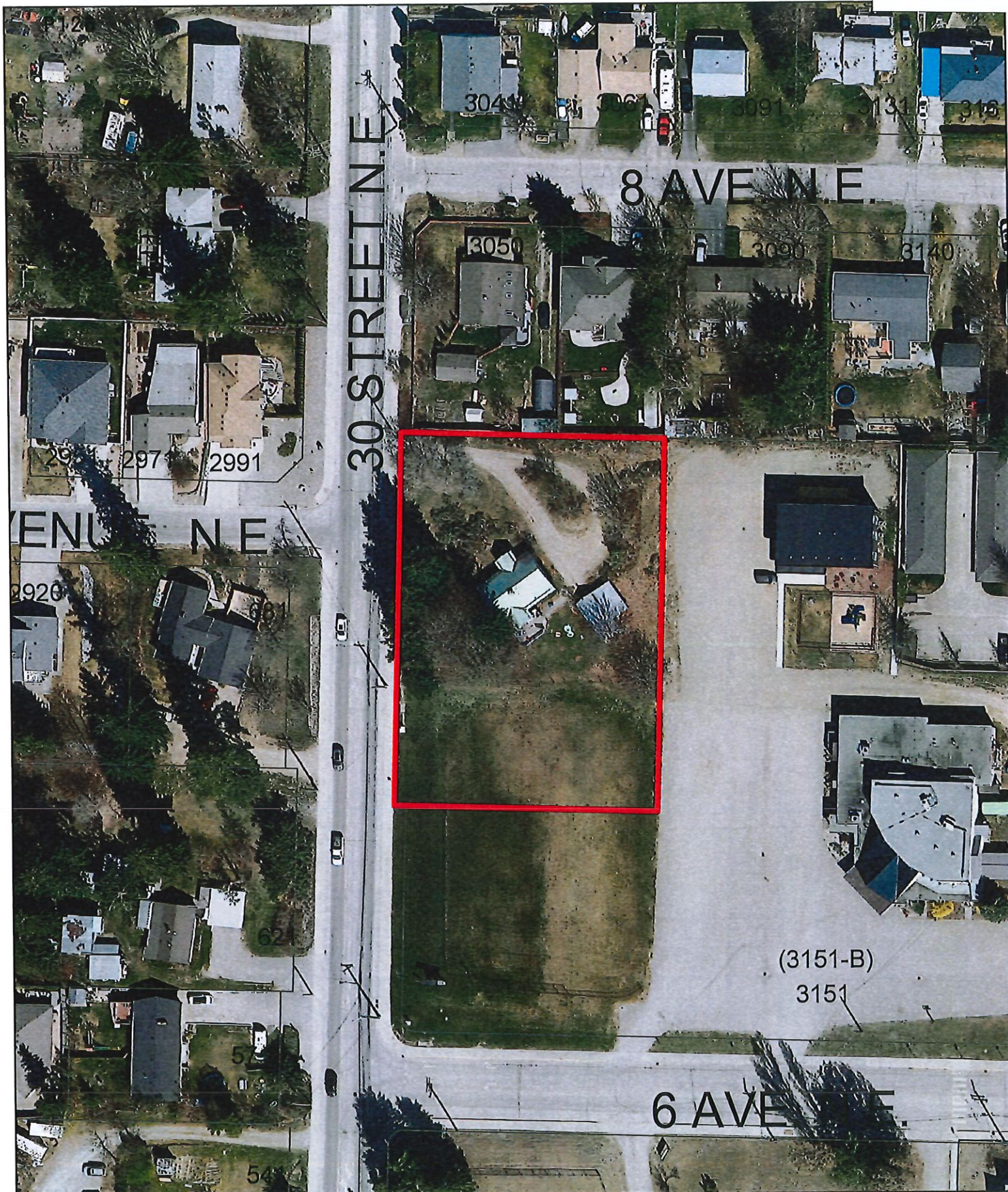


Reviewed by Kevin Pearson, MCIP, RPP  
Director of Development Services









Ortho Photo Date: 2021



Subject Property

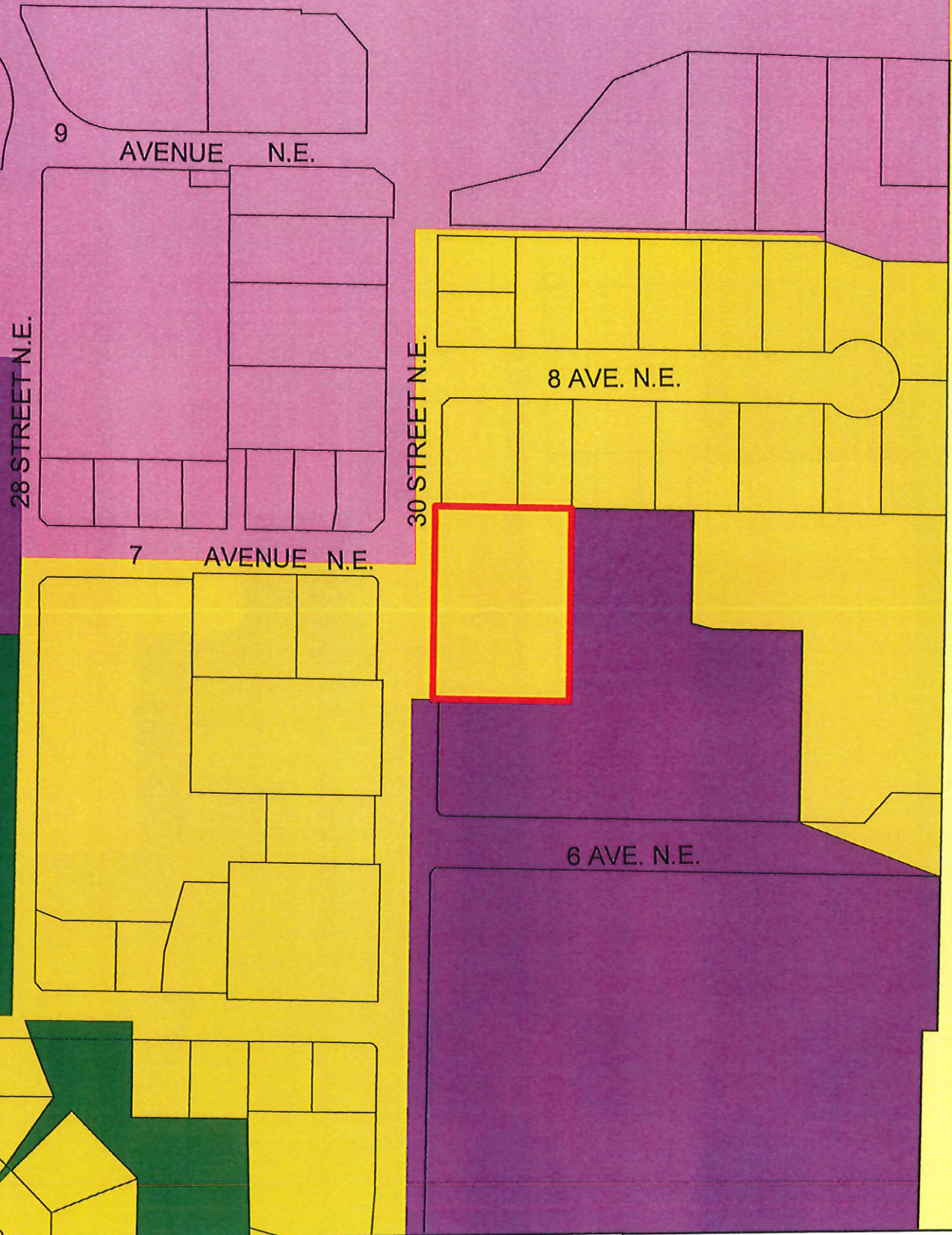


Parcels



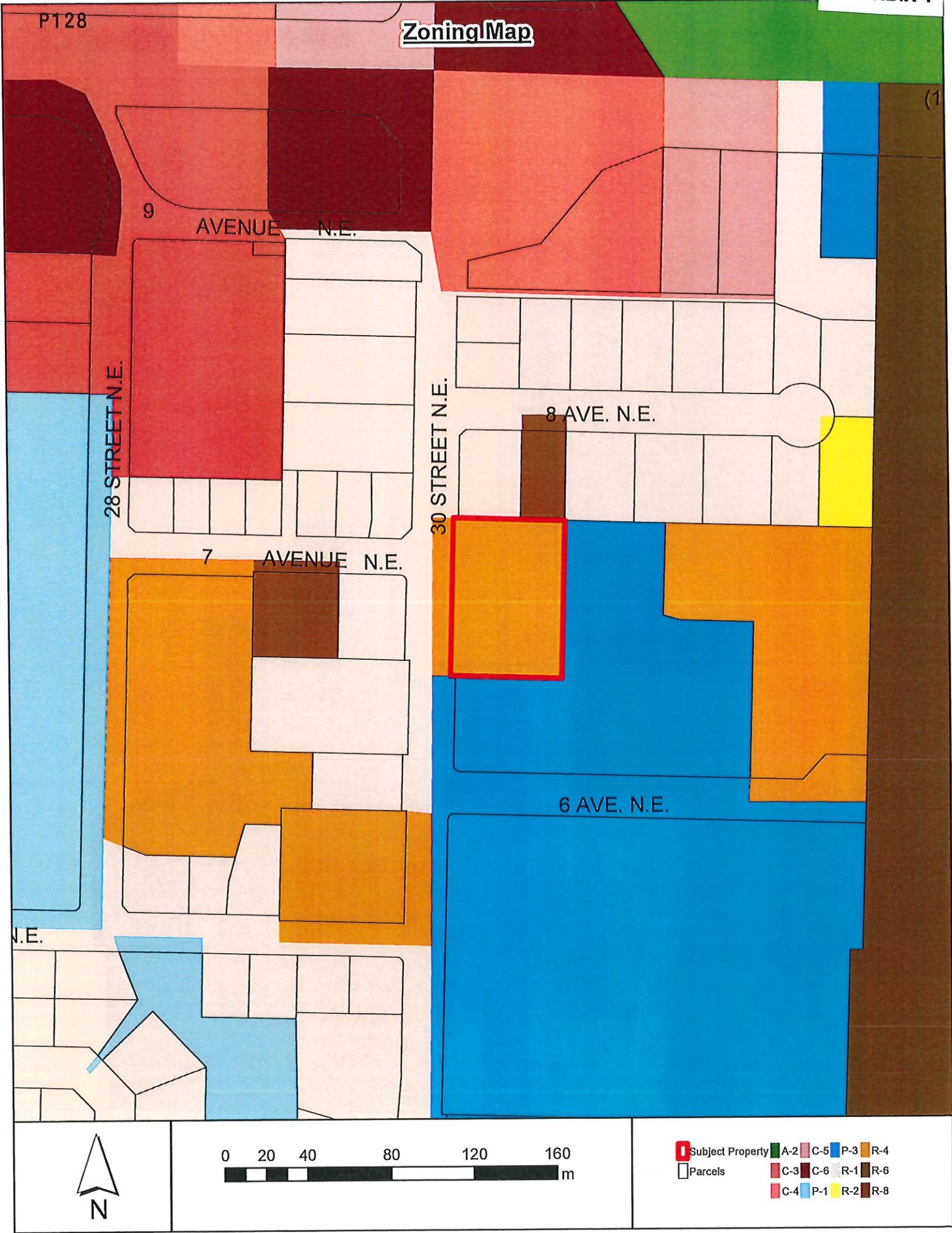
OCP Map

(1)



- Subject Property
- Acreage Reserve
- Residential - Low Density
- Residential - Medium Density
- Institutional
- Commercial - Highway Service / Tourist
- Parcels
- Park









**MARC A. LAMERTON**, Principal  
Architect AIBC  
B.A., M.Arch., LEED AP

January 03, 2022

**To:** *City of Salmon Arm  
Development Services Department  
Box 40, 500 – 2<sup>nd</sup> Avenue N.E.  
Salmon Arm, BC, V1E 4N2*

**Re:** *Development Permit Application - Design Rationale for Proposed Residential Development  
- Located at 700 – 30<sup>th</sup> Street NE, Salmon Arm, BC*

#### GENERAL PROJECT DESCRIPTION

The proposed development at the above noted address involves the construction of 20 dwelling units, contained within four multi-unit (5-Plex) buildings. The site is designated as 'Residential – Medium Density' in Salmon Arm's *Official Community Plan*, and is in the proximity of the uptown commercial area, schools, churches, the recreation center, arena, and Okanagan College.

The subject property is 0.4049 hectares (1.0 acre) in size and has been recently re-zoned to a R-4 (Medium Density Residential) Zone. The existing topography of the site is relatively flat, with a minor amount of cutting & filling required to create level building platforms for each of the structures.

#### DEVELOPMENT CHARACTERISTICS

As noted on the architectural Site Plan (drawing sheet A1.0) the project is proposing a single vehicle access point from 30<sup>th</sup> Street NE. At the request of Engineering Staff, the Developer has agreed to align this access point with 7<sup>th</sup> Avenue NE (on the west side of 30<sup>th</sup>) for increased traffic safety. Although this does not work as well from an internal vehicle circulation point-of-view, the design team was able to rotate the building footprints and allow for the revised access to travel into the center of the site, towards the parking & building entrances.

Because of this rotation (and the 2.4m road dedication along the west property line), there are two small triangular pieces on the east portions of Building 2 and Building 3 (see Site Plan, Note 6) that are subject to a Development Variance Request. For these portions of the building, the Developer is requesting a reduction in the Rear Yard Setback from the required 5.0m to 3.0m. The total area of the building portions beyond the 5.0m setback is 24sm, which represents only 3.1% of each of the two buildings that is requiring a Variance.

All of the required off-street parking (30 stalls) is provided on site through a combination of covered and uncovered surface parking, including the construction of a small, stand-alone carport structure (see drawing A6.1). The design of the Site Plan is intended to focus the parking on the center of the site – near the building entrances – while preserving the property perimeter for open areas, landscaping (see Landscape Plan), and winter snow storage.



**MARC A. LAMERTON**, Principal  
 Architect AIBC  
 B.A., M.Arch., LEED AP

The project proposes a density of 49.4 units per hectare, which is permitted in the R-4 zone with the provision of a special amenity (as per Section 9.11 – Table 2) of the Zoning Bylaw. The Developer is committed to providing 6 suites that will include accommodation for accessibility needs. These features will incorporate elements such as: designated parking, building elevators, accessible door sizes within units, extra width in bedroom spaces for wheelchair access, universal fixtures and roll-in showers in washrooms. The detailed design of the accessible suites will be provided in the Building Permit drawings for each building, and will reference such standards as 'CSA B651-04 Accessible Design for the Built Environment', 'ADA Standards for Accessible Design', 'BC Accessibility Handbook 2020', and the related sections of the 2018 BC Building Code.

## BUILDING DESIGN

The general approach for the building design is envisioned to reflect the City of Salmon Arm design guidelines for residential Development Permit zones, keeping in mind the existing context of dwellings to the north and the mixture of institutional (primarily schools & churches) and residential uses along 30<sup>th</sup> Street NE. The buildings feature a flat-roof strategy (intended to keep overall building height down), with clean, contemporary forms. The building exteriors include a mixture of cladding materials – largely stucco finish (in a light, warm grey), with areas of metal cladding (charcoal grey), and cement fiberboard siding. The colour of the cement fiberboard siding will vary between each building, providing further interest and some distinction between the structures. (See drawing sheets A5.1 and A5.2 for building renderings).

Landscaping is proposed as per the OCP guidelines, with emphasis on providing an appealing street frontage and planting around the project entrance and the site perimeter. Solid, white fencing – 5' high – is proposed around the property's north, east, and south sides. The principals for 'Fire Smart' landscaping are kept in mind by careful plant & tree selection and minimizing planting within 1.5m of structures. The Developer has also included some provisions for landscape areas that will be suitable for snow storage during the winter months.

## CONCLUSION

The project team is very excited about moving on to the next phase of this development and we look forward to working with City Staff, Council, and members of the public to offer additional housing options in our community.

Should you have any questions regarding the proposed development, please do not hesitate to contact me.

Yours very truly,

A handwritten signature in black ink, appearing to read "Marc Lamerton", written over a horizontal line.

Marc Lamerton, Architect AIBC  
 B.A., M.Arch., LEED AP





*Memorandum from the  
Engineering and Public  
Works Department*

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TO:	Kevin Pearson, Director of Development Services
DATE:	January 7, 2022
PREPARED BY:	Mustafa Zakreet, Engineering Assistant
APPLICANT:	<b>TSL Developments Ltd</b>
SUBJECT:	<b>DEVELOPMENT PERMIT AMENDMENT APPLICATION No. DP- 437</b>
LEGAL:	Lot 2, Section 18, Township 20, Range 8, W6M, KDYD, Plan 26408, Except Plan 28836
CIVIC:	<b>700 – 30 St NE</b>

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Further to your referral dated January 7, 2022, we provide the following servicing information.

**General:**

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of development, the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.
9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the

**SUBDIVISION APPLICATION FILE: DP-437**

January 07, 2022

Page 2

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requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.

10. For the off-site improvements at the time of development the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of development approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

**Roads / Access:**

1. 30 Street NE, on the subject properties western boundary, is designated as an Urban Arterial Road standard, with an ultimate 25.0m road dedication (12.5m on either side of road centerline). Although the City only requires an interim total of 20.0m of road dedication (10.0m on either side of road centerline) at this time, all building setbacks will be required to conform to the ultimate 25.0m cross section. Available records indicate that no additional road dedication is required (to be confirmed by BCLS), however the City will require a statutory right of way for an additional 2.5m beyond the current road dedication for the construction of a multi-use path, to be constructed at the applicant/developers cost.
2. 30 Street NE is currently constructed to an Interim Urban Arterial Road standard. Upgrading to the current Urban Interim Arterial Road standard is required, in accordance with Specification Drawing No. RD-4 (revised). Upgrading may include, but is not limited to curb & gutter, offset multi-use path, underground Telus and Shaw and street lighting. Owner / Developer is responsible for all associated costs.
3. As 30 Street NE is designated as an Arterial Road, accesses shall be designed by keeping to a minimum number and located in the safest location. Only one driveway access will be permitted, the existing driveway shall be removed. Owner / Developer responsible for all associated costs.
4. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
5. Consideration within the property shall be given to snow storage. No snow will be permitted to be pushed onto or across 30 Street NE.



**SUBDIVISION APPLICATION FILE: DP-437**

January 07, 2022

Page 3

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**Water:**

1. The subject property fronts a 200mm diameter Zone 4 watermain on 30 Street NE. No upgrades will be required at this time.
2. The proposed development is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 19mm service from the 200mm diameter watermain on 30 Street NE. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. Bare Land Strata developments with ground oriented access have the option of a bulk water meter installed at property line at time of subdivision with invoicing to the Strata Corporation or individual strata lot metering with invoicing to each strata lot (currently on an annual flat rate). To qualify for the second option each unit requires a separate outside water service shut-off connected to the onsite private water main. Contact Engineering Department for more information. All meters will be provided at time of building permit by the City, at the owner/developers cost.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012)..
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.

**Sanitary:**

1. The subject property is serviced by a 150mm diameter sanitary sewer that terminates at a manhole in the south west corner of the property. Since this is the head of the run, subject to item 2, no further upgrades will be required at this time. However, a 6m wide right of way for the existing sewer and manhole is required
2. The development is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Sanitary System to receive the proposed discharge from the development. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 100mm service from the sanitary manhole in the south west corner of the property. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**SUBDIVISION APPLICATION FILE: DP-437**

January 07, 2022

Page 4


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**Drainage:**

1. The subject property is serviced by a 200mm diameter storm sewer that terminates at a manhole in the south west corner of the property. No upgrades will be required at this time, however, a 6m wide right of way for the existing sewer and manhole is required
2. Records indicate that the existing property is not serviced by a storm service. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**Geotechnical:**

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design).



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**Mustafa Zakreet**  
Engineering Assistant



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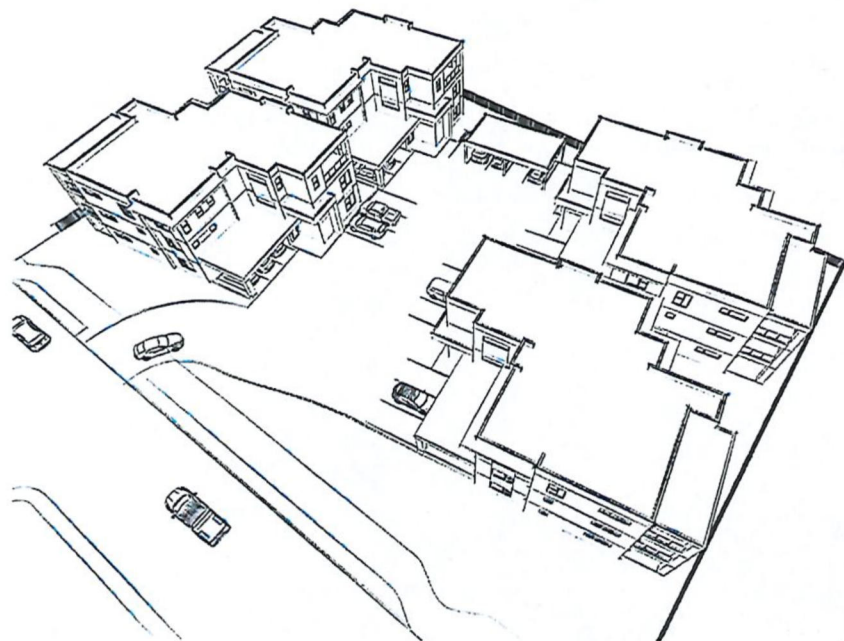
**Jenn Wilson P.Eng., LEED® AP**  
City Engineer

# 30TH STREET N.E.

## Residential Development

### DRAWING LIST:

- A0.0 COVER SHEET
- A1.0 SITE PLAN
- A2.2 GROUND FLOOR PLAN
- A2.3 SECOND FLOOR PLAN
- A2.4 UPPER FLOOR PLAN
- A2.5 ROOF PLAN
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A5.1 EXTERIOR 3D VIEWS
- A5.2 EXTERIOR 3D VIEWS
- A6.1 CARPORT DESIGN



LOCATION PLAN NOT TO SCALE



AVEX ARCHITECTURE

18888

DATE

Development Period

Dec. 14, 2021



AVEX ARCHITECTURE

4188 - 40th ST NE

PO BOX 3235

SALMON ARM, BC V1E 4H3

Phone: 250-515-1881

Fax: 250-515-1881

E-mail: info@avexarch.ca

Web: www.avexarch.ca



AVEX ARCHITECTURE

4188 - 40th ST NE

PO BOX 3235

SALMON ARM, BC V1E 4H3

Phone: 250-515-1881

Fax: 250-515-1881

E-mail: info@avexarch.ca

Web: www.avexarch.ca



AVEX ARCHITECTURE

4188 - 40th ST NE

PO BOX 3235

SALMON ARM, BC V1E 4H3

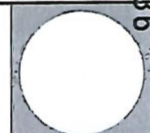
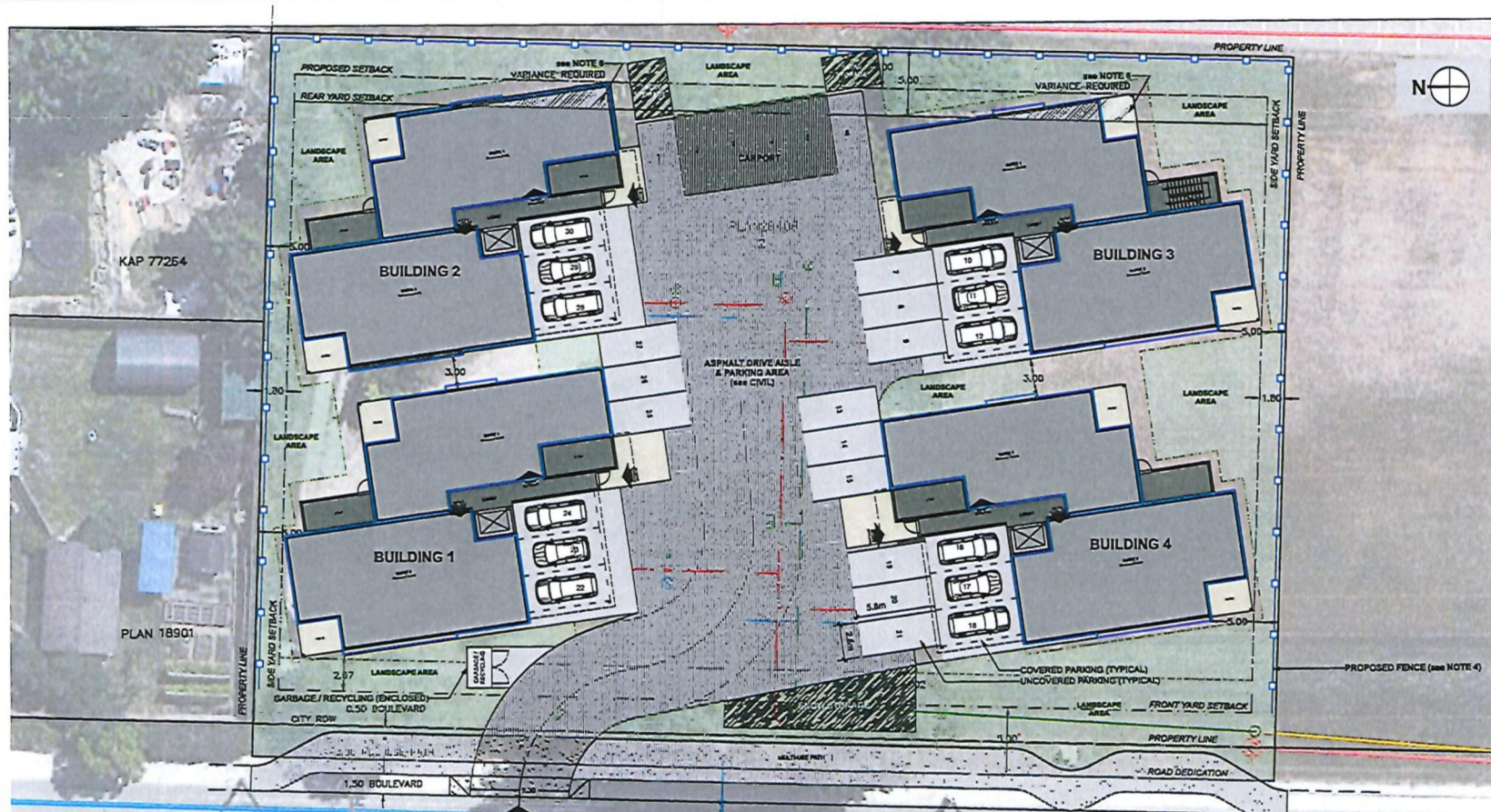
Phone: 250-515-1881

Fax: 250-515-1881

E-mail: info@avexarch.ca

Web: www.avexarch.ca





ISSUE	DATE
Development Permit	Dec. 14, 2021

DRAWN BY: H.C.J.  
 DATE: December 2021  
 SCALE: as noted



416-445-5786  
 HQ: 1001-1205  
 SALMON ARM, BC V1E 4B3  
 Plan: Laminar, Archibald, ABC  
 T: 250-519-9851  
 E: info@avexarchitecture.com  
 W: www.avexarchitecture.com

PROJECT: 20-019  
 30th Street NE  
 Residential  
 Development

700 - 35th Street NE,  
 Salmon Arm, BC

DRAWING TITLE:  
 SITE PLAN  
 DEVELOPMENT  
 INFO & BUILDING  
 CODE ANALYSIS

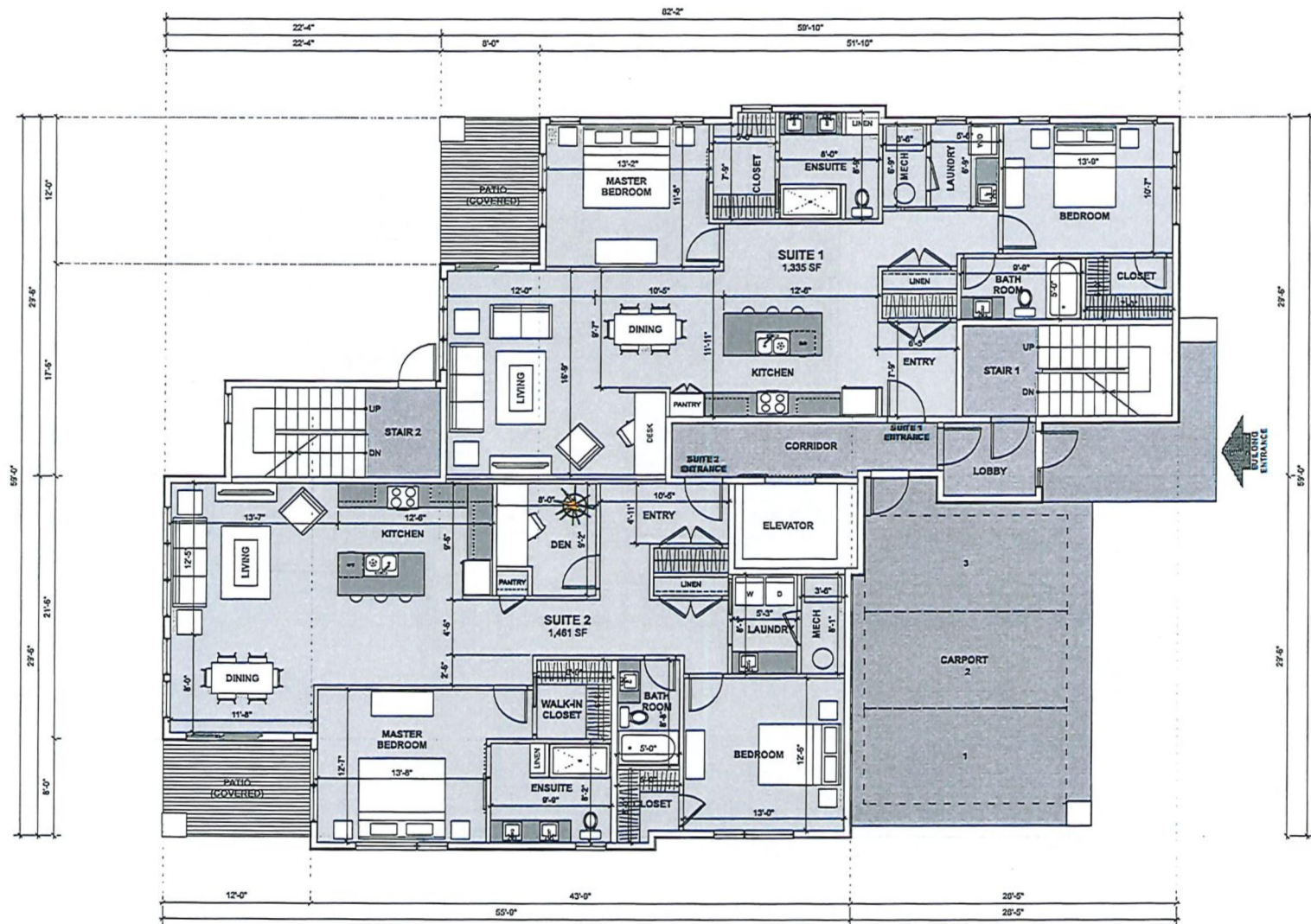
DRAWING NO:

A1.0

- SITE PLAN NOTES**
- See Civil drawings for site servicing and grading information.
  - See Landscape drawings (and Plant List) for landscape design.
  - Exact alignment of unit driveways and walkways to be determined.
  - Developers to provide 5' solid fence (white vinyl).
  - Landscape grass area to be used for winter snow storage (typical).
  - Portion of building related to Variance Request.

DEVELOPMENT INFO		PRELIMINARY BUILDING CODE ANALYSIS:	
CIVIC ADDRESS: 700, 30th Street NE, Salmon Arm, BC		(Per individual building)	
PARCEL IDENTIFIER (PID): 002-015-421		Building Area:	453.38m <sup>2</sup> (4,342sf)
LEGAL DESCRIPTION: Lot 2 Section 18 Township 20 Range 9 WSM KDYD Plan 25406 Except Plan 25535		Gross Floor Area:	Ground Floor = 453.38m <sup>2</sup> (4,342sf) Second Floor = 305.82m <sup>2</sup> (3,282sf) TOTAL = 759.20m <sup>2</sup> (8,204sf)
LOT SIZE: Total Property = 4,045.1m <sup>2</sup> (1.00 acre)		Building Height:	3 Storeys (plus Basement)
ZONING: Medium Density Residential (M-4) - Multi-Family Dwellings (Permitted)		Roof Pitch:	1:12
DENSITY: Allowable = 40 dwelling units per hectare (18.2 dwelling units per acre) 5,400 sq ft (12.5 acres) @ 40 units/hectare = 18 Units (as per Table 2 in Section 9 of the City of Salmon Arm Zoning Bylaw)		Fire Suppression:	Non-Sprinklered
Proposed = 20 Units		Construction Type:	Combustible & Non-Combustible
SITE COVERAGE: Allowable = 55.0% Proposed = 38.4%		Major Occupancies (Multiple):	Group C Residential
PARKING: Dwelling Units: 20 Units Parking Spaces Per Unit: x 1.5 Total Stalls Required: 30 Stalls Total Proposed Stalls: Surface - Covered: 18 Stalls Surface - Uncovered: 14 Stalls Total: 32 Stalls		Applicable Building Code:	2015 BC Building Code - Part 9
REQUIRED SETBACKS: Front Yard: 5.0m (16.4ft) Rear Yard: 5.0m (16.4ft) Proposed = 3.0m Variance Required Side Yard: 1.5m (5.0ft) Minimum Separation between Residential Buildings: More than 1 Storey = 3.0m (9.8ft)		Required Fire Separations:	Between Group C and other Major Occupancies = 1 Hour Fire Resistance Rating - as per S.10.8.1(1) Civic = 1 Hour Fire Resistance Rating - as per S.9.4.2(1)(a) Between Residential Suites = 45 Minute Fire Resistance Rating - as per S.10.8.14(1) Public Corridor = 45 Minute Fire Resistance Rating - as per S.10.8.15(1) Service Rooms containing Fuel-Fired Appliances = 1 Hour Fire Resistance Rating - as per S.10.10.14(1) Storage Rooms = 1 Hour Fire Resistance Rating - as per S.10.10.1(1)
MAXIMUM HEIGHT: Permitted = 13.0m (42.6ft) as per Section 9.4 & Section 9, Table 2 of the City of Salmon Arm Zoning Bylaw Proposed = see Elevations		Required Fire Resistance Ratings:	Floors = 1 Hour - as per Table S.10.8.1 and S.10.8.11(1) Loadbearing Walls, Columns = 1 Hour - as per Table S.10.8.1 and S.10.8.11(1) Roof = 45 Minutes - as per Table S.10.8.1





AVEX ARCHITECTURE

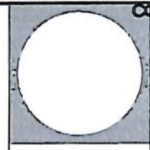
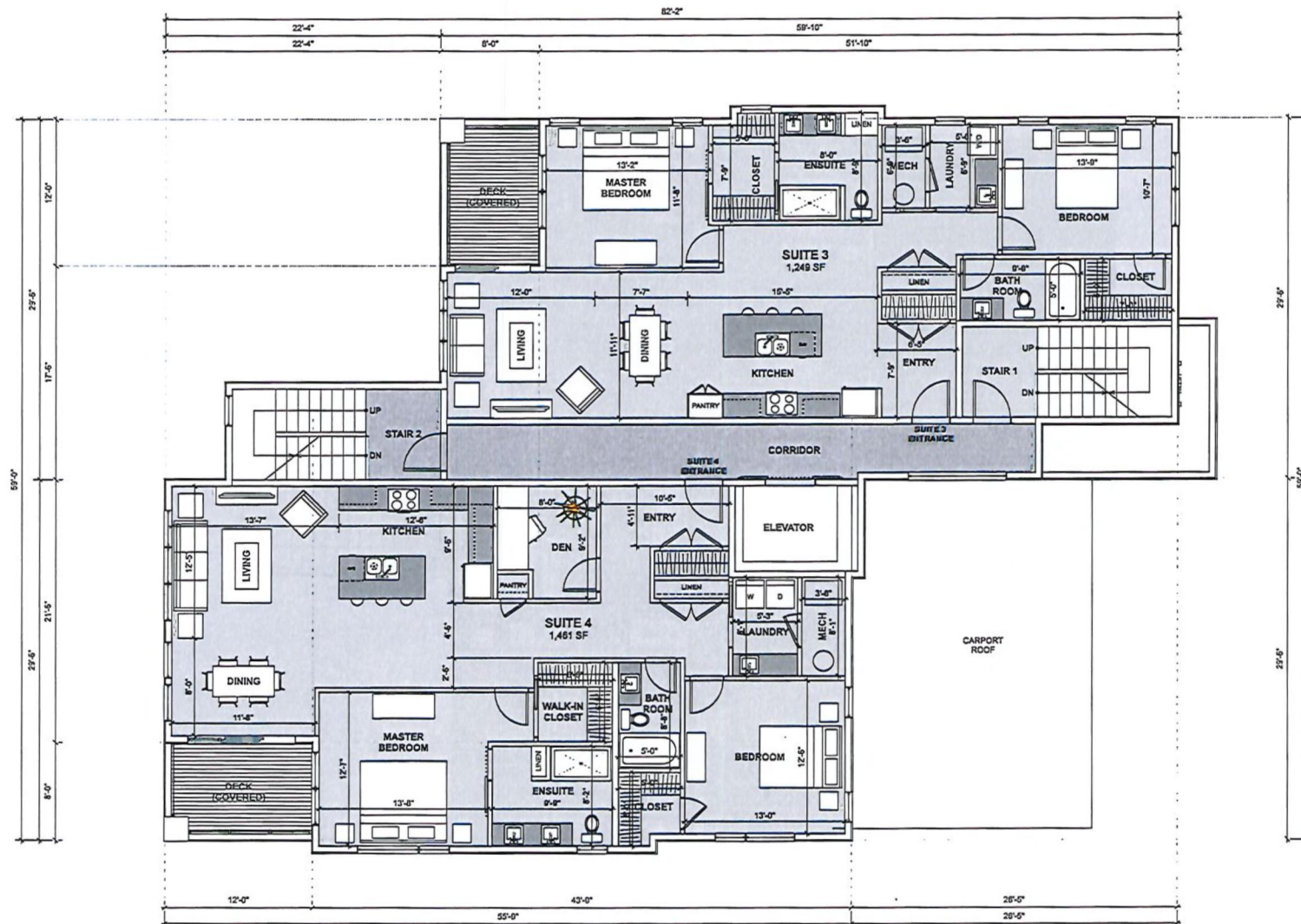
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Development Phase	Dec 11, 2021
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DATE: December 2021	
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4168 - 16th ST NE  
PO BOX 2230  
SALMON FALLS, BC V1E 4R2  
Phone: 250-735-4001  
Email: info@avexarchitect.ca  
W: www.avexarchitect.ca

PROJECT: 30-019  
30th Street NE  
Residential  
Development

700-30th Street NE  
Salmon Falls, BC  
DRAWING TITLE:  
GROUND  
FLOOR PLAN

DRAWING NO:  
A2.2



ISSUE DATE  
Development Permit Date: Dec. 11, 2021

DRAWN BY: MLC  
DATE: December 2021  
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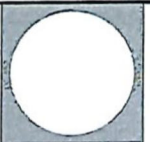
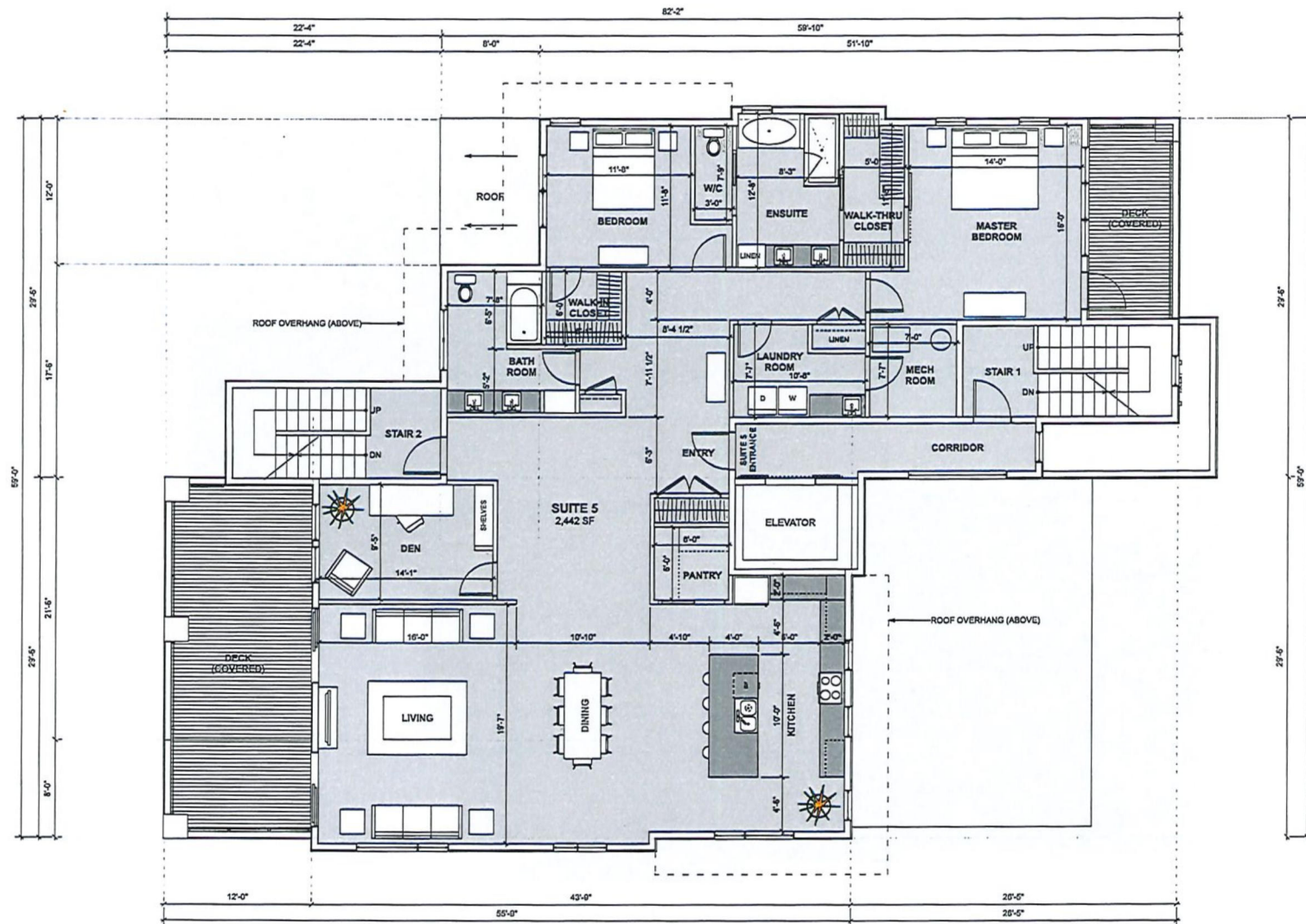
4108 - 6th St NE  
PO Box 3320  
SALMON ARM, BC V1E 4R3  
Phone: 250-835-4800  
Fax: 250-835-4801  
E: mml@avexarchitecture.ca  
W: www.avexarchitecture.ca

PROJECT: 20-019  
**30th Street NE**  
Residential  
Development

700-30th Street NE  
Salmon Arm, BC  
DRAWING TITLE:  
**SECOND FLOOR PLAN**

DRAWING NO:  
**A2.3**





AVEX ARCHITECTURE

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DRAWN BY: MLC

DATE: December 2021

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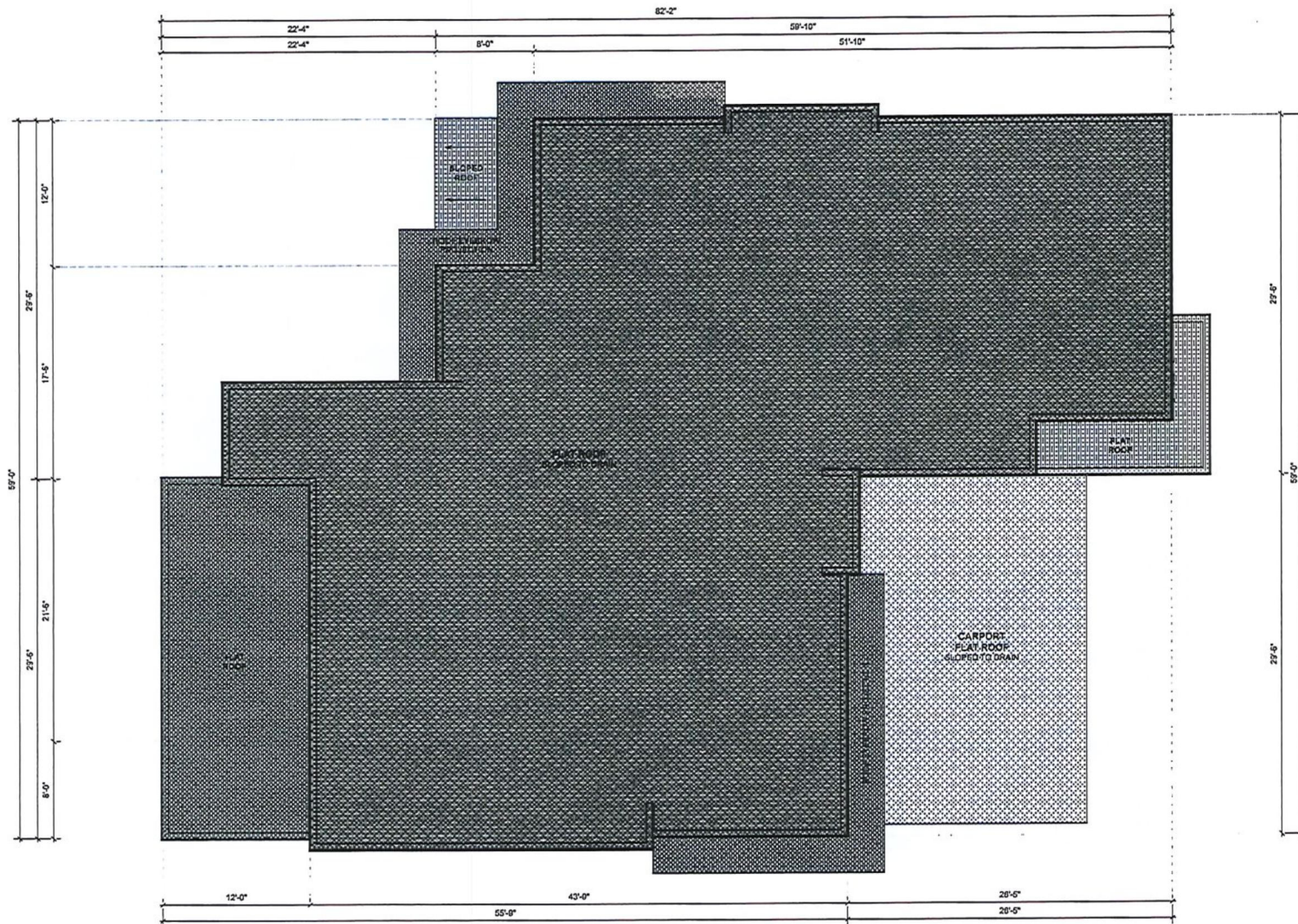
4166 - 10th ST NE  
PO BOX 2230  
SALMON ARM, BC V1E 4K2  
Marc Lamer, Architect ABC  
T 250-254-8821  
E marc.lamer@avexarch.ca  
W www.avexarch.ca

PROJECT: 25-019  
30th Street NE  
Residential  
Development

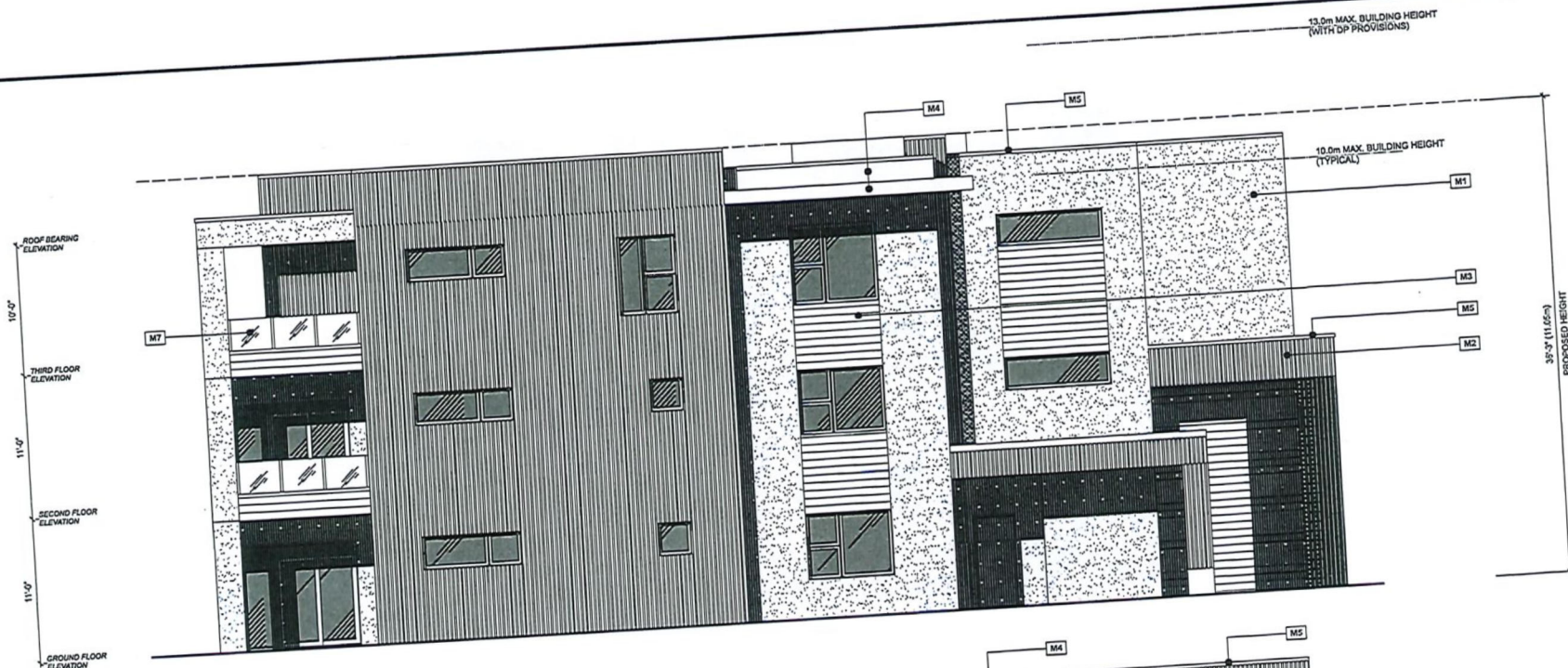
700-30th Street NE,  
Salmon Arm, BC

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THIRD  
FLOOR PLAN

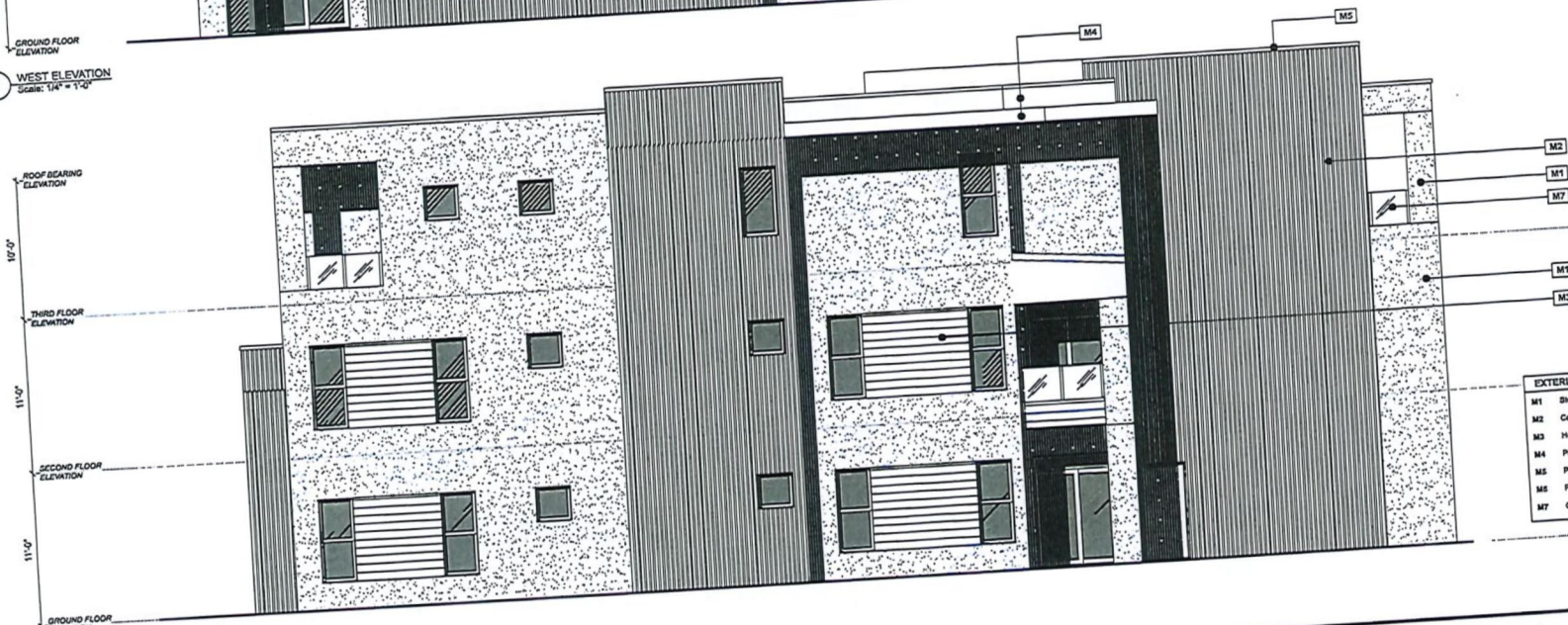
DRAWING NO:  
A2.4







1 WEST ELEVATION  
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2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

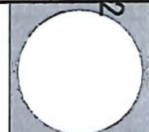
EXTERIOR MATERIAL NOTES	
M1	Blouse Cladding - Light
M2	Corrugated Metal - Charcoal
M3	Horizontal Cement Fibre Board - Infill Panels
M4	Pre-Finished Metal Fascade - Dark
M5	Pre-Finished Metal Flashing - Dark
M6	Pre-Finished Metal HSS Column - Black
M7	Guard Rail at 42" Height - Glass

PROJECT: 30th Street NE Residential Development  
 DRAWING TITLE: ELEVATIONS  
 DRAWING NO: A3.1

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN BY: H.C. DATE: December 2021  
 SCALE: 1/4" = 1'-0"

**AVEX**  
 ARCHITECTURE  
 4168 - 4th ST NE  
 100 BOX 2350  
 SALMON ARM, BC V1E 4R2  
 Marc Lemmon, Architect ABC  
 T 250.515.4051  
 E marc@avexarchitecture.ca  
 W www.avexarchitecture.ca





ISSUE	DATE
Client/Owner Review	Dec. 14, 2021

DRAWN BY: H.C.  
 DATE: December 2021  
 SCALE: 1/4" = 1'-0"



4108 - 4th ST NE  
 PO BOX 2520  
 SALMON ARM, BC V1E 4H2  
 Mark Lemmon, Architect AIBC  
 T 250.415.4881  
 E mark@avexarchitecture.ca  
 W www.avexarchitecture.ca

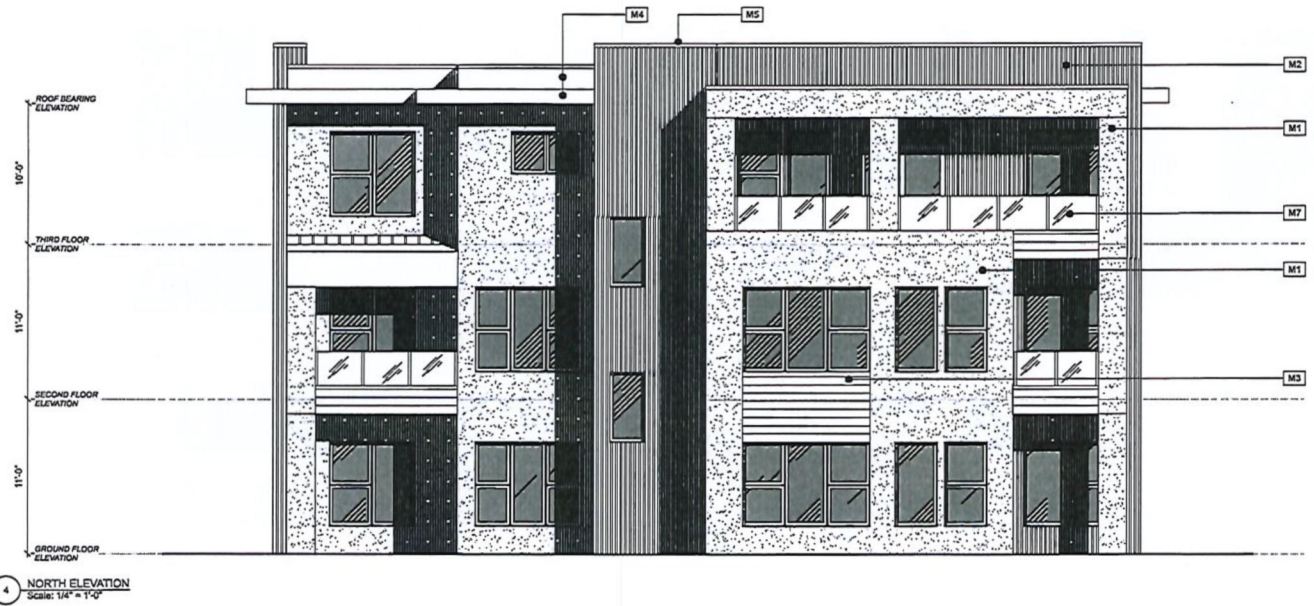
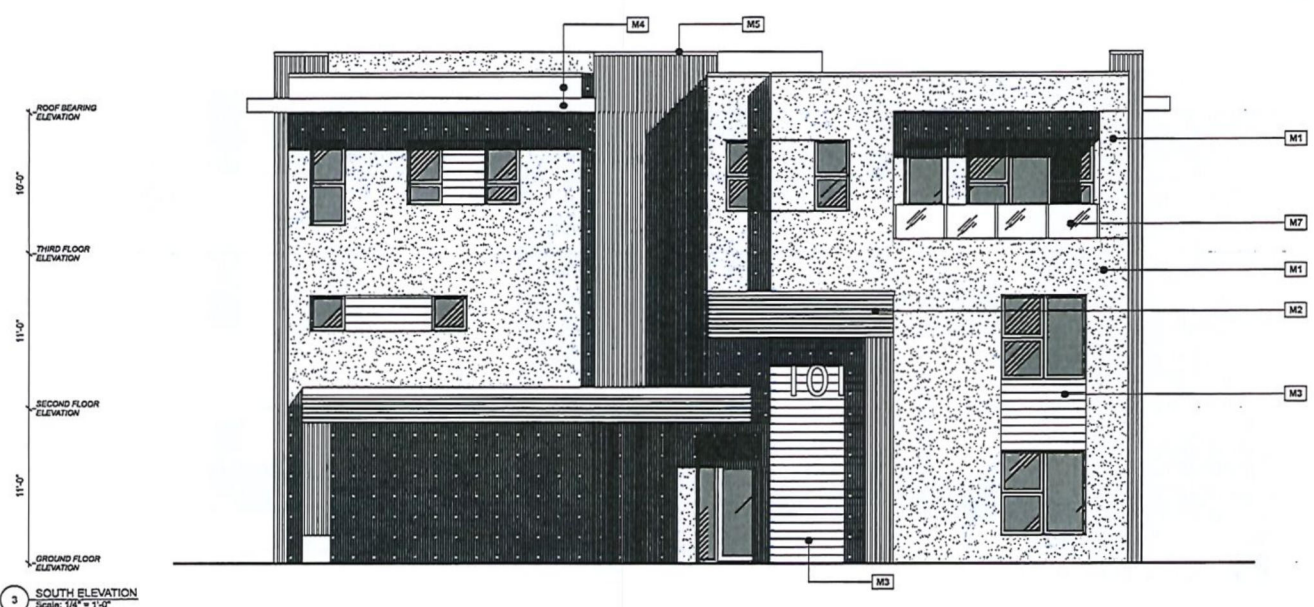
PROJECT: 20-019  
**30th Street NE**  
 Residential  
 Development

700-30th Street NE,  
 Salmon Arm, BC

DRAWING TITLE:  
**ELEVATIONS**

DRAWING NO:

**A3.2**



EXTERIOR MATERIAL NOTES	
M1	Stucco Cladding - Light
M2	Corrugated Metal - Chancel
M3	Horizontal Cement Fibre Board - InFS Panels
M4	Pre-Finished Metal Flashing - Dark
M5	Pre-Finished Metal Flashing - Dark
M6	Pre-Finished Metal HSS Column - Black
M7	Guard Rail at 42" Height - Glass



EXTERIOR 3D VIEWS



ISSUE	DATE
Development Permit	Dec 14, 2021

DRAWN BY: P.L.C.
DAT: December 2021
SCALE: N/A



4168 - 40 ST NE  
PO BOX 2320  
SAPOULAP, BC V1E 4B3  
Phone: 250-451-1801  
Email: info@avexarch.ca  
Web: www.avexarch.ca

PROJECT: 23-018  
30th Street NE  
Residential  
Development

700-30th Street NE,  
Salmon Arm, BC  
DRAWING TITLE:  
3D VIEWS

DRAWING NO:  
A5.1



# EXTERIOR 3D VIEWS



ISSUE	DATE
Development Permit	Dec 14, 2021

DRAWN BY: PLJ  
 DATE: December 2021  
 SCALE: N/A



4105 - 49th St NE  
 PO BOX 1100  
 SAULTOIN, AB T0C 1A0  
 Phone: 403.241.1100  
 Email: info@avexarch.ca  
 Web: www.avexarch.ca

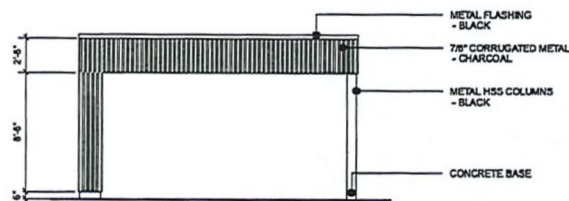
PROJECT: 20419  
**30th Street NE**  
 Residential  
 Development

700-30th Street NE,  
 Calgary, AB, T2C 1A0  
 DRAWING TITLE:  
**3D VIEWS**

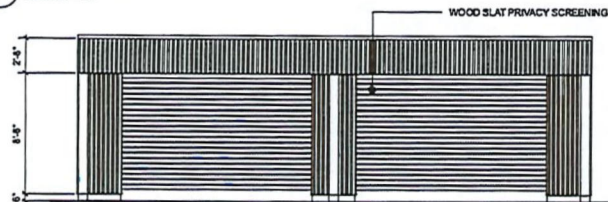
DRAWING NO:  
**A5.2**



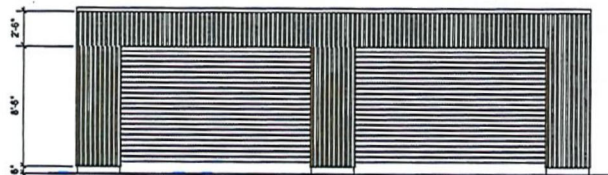
# 30TH STREET N.E. CARPORT DESIGN



4 SIDE ELEVATION  
Scale: 1/4" = 1'-0"

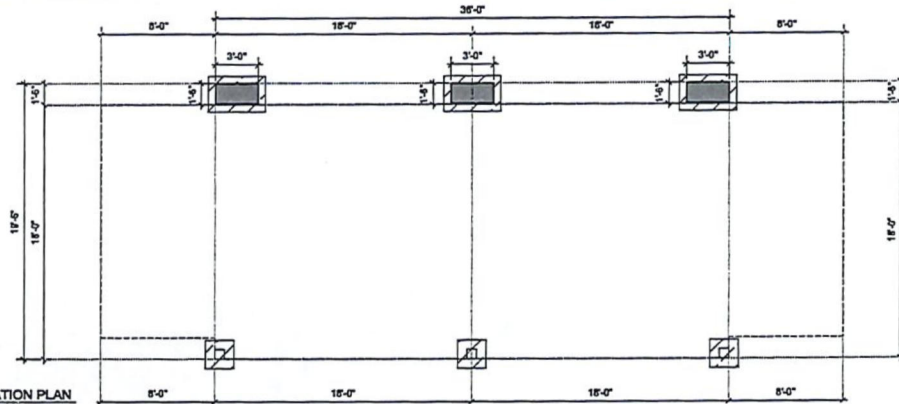


5 FRONT ELEVATION  
Scale: 1/4" = 1'-0"

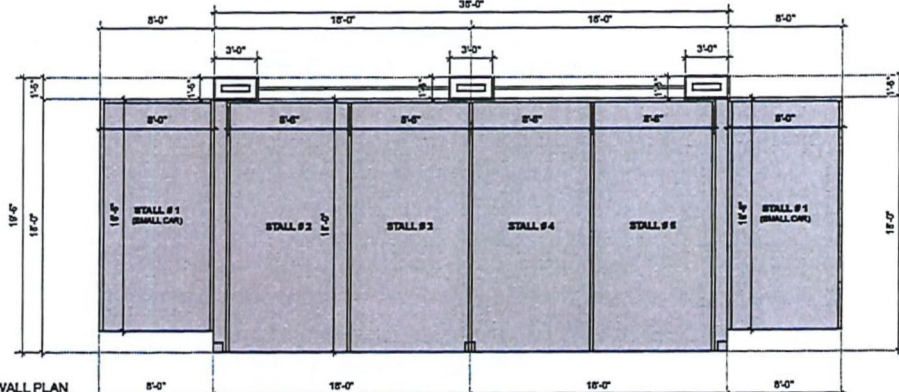


6 BACK ELEVATION  
Scale: 1/4" = 1'-0"

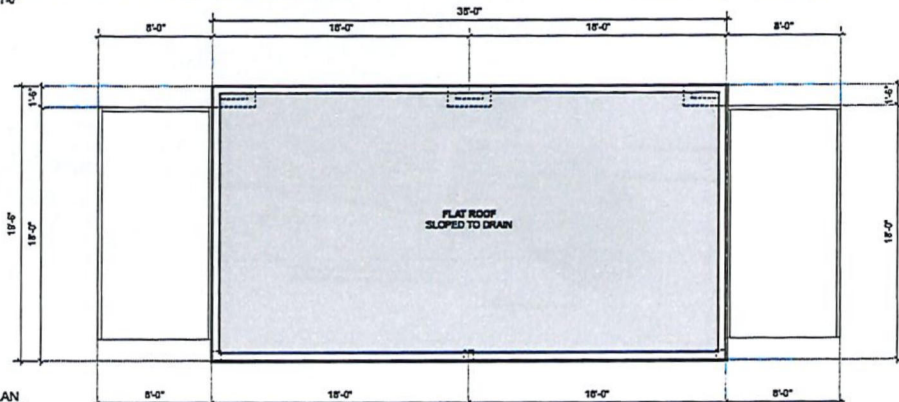
1 FOUNDATION PLAN  
Scale: 1/4" = 1'-0"



2 SLAB & WALL PLAN  
Scale: 1/4" = 1'-0"



3 ROOF PLAN  
Scale: 1/4" = 1'-0"



ISSUE	DATE
Development Form	Dec 14, 2021
DRAWN BY: P.L.C.	
CHECKED BY: December 2021	
SCALE: 1/4" = 1'-0"	



4168 - 40 ST NE  
PO BOX 2339  
SAVONNA, FL 32916-0339  
Phone: 772-325-1431  
Email: info@avexarch.com  
www.avexarch.com

PROJECT: 230119  
30th Street NE  
Residential  
Development

700 30th Street NE  
Savonna, FL 32916  
DRAWING TITLE:  
CARPORT  
PLANS

DRAWING NO:

A6.1



COMPASSION FOR THE HOMELESS IS THE CHALLENGE OF THE FUTURE.  
REAGAN'S POLICY OF ABANDONMENT HAS BEEN A DISASTROUS MISTAKE.  
WE MUST REVERSE THIS POLICY AND PROVIDE HOUSING FOR ALL.

ISSUE	DATE
-------	------

REVIEW 14 DEC 2021-

DRAWN BY: MLC

DATE: November 2021

SCALE: \_\_\_\_\_



4168 - 4th ST NE  
PO BOX 2350  
SALMON ARM, BC V6B1B3

Marc Lamerton, Architect AIBC  
T 250-315-4801  
E [marc@wvnaarchitecture.ca](mailto:marc@wvnaarchitecture.ca)  
W [www.wvnaarchitecture.ca](http://www.wvnaarchitecture.ca)



ERIC REYNARD  
Landscape Architect

PROJECT: 20-019  
**30th Street NE**  
Residential  
Development

700 - 30th Street N.E.  
Salmon Arm, BC

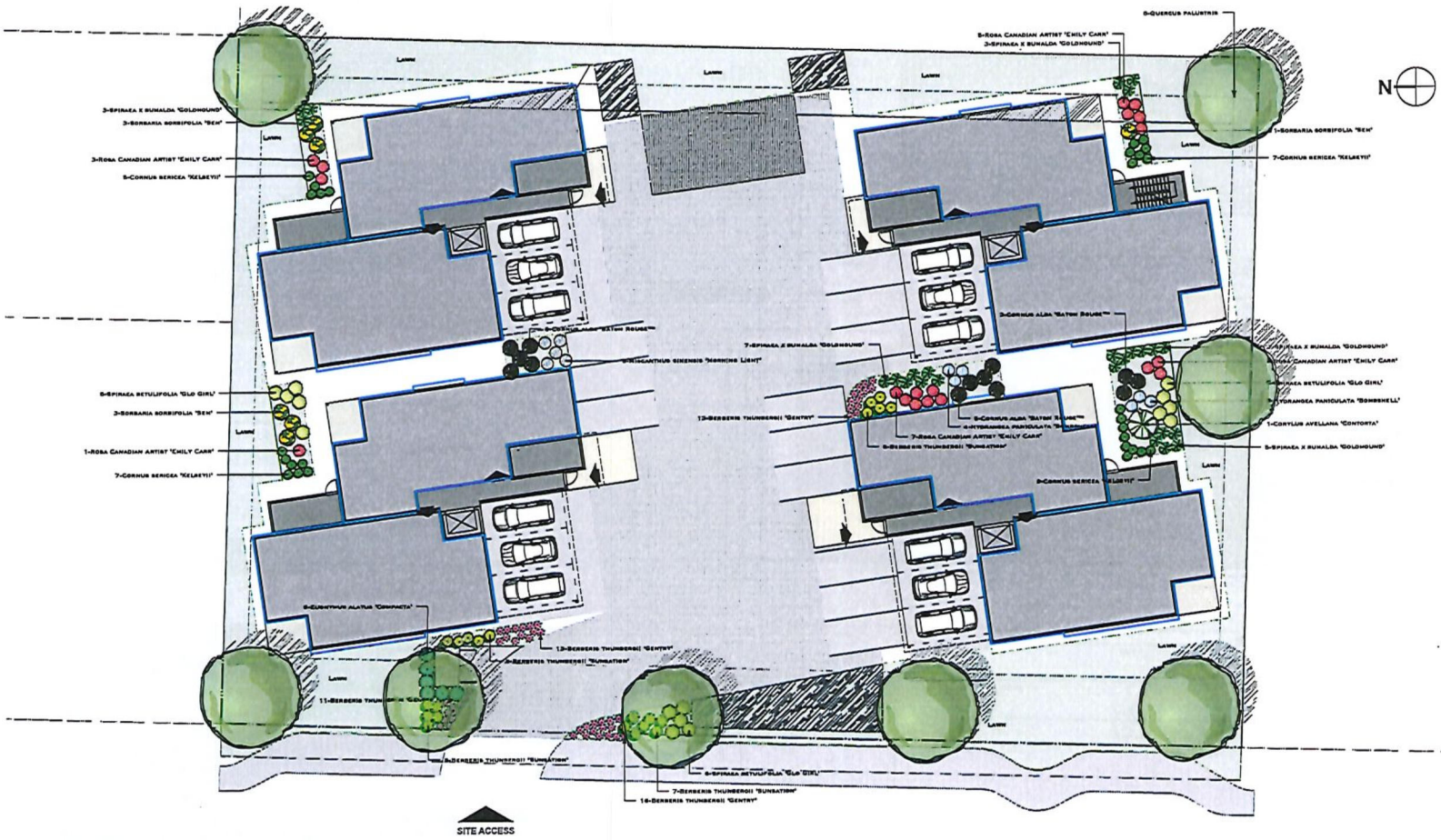
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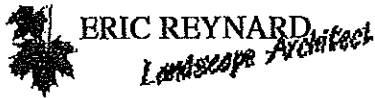
**DRAWING TITLE:**

## Planting Plan

DRAWING NO:

## L1.1



**30TH STREET NE DEVELOPMENT****14 DECEMBER 2021**

<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b>
<b><u>TREES</u></b>			
1	Corylus avellana 'Contorta'	Contorted Hazelnut	#5 pot
8	Quercus palustris	Pin Oak	7cm cal
<b><u>SHRUBS</u></b>			
22	Berberis thunbergii 'Sensation'	Sensation Japanese Barberry	#2 pot
53	Berberis thunbergii 'Gentry'	Royal Burgundy Japanese Barberry	#2 pot
13	Cornus alba 'Baton Rouge'	Baton Rouge Dogwood	#2 pot
28	Cornus sericea 'Kelsey'	Kelsey Dogwood	#2 pot
6	Euonymus alatus 'Compacta'	Dwarf Winged Burning Bush	#2 pot
7	Hydrangea paniculata 'Bombshell'	Bombshell Panicle Hydrangea	#2 pot
5	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	#1 pot
19	Rosa Canadian Artist 'Emily Carr'	Emily Carr Rose	#2 pot
7	Sorbaria sorbifolia 'Sem'	False Spirea	#2 pot
16	Spiraea betulifolia 'Glo Girl'	Glo Girl Birch-Leaf Spirea	#2 pot
25	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	#2 pot

No substitutions without written permission of the Landscape Architect.

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Item 22.3

**CITY OF SALMON ARM**Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: Development Permit No. DP-439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481 Except Plans H401 and EPP70085 in accordance with the Development Permit drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND THAT: Development Permit No. DP-439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Rear Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;
2. Section 17.9.3 – Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as Appendix 7 to the staff report dated February 24, 2022;

AND FURTHER THAT: Issuance of Development Permit No. DP-439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Rem Lot 14 on the drawings attached as Appendix 6 to the staff report dated February 24, 2022.

[Bremmvic Holdings Ltd.; 2430 10 Avenue (TCH) SW; Form and Character]

**Vote Record**

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



To: His Worship Mayor Harrison and Members of Council

Date: February 24, 2022

Subject: Development Permit Application No. DP- 439 (Form and Character)  
 Civic Address: 2430 10 Avenue (TCH) SW  
 Owner/Applicant: Bremmvic Holdings Ltd. (William Laird)

### **STAFF RECOMENDATION**

**THAT:** Development Permit No. 439 be authorized for issuance for Lot 14, Section 10, Township 20, Range 10, W6M, KDYD, Plan 481, Except Plans H401 and EPP70085 (2430 10 Avenue (TCH) SW) in accordance with the Development Permit drawings attached as APPENDIX 7;

**AND THAT:** Development Permit No. 439 vary Zoning Bylaw No. 2303 as follows:

1. Section 17.9.2 – Minimum Setback of Accessory Buildings, Rear Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as APPENDIX 7;
2. Section 17.9.3 - Minimum Setback of Accessory Buildings, Interior Parcel Line, 1.0m reduced to 0.0m for the storage building as shown in the drawings attached as APPENDIX 7;

**AND FURTHER THAT:** Issuance of Development Permit No. 439 be withheld until the registration of an easement to address stormwater discharge on the adjacent parcel shown as proposed Lot Rem Lot 14 on the drawings attached as Appendix 6.

### **PROPOSAL**

To review the Development Permit package attached as Appendix 7. The applicant is proposing to construct a commercial storage building along a proposed property line. A letter provided by the applicant is included as Appendix 5.

### **BACKGROUND**

The subject property is located in the highway commercial area on the west side of the City (see Appendix 1 and 2). The subject property is split designated in the Official Community Plan (OCP) as Salmon Valley Agriculture and Highway Commercial (see Appendix 3) and is split zoned A1 (Agriculture Zone) and C3 (Service Commercial Zone) (see Appendix 4). The southern portion of the lot is within the Agriculture Land Reserve (ALR). Approximately 3.8ha (9.4ac) in area.

Adjacent Land Uses/Development:

North:	Trans Canada Highway & Highway Commercial Development	Zoned C3/C5
South:	Agriculture	Zoned A1
East:	Highway Commercial & Agriculture	Zoned C3/A1
West:	Highway Commercial & Agriculture	Zoned C3/A1

The subject property is currently under subdivision application to establish two lots divided along the ALR, zoning and OCP boundaries with panhandle access from 10 Avenue (TCH) SW to the south portion of the property (proposed Rem Lot 14). The proposed subdivision site plan is attached as Appendix 6. A Preliminary Layout Review letter (PLR) supporting the tow lot subdivision was issued by the Approving Officer on September 14, 2021.

Known as the "Rona" site the subject commercial area operated as the building supply store until 2020 when the operation closed. It is slated to reopen as the same building supply chain store under new ownership. Under previous ownership the City was working to address the encroachment of some storage buildings into ALR land and did not achieve compliance until new ownership. The proposed development includes the removal of some existing storage buildings that are not compliant with ALR or City regulations and replacing those buildings with a single larger storage building and retaining an existing accessory building along the (future) parcel boundary along the (proposed) rear parcel line and the (proposed) interior parcel line. A detailed site plan is included as Appendix 7. For the proposed two lot subdivision to be approved the proposed and existing building must be compliant with the setbacks of the Zoning Bylaw or an issued Development Variance Permit. In this case, since the larger storage building along the (proposed) rear parcel line requires the issuance of a Development Permit, the variances have been included to streamline the development process.

The building materials of the proposed storage building are a combination of corrugated metal and wood. The drawings submitted in support of the application are enclosed as Appendix 7.

## COMMENTS

### Building Department

No concerns.

### Fire Department

No concerns.

### Engineering Department

In response to the Development Permit and variance request, the Engineering Department noted concerns with the sloping roof of the proposed new building citing that surface water shall be retained on site and shall not be allowed to discharge onto the adjacent property. Staff feel that the registration of an easement over the area of stormwater discharge on the adjacent parcel (proposed Rem Lot 14) would address these concerns as the proposed Lot 1, under the easement agreement, would have continued access and the responsibility to address stormwater discharge into perpetuity, minimizing negative impact on the adjacent parcel. Easements and covenants are commonly used legal tools that identify and address responsibilities of neighbouring land owners in similar scenarios.

### Design Review Panel

At their February 23, 2022 meeting the Design Review Panel passed the following recommendation:

"THAT the DRP supports DP 439 as presented."

In their discussion the panel noted while the issue of stormwater discharge is beyond the scope of their purpose concerns were highlighted. In addition the panel commented that the re-opening of the retail store is welcome as is the recent clean up of the site and the efforts to bring the development into compliance with the City's bylaws.

### Planning Department

The OCP requires the issuance of a Development Permit for accessory buildings in the Highway Service/Tourist Commercial Development Permit Area that are greater than 100m<sup>2</sup>. This is to ensure that buildings are consistent with Development Permit design guidelines and is an opportunity to review and address any issues with internal traffic circulation, site access and site egress.

When considering the variance request to reduce the rear and interior parcel line setback from 1.0m to 0.0m a number of factors are taken into consideration including – the potential negative impact to the immediately adjacent and affected property, current land use and future land use of the affected adjacent parcel to assess for potential conflict(s) and site specific conditions.

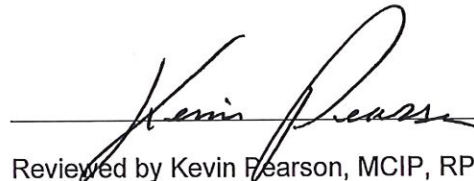
With regard to the proposed variance request, the current use of the portion of land to the south is designated in the OCP and zoned consistent with its current use as agricultural land. Staff feel that the proposed building would act as a physical boundary replicating a legal and regulatory boundary and would act to protect the ALR land to the south from encroachments of the commercial development. Further, the placement of the proposed storage building allows for internal traffic circulation on the commercial site to accommodate the larger scale trucks and traffic that are typical in a commercial building supply yard. The registration of an easement agreement between the (proposed) lots addresses the stormwater discharge and responsibilities without involving City staff or resources. The proposed building is in keeping with the general form and character of the commercial site. Staff are supportive of the Development Permit and variance requests.

Should Council not support the variance the developer would have to consider options such as reducing the area of the proposed building and relocating or removing the existing accessory building along the (proposed) panhandle. This may result in unstructured or informal outdoor storage.

It should be noted that subdivisions along the ALR boundary do not require ALC approval should the Approving Officer considers the subdivision beneficial to farm production. Therefore, the applicant did not have to make a separate subdivision application to the ALC for the proposed two lot subdivision. In this scenario subdividing the ALR portion from the commercial portion of the property, and further demarcating the regulatory boundary by the placement of an accessory building, ensures that encroachments into the ALR and agriculturally productive land(s) from the commercial land would be minimized.



Prepared by Melinda Smyrl, MCIP, RPP  
Planner



Reviewed by Kevin Pearson, MCIP, RPP  
Director of Development Services



## P153

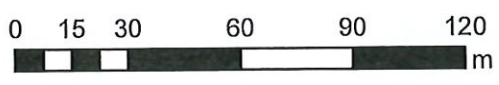





10

11

## Parcels

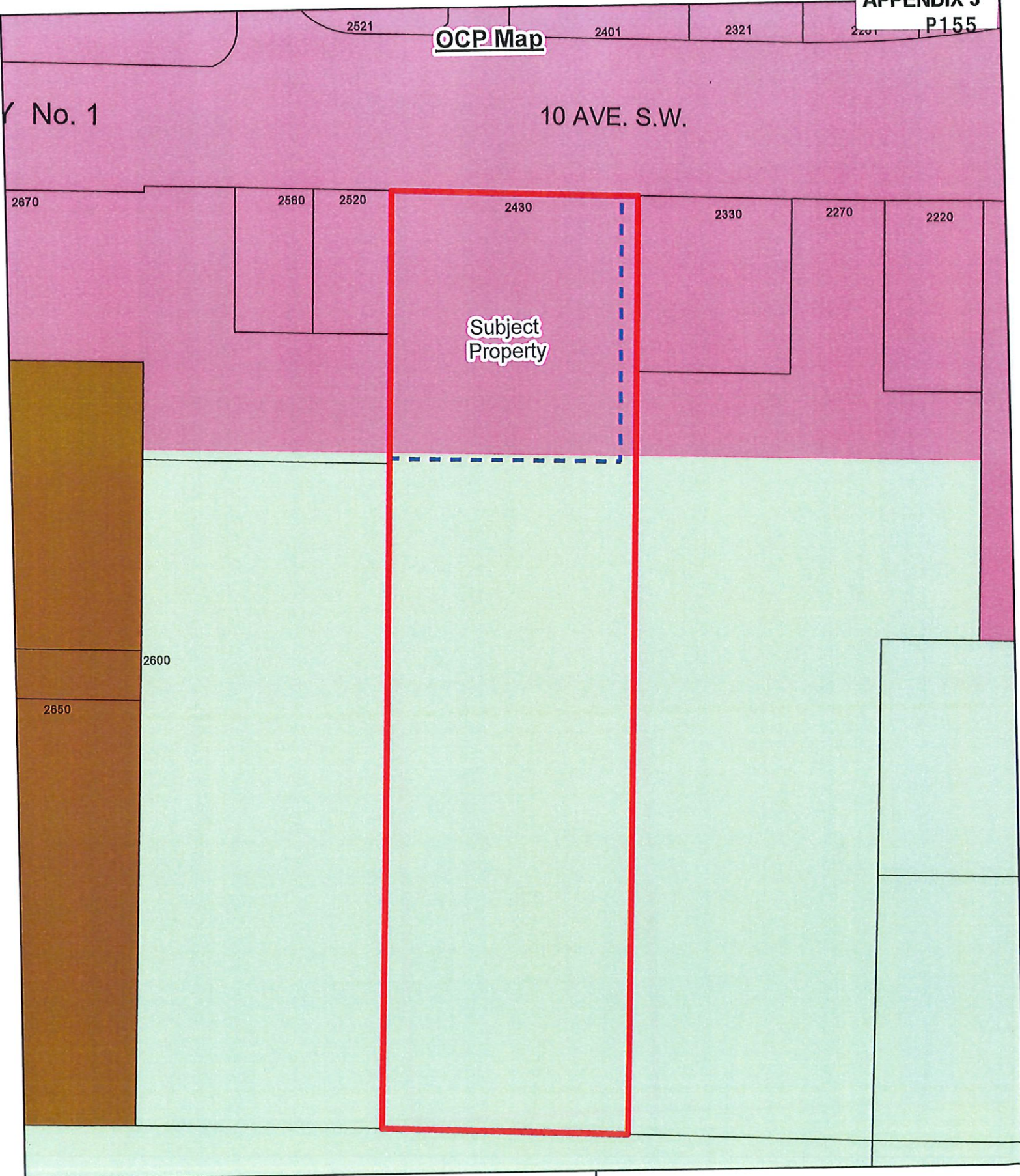




-  Subject Property
-  Proposed Subdivision (see SUB 21.17)
-  Parcels



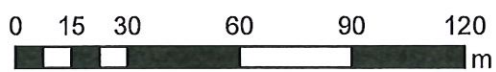
OCP Map



- Subject Property
- Proposed Subdivision (see SUB 21.17)
- Parcels
- Salmon Valley Agriculture
- Commercial - Highway Service / Tourist
- Industrial - General



# Zoning Map



- |   |  |  |
|---|--|--|
| <span style="border: 2px solid red; padding: 2px;"> </span> Subject Property  | <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;"> </span> A-1 | <span style="background-color: #FFB6C1; border: 1px solid black; padding: 2px;"> </span> C-5 |
| <span style="border-bottom: 2px dashed blue; display: inline-block; width: 20px;"> </span> Proposed Subdivision (see SUB 21.17) | <span style="background-color: #FF6347; border: 1px solid black; padding: 2px;"> </span> C-3 | <span style="background-color: #6495ED; border: 1px solid black; padding: 2px;"> </span> M-1 |
| <span style="border: 1px solid black; display: inline-block; width: 15px; height: 10px;"> </span> Parcels                       | <span style="background-color: #FF4500; border: 1px solid black; padding: 2px;"> </span> C-4 | <span style="background-color: #F5F5DC; border: 1px solid black; padding: 2px;"> </span> R-1 |



BREMMVIC HOLDINGS LTD.

Box 1022

Salmon arm, BC.

V1E 4P2.

Feb 02, 2022.

Re: proposed storage shed for Rona building supply site

2430 10<sup>th</sup> Ave. SW.

Salmon Arm

Scope:

To build a new storage shed along the south property line at the above site.  
This new building will replace an old wooden structure which was removed  
from the ALR lands south of the C3 zoned lot.

We are requesting set back variances on the south and east sides of the new  
shed as noted on the site plan to maximize the C3 lot usage.

The structure will have 6 inch precast concrete panels along the south and  
east elevations per the structural plans attached to this application.

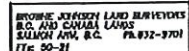
Please contact the undersigned with questions or concerns.

Thank you.

A handwritten signature in black ink, appearing to read "Bill Laird", with a large, stylized loop at the beginning.

Bill Laird

Proposed Subdivision  
Plan (SUB 21.17) with Subject  
Property Outlined



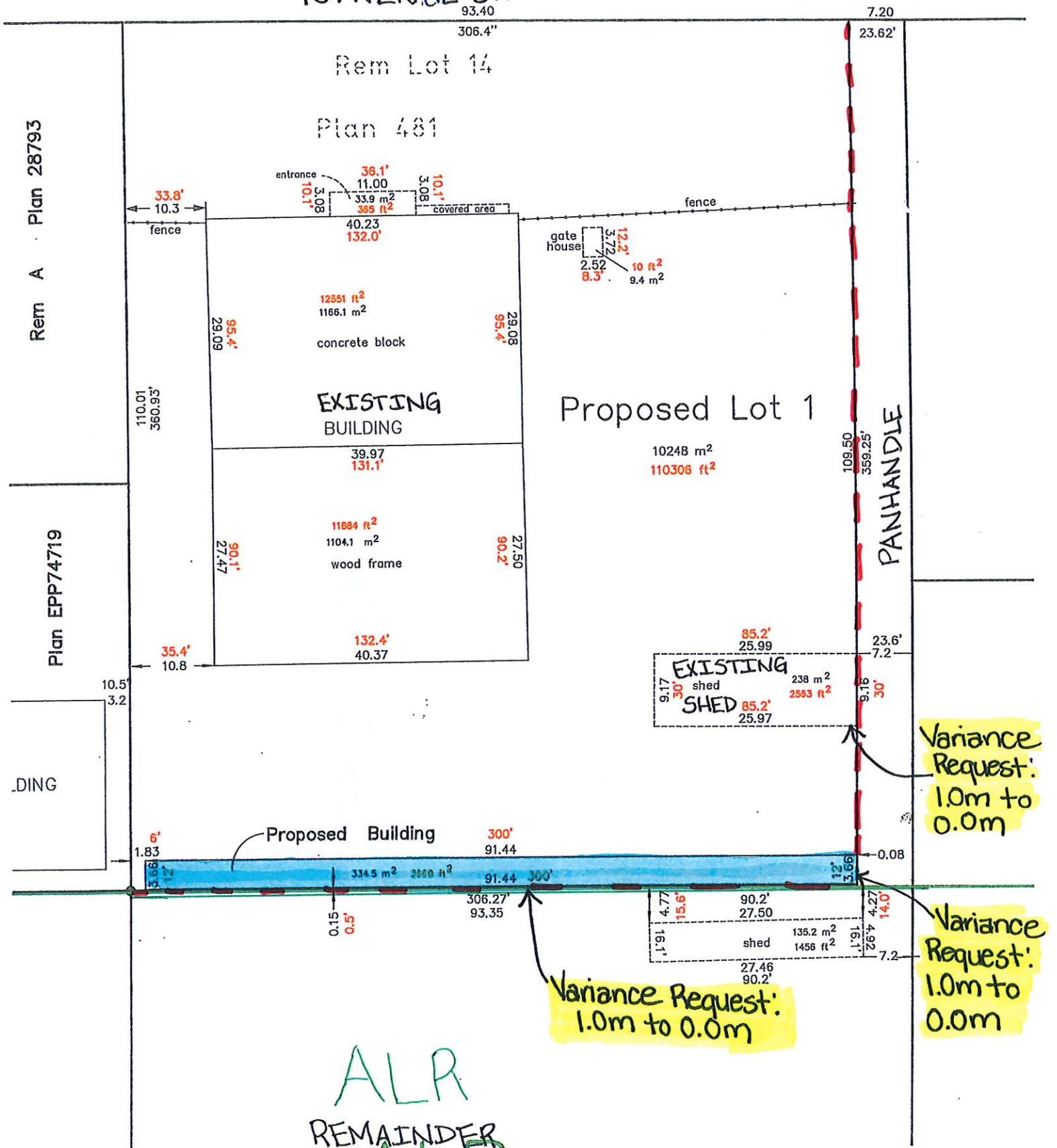
Plan EPP70085  
10 AVENUE S.W.

## SITE PLAN

Rem A · Plan 28793

Plan EPP74719

..DING



ALR  
REMAINDER  
LOT 14  
PLAN 481

Proposed Subdivision  
Property Line  
(SUB 21.17)



[illegible]

2430 10th AVENUE,  
SW SALMON ARM, B.C.

SEAL

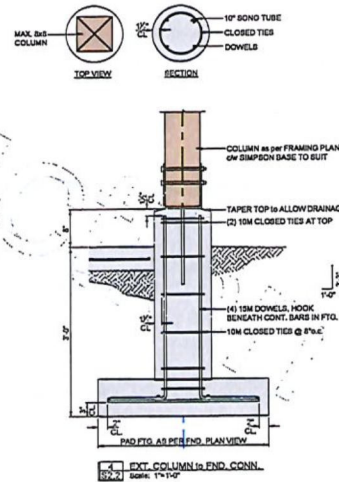
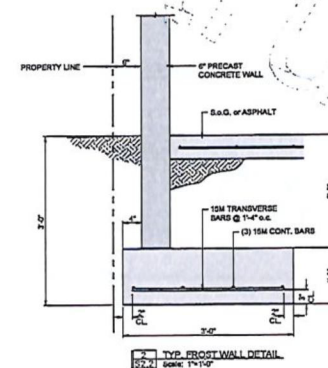
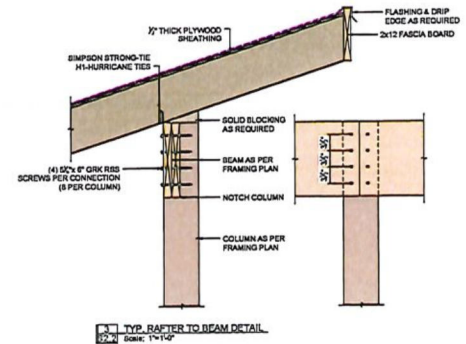
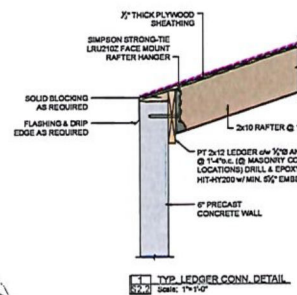
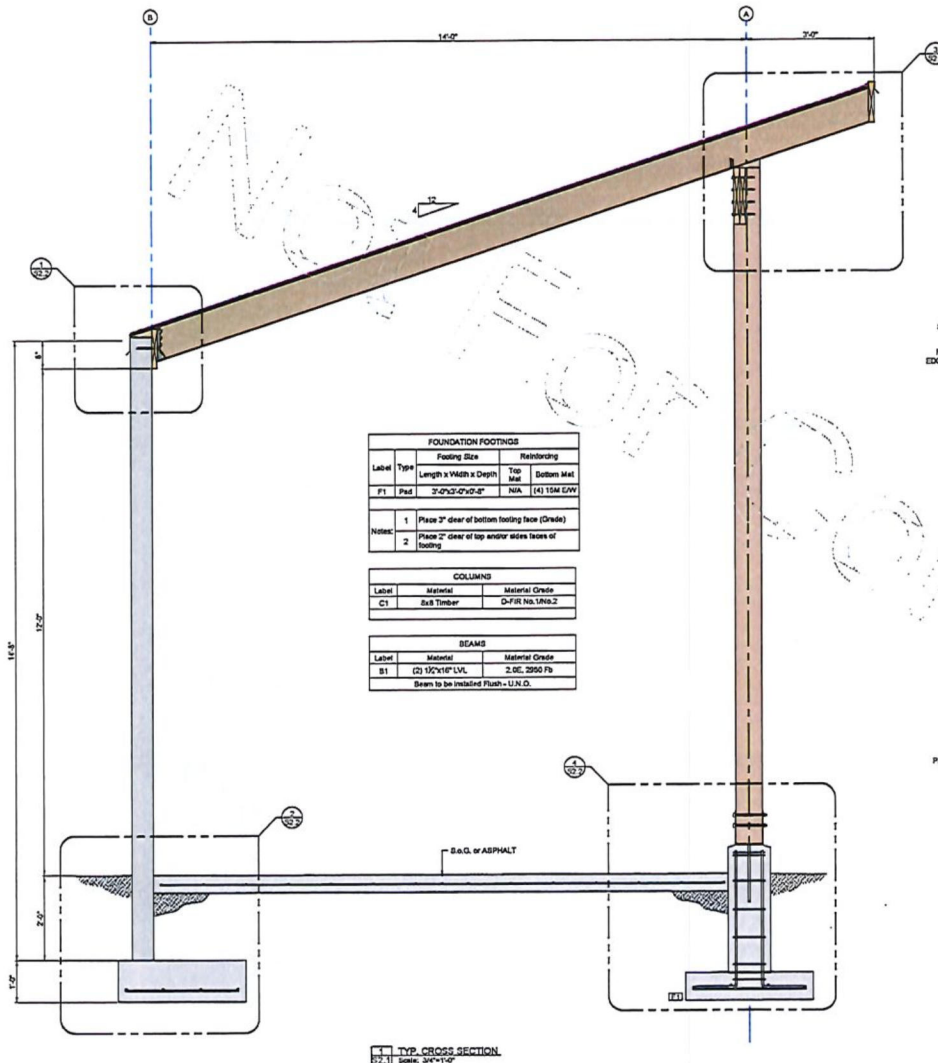
SHEET NUMBER	REV
S1.2	A

[illegible]

boundary marked with paint and concrete nolls in pavement



Revisions	By	Date	Description
1	2022-03-21	2022-03-21	Issue for Review
2			
3			
4			
5			
6			
7			
8			
9			
10			







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**CITY OF SALMON ARM**  
**NOTICE OF PUBLIC HEARING**

P165

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on **Monday, March 14 at 7:00 p.m.**

1) **Proposed Amendment to Zoning Bylaw No 2303:**

**Proposed Rezoning** of Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP57693 from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone).

**Civic Address:** 2790 20 Avenue NE

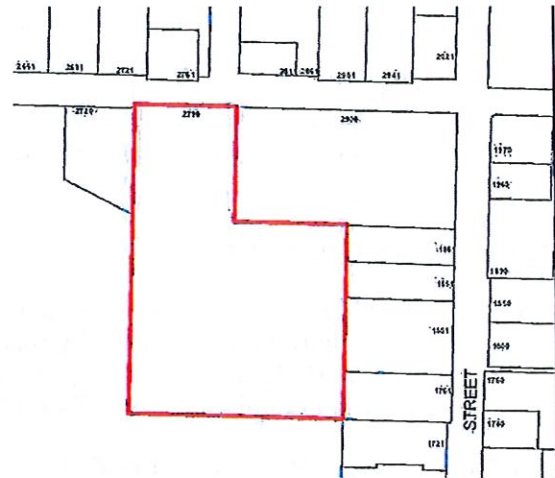
**Location:** West of 30 Street NE on the South side of 20 Avenue NE

**Present Use:** Single Family Dwelling

**Proposed Use:** to facilitate future Medium Density Residential Development

**Owner / Agent:** K. Angove/Franklin Engineering Ltd.

**Reference:** ZON-1229/ Bylaw No. 4493



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from March 1 to March 14, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person, with limited capacity, and virtually. In person attendance will be on a first come first serve basis and are subject to adherence with the Provincial Health Orders. If you wish to attend electronically email [cityhall@salmonarm.ca](mailto:cityhall@salmonarm.ca).

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services

March 2 and March 9






---

To: His Worship Mayor Harrison and Members of Council

Date: February 22, 2022

Subject: Zoning Bylaw Amendment Application No. 1229

Legal: Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726, Except Plan KAP57693

Civic: 2790 20 Avenue NE

Owner: Angove, K.

Applicant/Agent: Franklin Engineering Ltd.

---

**STAFF RECOMMENDATION**

**THAT:** A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726, Except Plan KAP57693 from R1 (Single-Family Residential Zone) to R4 (Medium Density Residential Zone);

**AND THAT:** Final Reading of the Zoning Amendment Bylaw be withheld subject to Ministry of Transportation and Infrastructure approval.

---

**BACKGROUND**

The subject parcel is located at 2790 20 Avenue NE, just north/east of Salmon Arm Secondary School (Sullivan Campus) and west of the Deo Lutheran Church (Appendix 1 and 2). The subject parcel is designated Medium Density Residential in the City's Official Community Plan (OCP) and zoned R1 (Single-Family Residential) in the Zoning Bylaw (Appendix 3 and 4). This area is generally residential and institutional, with a mix of zones, predominantly Single Family Residential (R1) and Institutional (P3), with some additional residential and agricultural zoned parcels also in the vicinity.

The subject parcel is approximately 5.16 acres in area/size, has a somewhat irregular shape, and currently contains one single family dwelling and one accessory building/structure (i.e. a garage with a carport). Site photos are attached, as Appendix 5.

Land uses adjacent to the subject parcel include the following:

North:	Single family residential uses	Zoned R1
South:	Institutional use	Zoned P3
East:	Single family residential and Institutional uses	Zoned R1 and P3
West:	Institutional and Single family residential uses	Zoned P3 and R1

The proposal is to rezone the subject parcel to R4 (Medium Density Residential) to facilitate future medium density residential development. Because it is not required at this rezoning stage, a site concept has not yet been provided, and staff note that further details, including professional designs and subsequent analysis, will eventually be required to demonstrate feasibility and compliance with the applicable regulations.

**OCP POLICY**

The subject parcel is designated Medium Density Residential in the OCP, which supports R4 zoning and is within Residential Development Area A, the highest priority area for development. The proposed density aligns well with OCP Policy 4.4.3, which encourages all growth to be sensitively integrated with

neighbouring land uses. Furthermore, the proposed zoning aligns with the Urban Residential Objectives of Section 8.2 and Urban Residential Policies listed in Section 8.3, including but not limited to providing a variety of housing types, providing housing options, and supporting compact communities. In terms of siting, the proposal appears to match with OCP Siting Policies under Section 8.3.19, including good access to transportation routes, recreation, community services, and utility servicing.

### COMMENTS

#### Fire Department

No concerns.

#### FortisBC

No issue with zoning amendment.

#### Building Department

No concerns. Future construction must meet all applicable BCBC code requirements.

#### Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

#### Engineering Department

Comments attached (Appendix 7).

#### Planning Department

The surrounding neighbourhood is characterized by predominately older housing. The subject parcel is located in an area well-suited for higher density residential development, being within reasonable walking distance to many commercial highway businesses (such as Askew's Foods and Salmon Arm Savings and Credit Union), schools including Salmon Arm Secondary and Bastion Elementary, facilities including the SASCU Recreation Centre, and transportation/transit routes.

The maximum residential density permitted under R4 (Medium Density) zoning is 16.2 dwelling units per acre of land. As the existing lot is approximately 5.16 acres in area, the maximum permitted density under R4 would be roughly 83.6 (83) dwelling units assuming: 1) some form of strata development; 2) the present gross area of the subject parcel, and; 3) no density bonus. It is yet unknown if the eventual housing developments will consist entirely of rental units or not. However, if this is the case, the owner/applicant would then be eligible/qualify for the added density bonus of 2.0 units per acre for the provision of affordable rental dwelling units, provided the owner/applicant registered a rental Covenant on Title. This could then hypothetically increase the maximum permitted density under R4 to 93 dwelling units. The R4 Zoning regulations are attached, as Appendix 8.

Staff note that if rezoned to R4, a number of residential development scenarios could present themselves, including single-family, duplex, triplex, and multi-family residential development scenarios, potentially involving subdivision or stratification. A multi-family development would require a Development Permit application, and such an application would be expected to address the form and character of the multi-family building designs and detail the proposed development concept, including a site plan, landscape plan, and building elevations. Frontage and servicing improvements as per the Subdivision and Servicing Bylaw will also be required at time of development/Building Permit stage.

CONCLUSION

The proposed R4 zoning of the subject property is supported by OCP policy and is therefore supported by staff.



Prepared by: Evan Chorlton  
Planner I

Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services

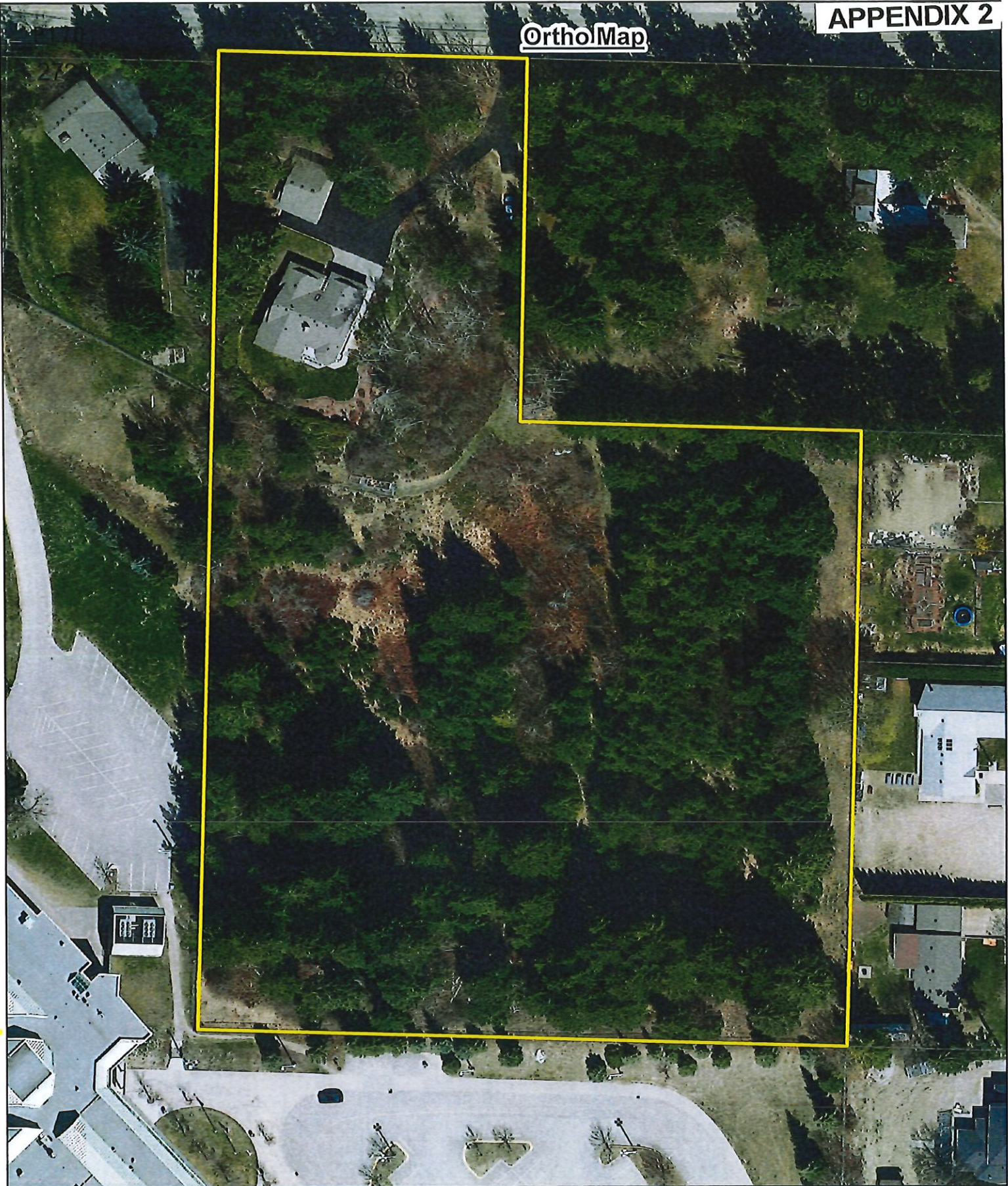


## APPENDIX 1 P169





OrthoMap



0 5 10 20 30 40 Meters

 Subject Property  
 Parcels

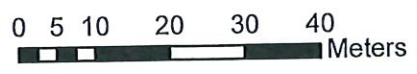
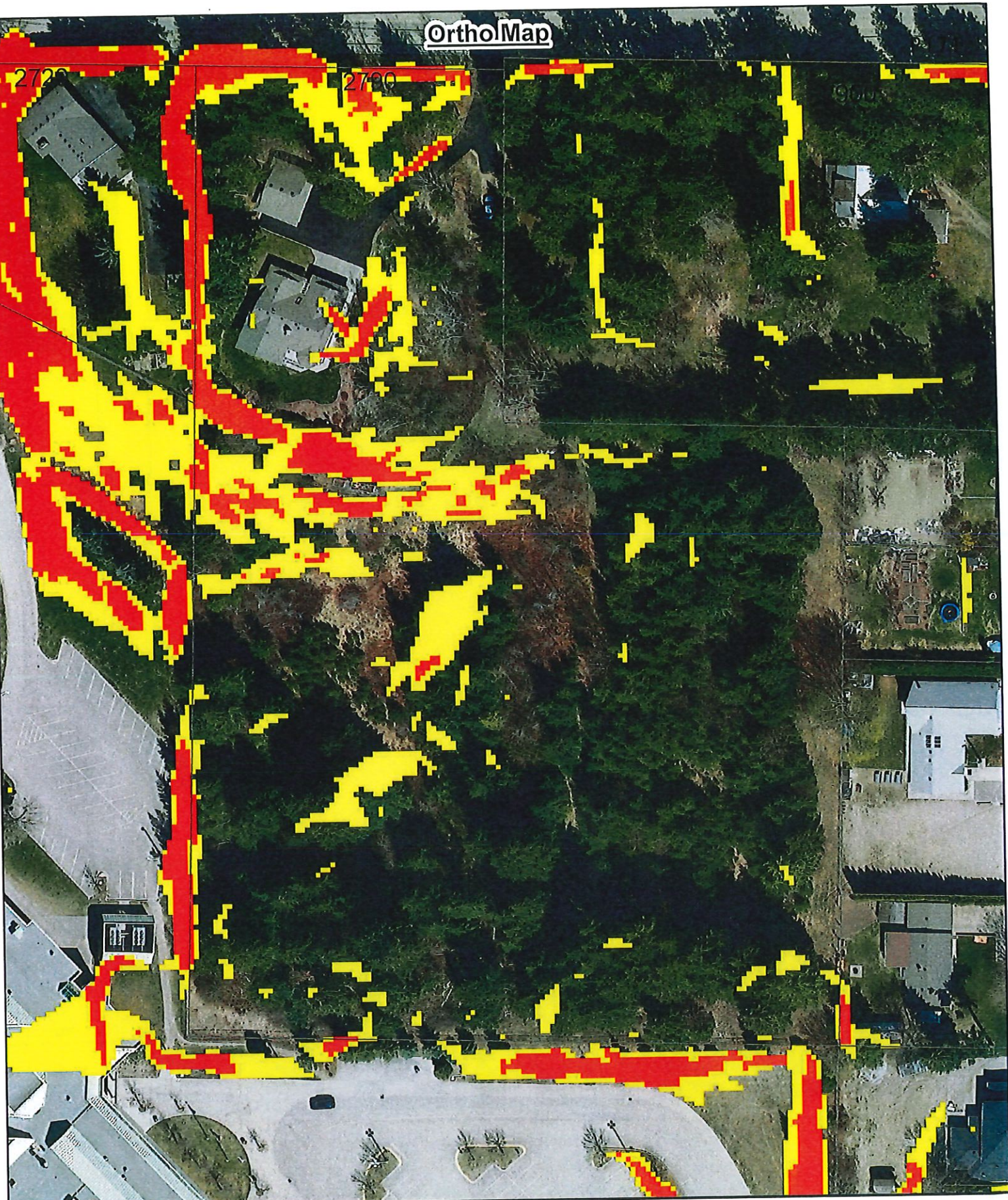


OrthoMap

2720

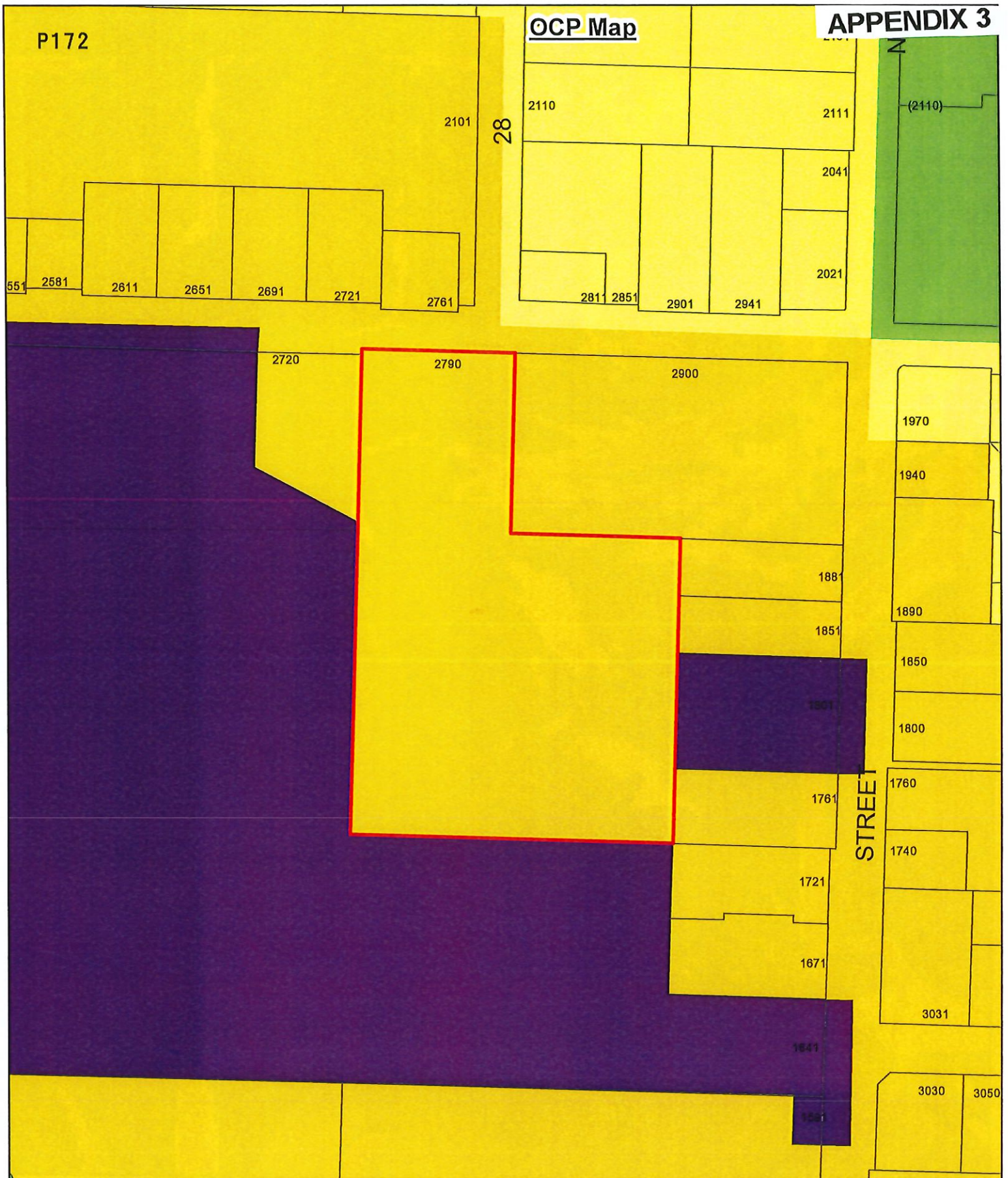
2720

9605



-  20 - 30% Slope
-  30% + Slope
-  Parcels





0 10 20 40 60 80 Meters

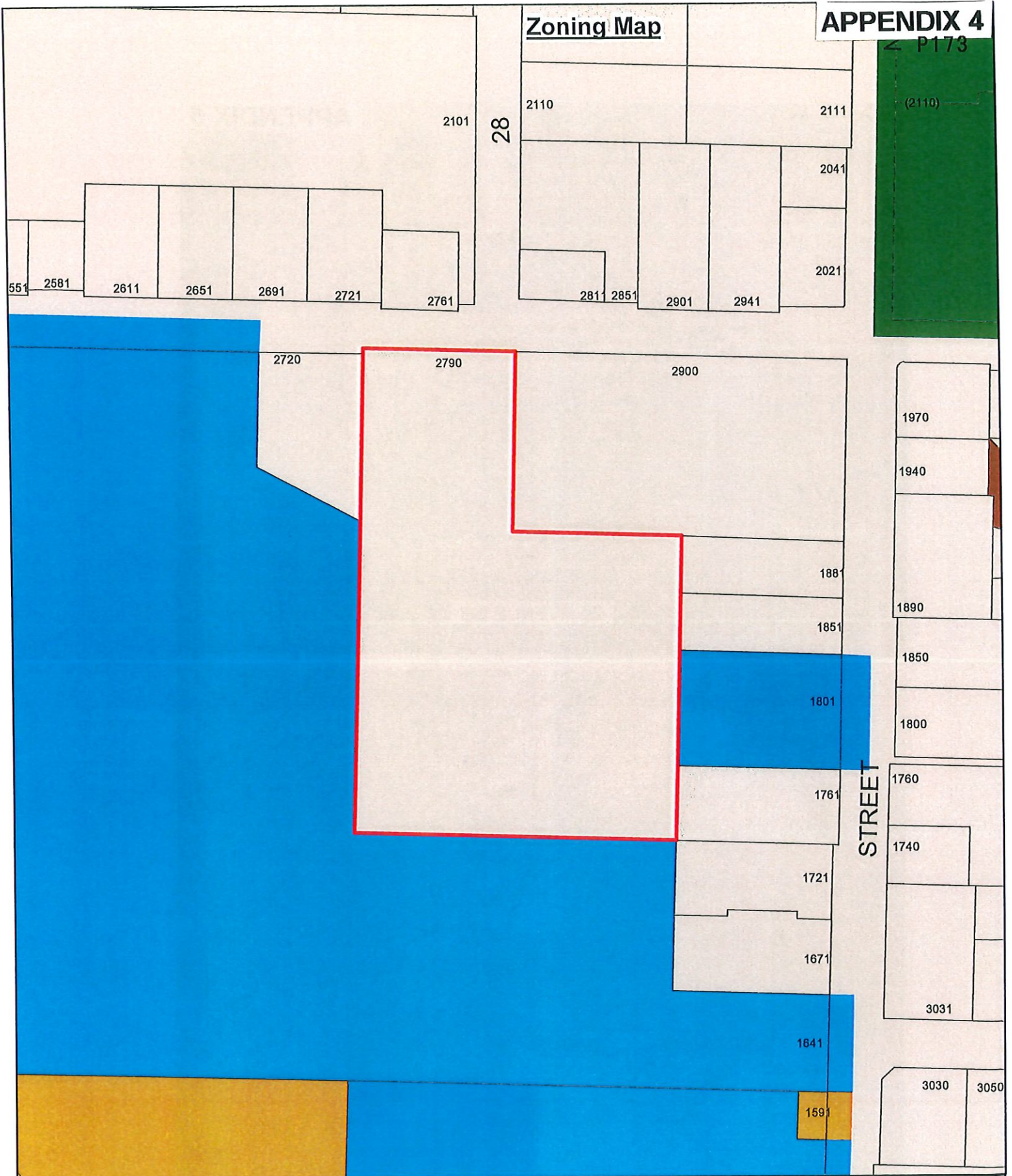
- Subject Property
- Parcels
- Neighbourhood Park
- Acreage Reserve
- Park
- Institutional
- Residential - Low Density
- Residential - Medium Density



# Zoning Map

## APPENDIX 4

2 P173



0 10 20 40 60 80 Meters

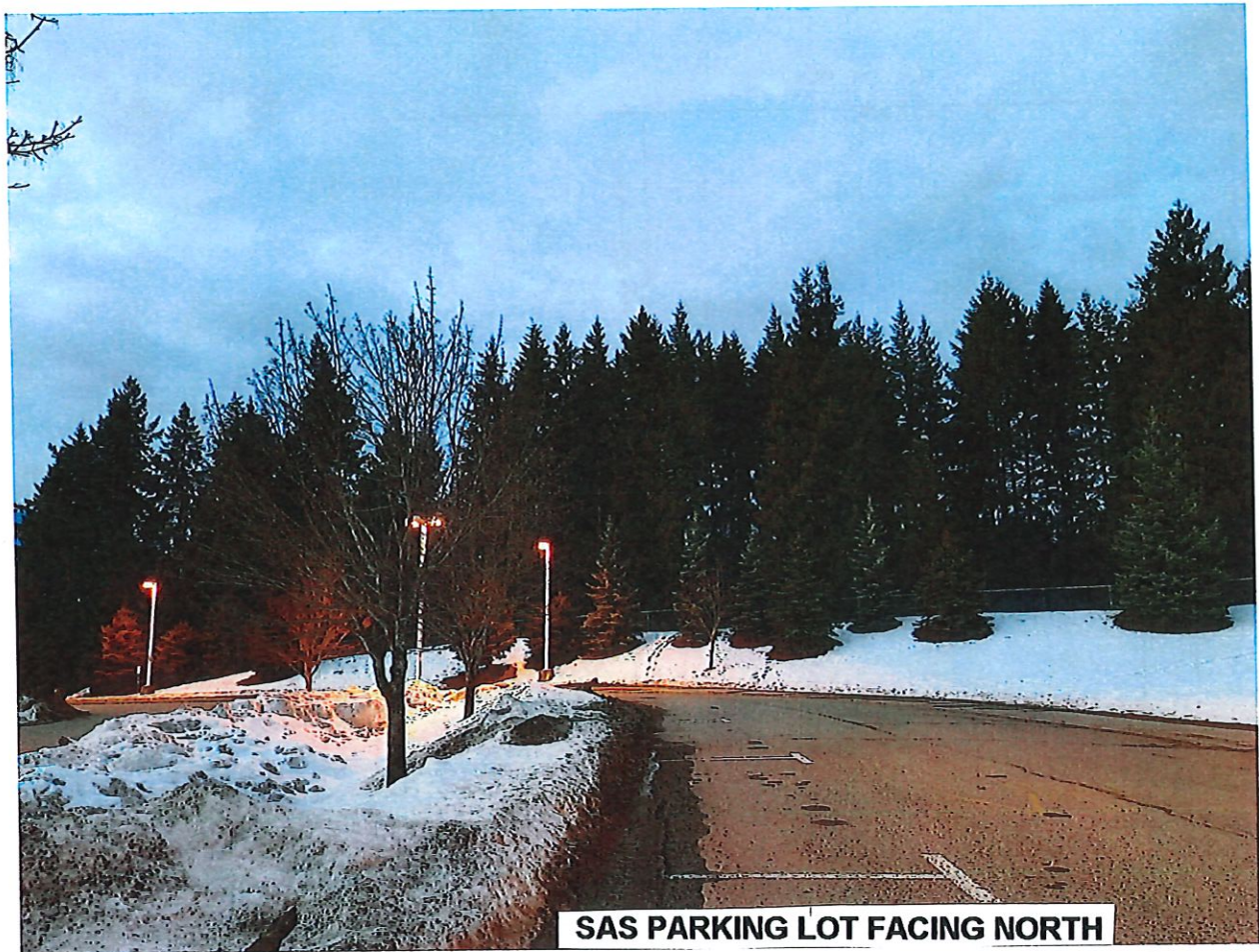
- Subject Property
- Parcels
- A-2
- P-3
- R-1
- R-4
- R-8



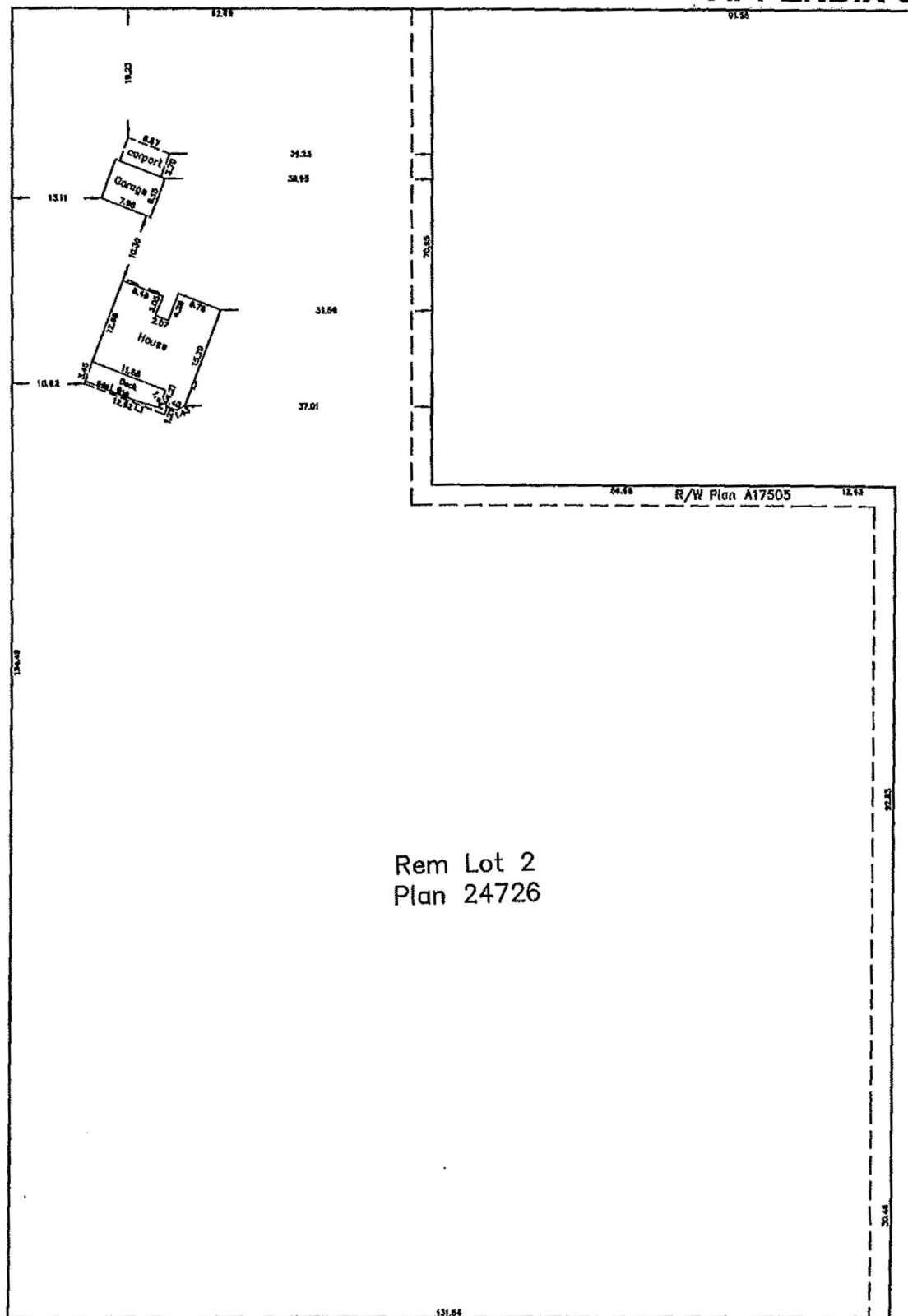
**APPENDIX 5**



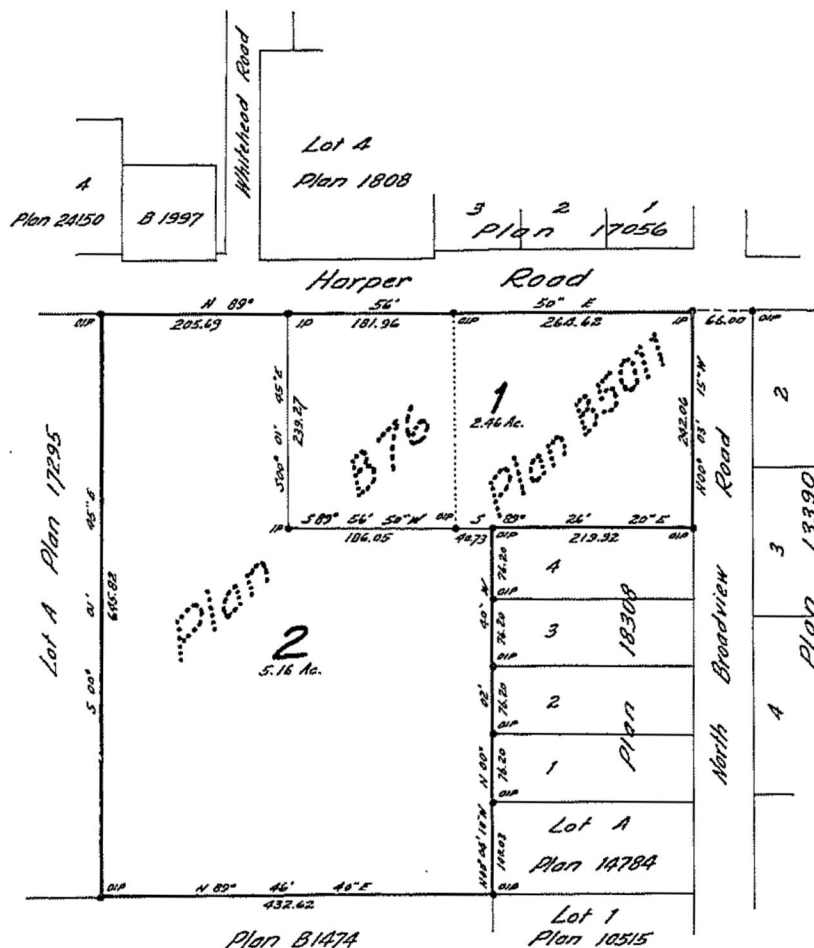




## APPENDIX 6



Plan of Subdivision of that Part of the  
South East 1/4 of Section 24 as shown on  
Plan B76 (Except Plans B5011, 14784 & 18308)  
and Plan B5011 Being Part of that Part of  
the South East 1/4 of Section 24 as shown on  
Plan B76. Township 20, Range 10, W6M. K.D.Y.D.  
Scale: 1 inch = 100 feet.



No. 24726

DEPOSITED IN THE LAND REGISTRY OFFICE AT Kamloops, B.C. THIS 11<sup>TH</sup> DAY OF JANUARY, 1974

*[Signature]*  
REGISTER

THIS SPACE FOR LAND REGISTRY OFFICE USE ONLY

LEGEND

BEARINGS ARE ASTROMONIC AND ARE DERIVED FROM Plan 17295.

• O.P. DENOTES OLD IRON POST FOUND

• I.P. DENOTES IRON POST SET

APPROVAL

APPROVED UNDER THE LAND REGISTRY ACT THIS 11<sup>TH</sup> DAY OF Nov. 1973.

*[Signature]*  
APPROVING OFFICER FOR THE  
District of Salmon Arm.

THIS PLAN LIES WITHIN Columbia Shuswap REGIONAL DISTRICT

WITNESS

OWNER

*[Signature]* *[Signature]*  
David Louis Meloni

*[Signature]* *[Signature]*  
Henry George Stolare

SALMON ARM SAVINGS AND CREDIT UNION

*[Signature]* TREASURER

*[Signature]* SECRET

I, Melville Browne, of the District of  
Salmon Arm, BRITISH COLUMBIA LAND SURVEYOR, MAKE OATH AND  
SAY THAT I WAS PRESENT AT AND DID PERSONALLY SUPERINTEND THE SURVEY  
REPRESENTED BY THIS PLAN, AND THAT THE SURVEY AND PLAN ARE CORRECT. THE  
SAID SURVEY WAS COMPLETED ON THE 20<sup>TH</sup> DAY OF November,  
1973.

SWORN BEFORE ME THIS 22<sup>ND</sup>  
DAY OF November, 1973.

*[Signature]*  
K. COMMISSIONER FOR TAKING  
AFFIDAVITS FOR BRITISH COLUMBIA

M.D. BROWNE  
B.C. LAND SURVEYOR  
Salmon Arm, B.C.  
#224-23 15, R.I.A. 13.31





*Memorandum from the  
Engineering and Public  
Works Department*

## **APPENDIX 7**

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TO:	Kevin Pearson, Director of Development Services
DATE:	27 January 2022
PREPARED BY:	Mustafa Zakreet, Engineering Assistant
APPLICANT:	<b>K.Angove/ Franklin Engineering Ltd</b>
SUBJECT:	<b>SUBDIVISION APPLICATION NO. 22-03</b>
LEGAL:	Lot 2, Section 24 Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP 57693
CIVIC:	<b>2790-20 Ave NE</b>

---

Further to your referral dated January 27, 2022, we provide the following servicing information. The following comments and servicing requirements are not conditions for Rezoning but are required as a condition of subdivision or development:

### **General:**

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties shall have all necessary public infrastructure installed to ensure properties can be serviced with underground electrical and telecommunication wiring upon development.
4. Property under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required prior to the commencement of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of subdivision the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

Page 2

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9. For the on-site development, prior to commencement the applicant will be required to submit to the City for review and approval detailed engineering plans in accordance with the requirements of the Subdivision and Development Servicing bylaw 4163. These plans must be prepared by a qualified professional engineer. As a condition of final subdivision approval, the applicant will be required to deposit with the City for a period of 1 year, funds equaling 10% of the estimated cost for all works that are to be transferred to the City.
  10. For the off-site improvements at the time of subdivision, the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of subdivision approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

**Roads / Access:**

1. 20 Ave NE, on the subject property's Northern boundary, is designated as Collector Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS)
2. 20 Ave NE is currently constructed to an Interim Collector Road standard. Upgrading to an Urban Collector Road standard is required, in accordance with Specification Drawing No. RD-3. Upgrading may include, but is not limited to, road widening and construction, curb & gutter, sidewalk, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Three-phase electric power is permitted to remain as overhead. Poles may require relocation to allow for any required infrastructure. Owner / Developer is responsible for all associated costs.
3. Owner / Developer is responsible for ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
4. A 5.0m by 5.0m corner cut is required to be dedicated at the intersection of any proposed City owned road and 20 Ave NE
5. As 20 Ave NE is designated as a Collector Road, accesses shall be designed by keeping to a minimum number. Only one (1) driveway access will be permitted onto 20 Ave NE and a reciprocal access agreement will be required to service lots. All unused driveways shall be removed. Owner / Developer responsible for all associated costs.
6. The maximum allowable cul-de-sac or T-Turn around length in the urban areas is 160 meters. This measurement shall be measured along centerline from the centre of the first intersection having access from two alternate routes to the center of the cul-de-sac or T-Turn around. Where the maximum cul-de-sac or T-Turn around length is exceeded a secondary emergency access shall be provided. Emergency accesses are to be constructed in conformance with Policy 3.11 (Emergency Accesses).
7. Permanent dead-end roads shall be terminated in a cul-de-sac in accordance with Specification Drawing No. RD-11. Temporary dead-end roads internal to the subdivision may be terminated with a paved temporary T-turn around in accordance with Specification Drawing

**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

Page 3

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No. RD-13. Temporary dead-end roads at the limits of the subject property shall be terminated with temporary cul-de-sacs in accordance with Specification Drawing No. RD-11a (attached).

8. A retaining wall currently existing along the edge of sidewalk. Grading of any future subdivision/development should make every effort to eliminate the retaining wall. It is also noted that the retaining wall is not located on property line and may require relocating to allow room for required infrastructure within the boulevard.

**Water:**

1. The subject property fronts a 200 mm diameter Zone 2 watermain on 20 Ave NE and a 300 mm diameter Zone 2 water main along the eastern property boundary. No upgrades will be required at this time; however, the right of way on the eastern boundary shall be widened to 6.0 m width.
2. The existing lot is to be serviced by a single metered water service connection (as per Specification Drawing No. W-10) adequately sized to satisfy the proposed use. Water meter will be supplied by the City at the time of subdivision, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a service of unknown size from the 200mm diameter watermain on 20 Ave NE. Due to the size and / or age of the existing service, upgrading to a new metered service (minimum 25mm) will be required. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
4. The proposed parcels are to be serviced each by a single metered water service connection (as per Specification Drawing No. W-10), adequately sized to satisfy the proposed use (minimum 25mm). Water meter will be supplied by the City at the time of building permit, at the Owner / Developer's cost. Owner / Developer is responsible for all associated costs.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.
7. Fire hydrant installation will be required. Owners consulting Engineer shall review the site to ensure placement of fire hydrants meet the appropriate density spacing requirements.



**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

Page 4

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**Sanitary:**

1. The subject property fronts a 200 mm diameter sanitary sewer on 20 Ave NE. No upgrades will be required at this time.
2. The remainder and proposed parcel(s) are each to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
3. A right of way exists over the school district property to the west which will enable a future gravity connection to the city sanitary sewer from any proposed development.
4. Sanitary main is to be extended to front the properties on the eastern side of the proposed development up to (1801 south corner), this would follow the existing watermain right-of-way. The bylaw requires the water main right-of-way to be widened to 7m.
5. The subject property is in an area with no current sanitary capacity concerns according to the City Sanitary Study (Urban Systems 2016).
6. Records indicate that the existing property is serviced by an unknown size service from the sanitary sewer on 20 Ave NE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**Drainage:**

1. The subject property fronts a 675 mm diameter storm sewer on 20 Ave NE. No upgrades will be required at this time.
2. Records indicate that the existing property is currently not serviced from the city storm sewer.
3. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided.
4. Where onsite disposal of stormwater is recommended by the ISMP, an "Alternative Stormwater System" shall be provided in accordance with Section 7.2.
5. Where discharge into the Municipal Stormwater Collection System is recommended by the ISMP, this shall be in accordance with Section 7.3. The proposed parcel(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

**SUBDIVISION APPLICATION FILE: 22-03**

27 January 2022

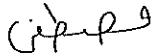
Page 5

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6. A right of way exists over the School District property to the west, in favor of the subject property, which will enable a future gravity connection to the City storm sewer from any proposed development.

**Geotechnical:**

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), is required.



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**Mustafa Zakreet**  
Engineering Assistant



---

**Jerri Wilson P.Eng., LEED ® AP**  
City Engineer

**APPENDIX 8****Purpose**

- 9.1 The purpose of the R-4 Zone is to provide for medium *density*, *multiple family* and small lot *single family* residential developments. New *multiple family* developments zoned R-4 shall be required to obtain a *Development Permit* as per the requirements of the *Official Community Plan*, and shall comply with the provisions of the **Fire Services Act**, **British Columbia Building Code**, and other applicable legislation. #289, #3740

**Regulations**

- 9.2 On a *parcel zoned R-4*, no *building or structure* shall be constructed, located or altered and no plan of subdivision approved which contravenes the regulations set out in the *R-4 Zone* or those regulations contained elsewhere in this Bylaw.

**Permitted Uses**

- 9.3 The following uses and no others are permitted in the R-4 Zone:

- .1 *assisted living housing*; #4336
- .2 *bed and breakfast in a single family dwelling*, limited to two let rooms;
- .3 *boarders*, limited to two;
- .4 *boarding home*; #2789
- .5 *commercial daycare facility*;
- .6 *dining area*; #4336
- .7 *duplexes*;
- .8 *family childcare facility*; #3082
- .9 *group childcare*; #3082
- .10 *home occupation*; #2782
- .11 *multiple family dwellings*;
- .12 *public use*;
- .13 *public utility*;
- .14 *single family dwelling*;
- .15 *triplexes*;
- .16 *accessory use*.

**Maximum Height of Principal Buildings**

- 9.4 The maximum *height of a principal buildings* shall be 10.0 metres (32.8 feet). This may be increased to 13.0 metres (42.7 ft.), via the Development Permit process, if any of the special amenity(ies) in Table 2 are provided.

**Maximum Height of Accessory Buildings**

- 9.5 The maximum *height* of an *accessory building* shall be 6.0 metres (19.7 feet).

**Maximum Parcel Coverage**

- 9.6 The total maximum *parcel coverage* for *principal* and *accessory buildings* shall be 55% of the *parcel area*, of which 10% shall be the maximum parcel coverage for *accessory buildings*. #2811

**Minimum Parcel Area**

- 9.7
- .1 The minimum *parcel area* for a *single family dwelling* shall be 300.0 square metres (3,229.3 square feet).
  - .2 The minimum *parcel area* for a *duplex* shall be 600.0 square metres (6,458.6 square feet).
  - .3 The minimum *parcel area* for all other uses shall be 900.0 square metres (9,687.8 square feet).



## P184 SECTION 9 - R-4 - MEDIUM DENSITY RESIDENTIAL ZONE - CONTINUED

### Minimum Parcel Width

9.8

- .1 The minimum *parcel width* shall be 30.0 metres (98.5 feet). #3740
- .2 Notwithstanding Section 9.8.1, the minimum *parcel width* for a *single family* lot shall be 10.0 metres (32.8 feet).
- .3 Notwithstanding Section 9.8.1, the minimum *parcel width* for a stacked *duplex* lot shall be 14.0 metres (45.9 feet).
- .4 Notwithstanding Section 9.8.1, the minimum *parcel width* for a side-by-side *duplex* lot shall be 20.0 metres (65.6 feet)).

### Minimum Setback of Principal Buildings

9.9 The minimum *setback* of *principal buildings* from the:

- .1 *Front parcel line*
  - adjacent to a *highway* shall be 5.0 metres (16.4 feet)
  - adjacent to an *access route* shall be 2.0 metres ( 6.6 feet)
- .2 *Rear parcel line*
  - adjacent to a *parcel zoned*  
R-4 shall be 3.0 metres ( 9.8 feet)
  - all other cases shall be 5.0 metres (16.4 feet)
- .3 *Interior side parcel line*
  - adjacent to a *parcel zoned*  
R-4 shall be 1.2 metres ( 3.9 feet) #3475
  - all other cases shall be 1.8 metres ( 5.9 feet)
- .4 *Exterior side parcel line*
  - adjacent to a *highway* shall be 5.0 metres (16.4 feet)
  - adjacent to an *access route* shall be 2.0 metres ( 6.6 feet)
- .5 Minimum separation between residential *buildings* on the same lot of not more than one storey in height shall be 1.5 metres ( 4.9 feet)
- .6 Minimum separation between residential *buildings* on the same lot of more than one storey in height shall be 3.0 metres ( 9.8 feet)
- .7 Notwithstanding Sections 9.9.2 and 9.9.3, a *principal building* on a corner *parcel* may be sited not less than 1.5 metres (4.9 feet) from the *rear parcel line* provided the combined total of the *rear* and *interior side yards* shall be not less than 6.0 metres (19.7 feet).
- .8 Refer to Section 4.9 for "Special Building Setbacks" which may apply. #2811

### Minimum Setback of Accessory Buildings

9.10 The minimum *setback* of accessory *buildings* from the:

- .1 *Front parcel line* shall be 5.0 metres (16.4 feet)
- .2 *Rear parcel line* shall be 1.0 metre ( 3.3 feet)
- .3 *Interior side parcel line* shall be 0.6 metre ( 1.9 feet)
- .4 *Exterior side parcel line* shall be 5.0 metres (16.4 feet)

Refer to "Pound and Animal Control Bylaw" for special setbacks which may apply. #2811

**Maximum Density**

Note: The following *density* provisions are based on the *gross parcel area*. Parking requirements, *setback* requirements, road dedication, etc. have not been taken into consideration.

9.11

- .1 The maximum *density* shall be a total of 40 *dwelling units* or *sleeping units* per hectare (16.2 *dwelling units* or *sleeping units* per acre). #2789
- .2 Notwithstanding Section 9.11.1, the maximum *density* in the R-4 Zone may be increased to a maximum of 50 *dwelling units* per hectare (20.2 units per acre) in accordance with Table 2. In Table 2, Column I sets out the special amenity to be provided and Column II sets out the added *density* assigned for the provision of each amenity.
- .3 Notwithstanding Section 9.11.1, the maximum *density* in the R-4 Zone may be increased to a maximum of 50 *dwelling units* per hectare (20.2 units per acre) for the provision of *Assisted Living Housing*. #4336

TABLE 2

COLUMN I SPECIAL AMENITY TO BE PROVIDED	COLUMN II ADDED DENSITY
1. Provision of each dwelling unit which caters to the disabled (e.g. wheelchair access)	□ 2 units per hectare (0.8 units per acre)
2. Provision of <i>commercial daycare facility</i> 7 - 10 children 11 - 15 children 16 or more children	□ 3 units per hectare (1.2 units per acre) □ 4 units per hectare (1.6 units per acre) □ 7 units per hectare (2.8 units per acre)
3. Provision of below <i>grade</i> or parkade type parking for at least 50% of the required off street parking	□ 10 units per hectare (4.0 units per acre)
4. Provision of each rental <i>welling unit</i>	□ 2 units per hectare (0.8 units per acre)
5. Provision of affordable rental <i>dwelling units</i> in accordance with special agreement under Section 904 #3218	□ 5 units per hectare (2.0 units per acre)

**Maximum Floor Area Ratio**

9.12 The maximum *floor area ratio* of a *single family dwelling* shall be 0.65.

**Parking**

9.13 Parking shall be required as per Appendix I.

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**CITY OF SALMON ARM**  
**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing virtually and in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on Monday, March 14 at 7:00 p.m.

1) **Proposed Amendment to Zoning Bylaw No 2303:**

**Proposed Rezoning** of Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

**Civic Address:** 6840 46 Street NE

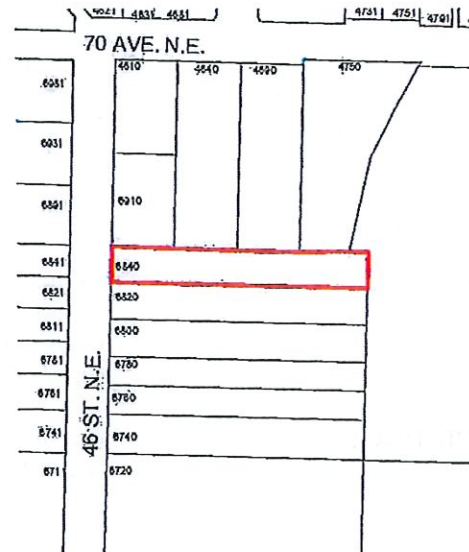
**Location:** South of 70 Avenue NE on the East Side of 46 Street NE

**Present Use:** Single Family Dwelling

**Proposed Use:** Single Family Dwelling with Suite

**Owner / Agent:** M. Whalley

**Reference:** ZON-1230/ Bylaw No. 4494



The staff report for the proposal is available for viewing on the City of Salmon Arm website at <https://www.salmonarm.ca/431/Public-Hearing-Notices> from March 1 to March 14, 2022 inclusive. Those who deem their interest affected by the proposed bylaws are urged to review the online file, contact the undersigned or phone the Development Services Department at 250.803.4000 to obtain the facts of the proposal prior to the hearing.

Meetings are being held in person, with limited capacity, and virtually. In person attendance will be on a first come first serve basis and are subject to adherence with the Provincial Health Orders. If you wish to attend electronically email [cityhall@salmonarm.ca](mailto:cityhall@salmonarm.ca).

City Council encourages the continued use of the city's website to stay informed on current Development applications and Council Agendas.

Sue Wood, Director of Corporate Services

March 2 and March 9



To: His Worship Mayor Harrison and Members of Council

Date: February 10, 2022

Subject: Zoning Bylaw Amendment Application No. 1230

Legal: Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597  
 Civic Address: 6840 46 Street NE  
 Owner/Applicant: B. & M. Whalley

### **STAFF RECOMMENDATION**

**THAT:** a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

**AND THAT:** final reading of the zoning amendment bylaw be withheld subject to approval by the Ministry of Transportation and Infrastructure.

### **PROPOSAL**

To rezone an R1 (Single Family Residential Zone) property to R8 (Residential Suite Zone) in order to permit the development of a secondary suite within the single family dwelling currently under construction.

### **BACKGROUND**

The subject property is located in the new Turtle Ridge subdivision in the Canoe neighbourhood (Appendix 1 & 2). The parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 & 4).

Adjacent land uses include the following:

North: single family dwellings	Zoned R1
South: vacant lot	Zoned R1
East: city park (John Lund Park)	Zoned P1
West: vacant lots	Zoned R1 and R8

The subject property is approximately 0.219 ha in area/size. An approximate 3,106ft<sup>2</sup> (including the garage) single family dwelling is currently being constructed. The proposed basement suite is 426ft<sup>2</sup>. The plans show that the entrance to the proposed suite will be on the south side of the building. Drawings provided in support of the rezoning application are attached as Appendix 5. Parking is to be provided onsite in both the garage and driveway.

The site contains a Statutory Right of Way along the east side of the property (adjacent to and associated with John Lund Park). The registered owner of the Right of Way is the City of Salmon Arm, and the SRW is in place for the operation and maintenance of the undertakings of the City. The development will not impact this Right of Way area. To date, there is currently one other property in this subdivision also in the process of rezoning from R1 to R8 (6821 46 Street NE) and approximately ten (10) other R8 properties within the greater Canoe community. Site photos are attached, as Appendix 6.

There is also a Riparian Areas Covenant on title stipulating a "Streamside Protection and Enhancement Area" from the pond along the eastern portion of the property.

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in all Residential (High, Medium, and Low) designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code.

#### COMMENTS

##### Fire Department

No concerns.

##### Shaw Cablesystems

Approve suite proposal. Interests are not affected.

##### Engineering Department

No concerns.

##### Building Department

No concerns. Building Permit is required. BCBC 2018 is also applicable.

##### Ministry of Transportation and Infrastructure

Preliminary Approval has been granted.

##### Planning Department

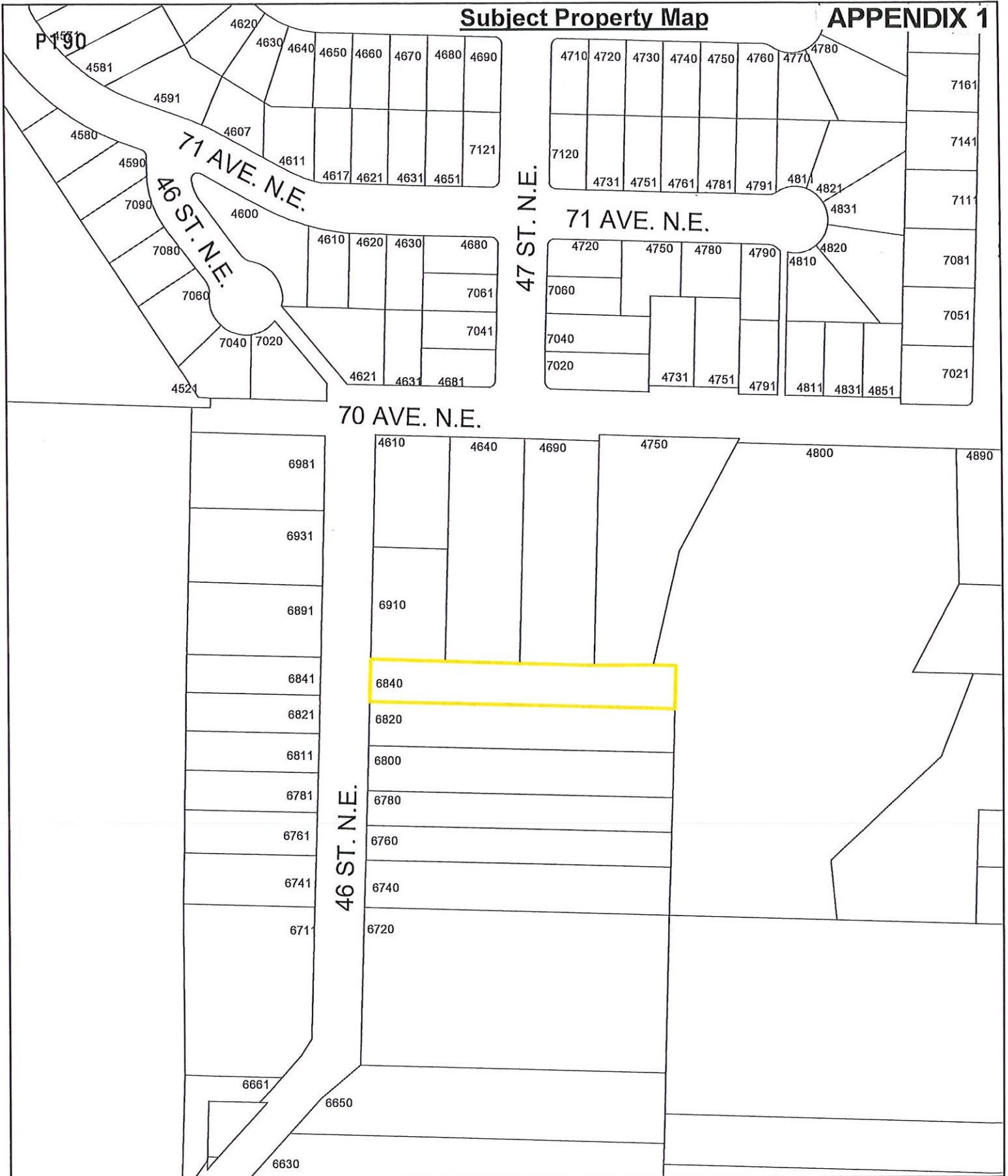
Based on parcel area, the subject property has the potential to meet the conditions for the development of a secondary suite, including sufficient space to meet the parking requirement. The secondary suite is supported by OCP policy, and the proposed layout of the unit is compliant with zoning requirements, including an additional off-street parking space for the suite (on the proposed driveway). Staff support the rezoning of the subject property from R1 (Single Family Residential Zone) to R8 (Residential Suite Zone).

  
Prepared by: Evan Chorlton  
Planner I  
Reviewed by: Kevin Pearson, MCIP, RPP  
Director of Development Services



# Subject Property Map

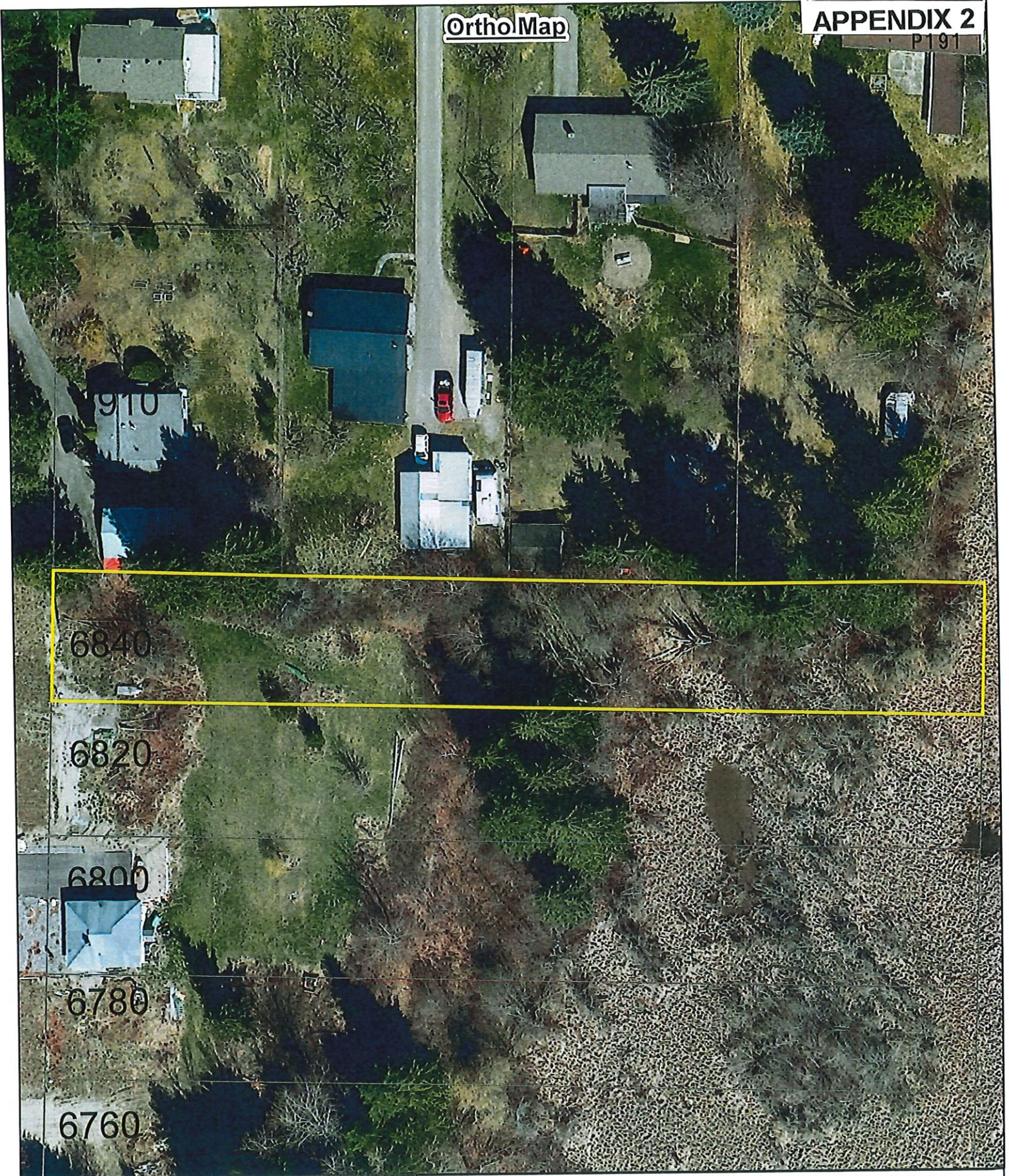
## APPENDIX 1



0 10 20 40 60 80 Meters

 Subject Property  
 Parcels





6840

6820

6800

6780

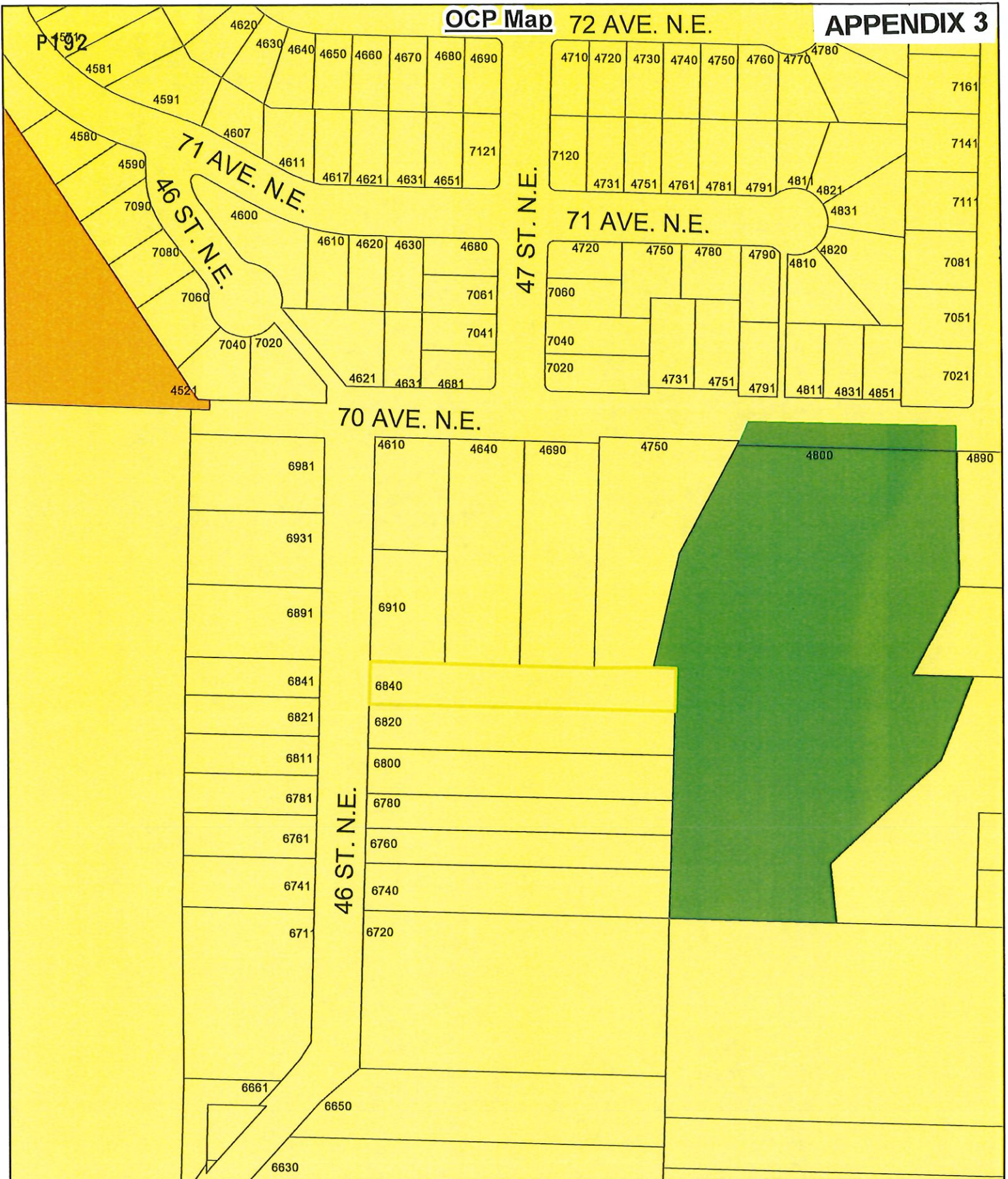
6760



0 3.2 6.5 13 19.5 26 Meters

 Subject Property  
 Parcels





0 10 20 40 60 80 Meters

Subject Property



Parcels



Community Park



Neighbourhood Park

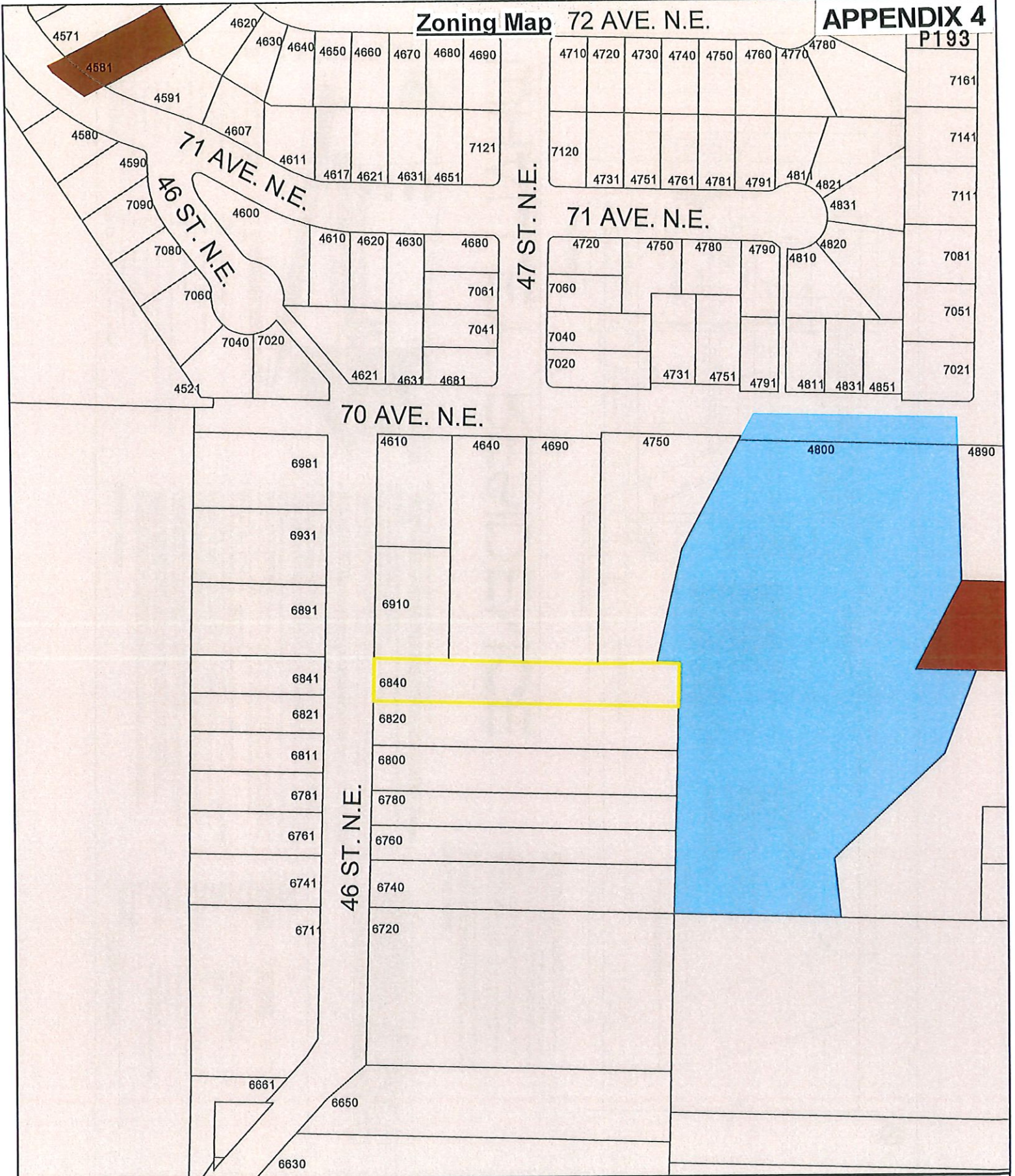


Park



Residential - Low Density





0 10 20 40 60 80 Meters

- Subject Property
- Parcels
- P-1
- R-8
- R-1

### LIST OF DRAWINGS

SHEET	DESCRIPTION
A1.0	COVER, SITE PLAN & NOTES
A2.0	FOUNDATION PLAN
A3.0	BASEMENT FLOOR PLAN
A4.0	MAIN FLOOR PLAN
A5.0	FRONT & LEFT ELEVATIONS
A6.0	REAR & RIGHT ELEVATIONS
A7.0	BUILDING CROSS SECTIONS 1/4 & 1/2
A8.0	BUILDING CROSS SECTIONS T
A9.0	BUILDING CONSTRUCTION DETAIL 1
A10.0	BUILDING CONSTRUCTION DETAIL 2
A11.0	BUILDING ENVELOPE DETAILS 1
A12.0	BUILDING ENVELOPE DETAILS 2

### LEGEND

INDICATED ROOM NAME & NUMBER

INDICATED DOOR TYPE

INDICATED WINDOW TYPE

CLOUD & TAG, INDICATES CHANGE TO REVISION 1 NOTED IN TAG

DASH POINT - INDICATES ELEVATION FROM 0'-0" (FINISHED FLOOR)

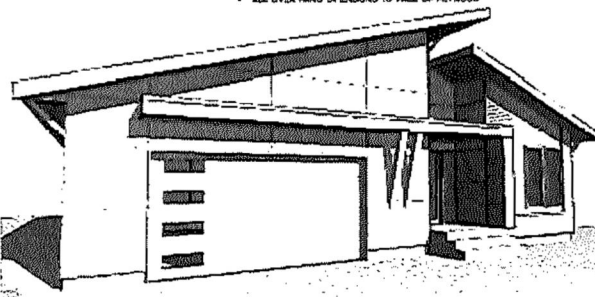
SECTION MARKER

EXTERIOR ELEVATION MARKER

INTERIOR ELEVATION MARKER

### NOTES

- ALL EXTERIOR DIMENSIONS ARE MEASURED FROM FACE OF WALL
- ALL INTERIOR DIMENSIONS ARE MEASURED FROM FACE OF WALL
- ALL OVER HANG DIMENSIONS TO FACE OF PLUMBING



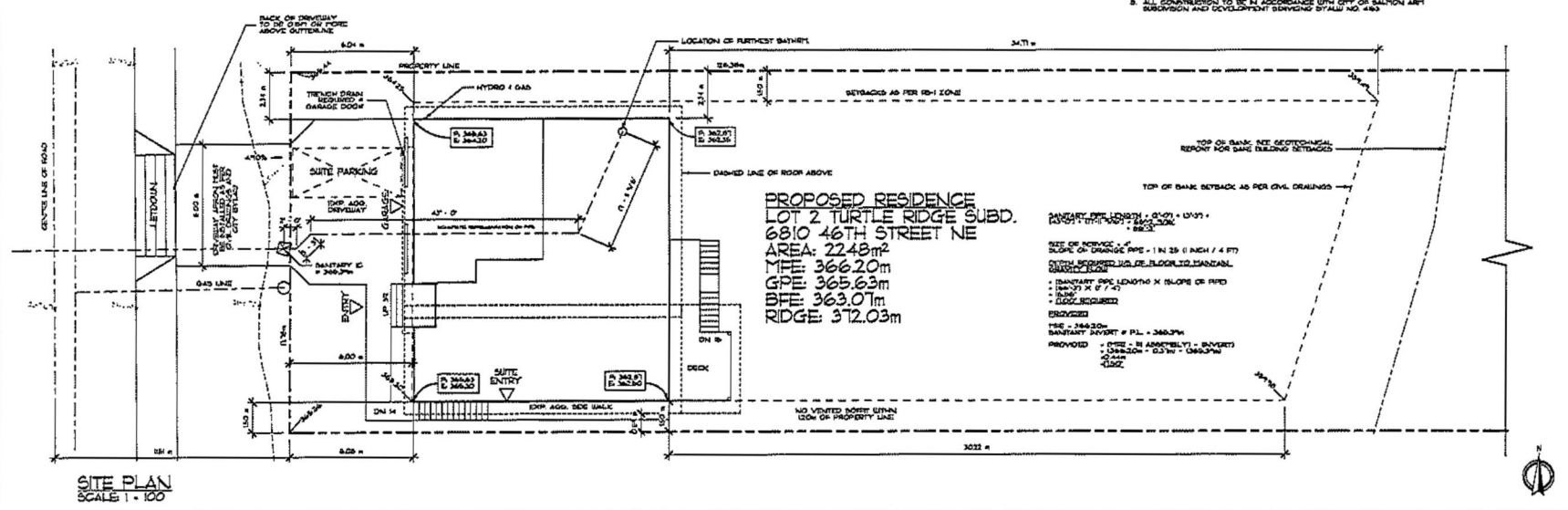
- ### GENERAL NOTES:
- ALL CONSTRUCTION SHALL BE CONDUCTED BY THE BUILDING CONTRACTOR/OWNER WITH THE LATEST EDITION OF THE BC BUILDING CODE AT THE DATE OF PERMIT ISSUANCE, AND ALSO CONFORM TO THE LOCAL GOVERNING CODES AND BYLAWS OF THE CITY OF VANCOUVER.
  - THE GENERAL CONTRACTOR AND ANY SUBSIDIARY BUILDING TRUCKS CONTRACTORS ARE RESPONSIBLE TO REVIEW THEIR PLANS BEFORE ANY BUILDING MATERIALS ARE ORDERED AND ANY SITE WORK OR CONSTRUCTION BEGINS. ALL DISCREPANCIES OR OMISSIONS ARE TO BE REPORTED TO ARC HOME DESIGN INC. IMMEDIATELY.
  - THESE REMARKS ARE NOT INTENDED TO BE SCALE NOTED ON PLANS IS FOR VISUAL ORIENTATION ONLY. IN A DISCREPANCY TO HOUSE, THE BUILDING CONTRACTOR/OWNER IS TO CONTACT ARC HOME DESIGN INC. IMMEDIATELY FOR CLARIFICATION BEFORE WORK BEGINS.
  - THE BUILDING CONTRACTOR/OWNER IS TO SUPPLY ARC HOME DESIGN INC. WITH ANY AND ALL ENGINEERING DRAWINGS OR SHOP DRAWINGS FOR REVIEW OR SHOP DRAWINGS BY ARC HOME DESIGN INC. FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THIS PROJECT.
  - THE BUILDING CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNING AUTHORITY.
  - THE BUILDING CONTRACTOR/OWNER SHALL MAINTAIN AS-BUILT DRAWINGS FOR ANY CHANGES DURING CONSTRUCTION PROCESS.
  - ALL CONCRETE IS TO BE PLACED ON A FIRM, SOLID GRADE WITH NO LOOSE OR MOIST MATERIAL.
  - ALL MATERIAL SHALL BE NEW UNLESS NOTED OTHERWISE.
  - BUILDING MATERIAL SUBSTITUTIONS SHALL HAVE EQUAL OR GREATER REQUIREMENTS THAN MATERIAL BEING REPLACED.
  - A MEMBER OF TWO HOUR FIRE RATING SHALL BE INSTALLED LOCATION TO BE SUPPLIED BY THE BUILDING CONTRACTOR/OWNER.
  - ALL EXTERIOR AND ENTRANCE DOORS SHALL HAVE DEADBOLT ASSEMBLY, AND SHALL BE SOLID BLOCKED TO RESIST BREACHING DURING FIREWORKS ENTRY.
  - ALL EXTERIOR AND ENTRANCE DOOR HINGES SHALL BE INSTALLED AS SUCH THAT THE DOOR CAN BE REMOVED FROM THE EXTERIOR.
  - ALL INTERIOR LANDINGS, BALCONIES, AND STAIRWAYS SHALL HAVE HANDRAILS AND HANDGrips DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT BUILDING CODE REQUIREMENTS.
  - STAIR ENCLASING UNITS, ELECTRICALLY CONNECTED STAIRS SHALL BE INSTALLED ON EACH STAIRWAY INCLUDING THE BASEMENT. STAIRS SHALL ALWAYS BE INSTALLED IN EACH SECOND-FLOORING AREA IN THE BUILDING UNIT.
  - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ANY BUILDING UNIT CONTAINING FUEL BURNING APPLIANCES OR ATTACHED STOVES OR CHIMNEYS. A CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE ROOM.
  - THE WALL SEPARATING A GARAGE AND BUILDING UNIT SHALL BE MADE FIRE PROOF, AND THE DOOR BETWEEN THE GARAGE AND THE BUILDING UNIT SHALL BE LEASTEN STRIPPED AND FITTING WITH A SELF-CLOSING DEVICE. THIS ALSO APPLIES TO GARAGE ATTACHMENT.
  - DOOR SWEPTS LOCATED WITHIN 12" OF A PROPERTY LINE SHALL NOT CONTACT OR OBSTRUCT.
  - VARIABLE DRAINAGE MUST BE 1/4" IN 12" UNLESS OTHERWISE NOTED. MUST BE CONTIGUOUS WHERE INTERIOR WALLS MEET EXTERIOR WALLS OR AT THE CORNERS, AND MUST BE SLOPED TO THE EXTERIOR. MUST BE ATTACHED TO INSULATED SHAFTS.
  - PERMIT INSULATION VALUES SHALL CONFORM TO THE CURRENT BC BUILDING CODE.
  - HOLE THROUGH VARIOUS BARRIERS SHALL BE SEALED.
  - ALL TRENCHES ARE TO BE ENGINEERED, AND SPANS AND DETAILS FORMED BY THE TRENCH SUPPLIER PRIOR TO ANY INSTALLATION.
  - ALL EXTERIOR AND INTERIOR WALLS SHALL CONFORM WITH THE LATEST MANUFACTURED INSULATION REGULATIONS FOR MANUFACTURED DOORS, WINDOWS, AND DOORS, AND INSULATION. UNLESS OTHERWISE NOTED, INSULATION SHALL BE SUPPLIED TO MANUFACTURER REQUIREMENTS.
  - INTERIOR ROOM DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE ON SITE.


### ZONING ANALYSIS

PARAMETER	VALUE
CIVIL ADDRESS	6810 46TH STREET NE
LEGAL ADDRESS	6810 46TH STREET NE
RD	RD - SINGLE FAMILY RESIDENTIAL ZONE
LOT SIZE / AREA	22,480 SQ. FT.
LOT DEPTH	170.00 FT.
LOT WIDTH	130.00 FT.
LOT AREA	22,480 SQ. FT.
SETBACKS	FRONT: 4.00 FT. (PLAN SET)
REAR SETBACK	12.00 FT. (PLAN SET)
LEFT SETBACK	12.00 FT. (PLAN SET)
RIGHT SETBACK	12.00 FT. (PLAN SET)
SETBACKS	FRONT: 4.00 FT. (PLAN SET)
REAR SETBACK	12.00 FT. (PLAN SET)
LEFT SETBACK	12.00 FT. (PLAN SET)
RIGHT SETBACK	12.00 FT. (PLAN SET)
SETBACKS	FRONT: 4.00 FT. (PLAN SET)
REAR SETBACK	12.00 FT. (PLAN SET)
LEFT SETBACK	12.00 FT. (PLAN SET)
RIGHT SETBACK	12.00 FT. (PLAN SET)

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# WHALLEY RESIDENCE





**ARC HOME DESIGN INC.**

3275 UNDER CROFT, WESTON BC, V3S 5B9  
 TEL: 604.451.1234  
 456@arcdesigninc.com

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NO.	DESCRIPTION	BY	DATE
1	ISSUED FOR PERMIT	J.C.V.	JANUARY 2021

**PROJECT:** WHALLEY RESIDENCE

**CLIENT:** SALTION ART

**DRAWING TITLE:** COVER, SITE PLAN & NOTES

DATE	2021-04-06
SCALE	As Indicated
DRAWN BY:	GV
CHECKED:	GV
PROJECT NUMBER	P2106
SHEET NO.	A1.0



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#### SECONDARY SUITE NOTES:

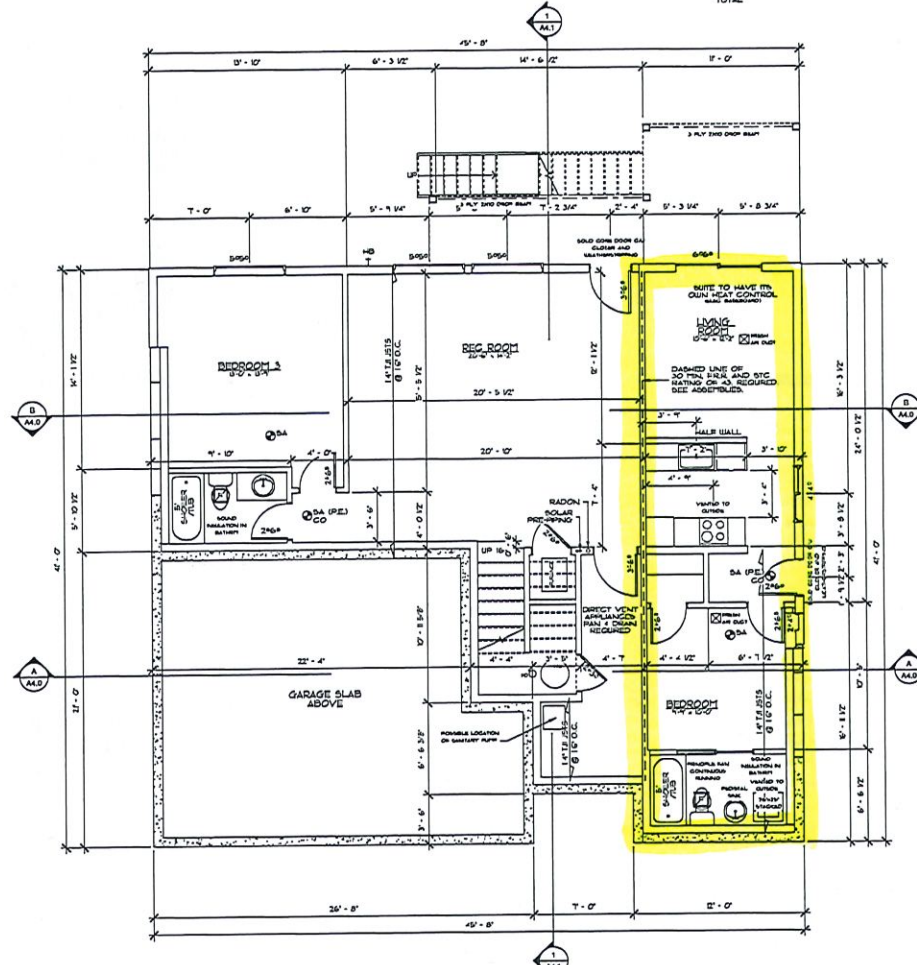
- ALL WALLS AND CEILINGS MUST HAVE A MINIMUM STC RATING OF 45 AS PER BCBC 2018 (S11.2.2.1.1)
- CARRION MONITORING ALARMS IN SUITE MUST BE INTERCONNECTED WITH CARRION MONITORING ALARMS IN MAIN DWELLING AS PER BCBC 2018 (S11.2.2.1.1)
- PHOTO ELECTRIC SMOKE ALARMS IN SUITE MUST BE INTERCONNECTED WITH PHOTO ELECTRIC SMOKE ALARMS IN MAIN DWELLING AS PER BCBC 2018 (S11.2.2.1.1)
- ALL WALLS BETWEEN SUITE AND HOUSE MUST HAVE MIN. 30 PINK (SEE SECTIONS AND PLANS)
- ALL CEILINGS BETWEEN SUITE AND HOUSE MUST HAVE 30 PINK (SEE SECTIONS AND PLANS)
- ALL FIRE SEPARATIONS TO BE CONTINUOUS FLOOR TO CEILING
- ALL DOORS INSTALLED IN WALL REQUIRING AN FRR MUST HAVE A FIRE PROTECTION RATING OF 20 MINUTES AND HAVE BATED SELF CLOSING DEVICE
- SAFETY EXITS MUST BE MAINTAINED BETWEEN SUITE AND HOUSE
- SMOKE ALARM REQUIRED ON EACH FLOOR LEVEL OF BOTH HOUSE AND SECONDARY SUITE, AND ALSO IN EACH BEDROOM
- SUITE TO HAVE HOT WATER OR ELECTRIC BASEBOARD HEATING
- EACH BATHROOM AND KITCHEN TO BE EQUIPPED WITH AN EXHAUST FAN VENT TO THE EXTERIOR
- EACH OUTSLAND UNIT TO BE PROVIDED WITH A KITCHEN, BATHROOM, AND BEDROOM. EACH UNIT MUST ALSO BE PROVIDED WITH A KITCHEN, BATHROOM, AND BEDROOM. EACH UNIT MUST ALSO BE PROVIDED WITH A KITCHEN, BATHROOM, AND BEDROOM.
- ONE EXTRA PARKING SPACE FOR THE SECONDARY SUITE MUST BE PROVIDED IN ADDITION TO THE SPACE(S) REQUIRED FOR THE MAIN HOUSE ON THE LOT.

#### NOTES:

- GLAZING IN EXTERIOR DOORS & GLAZING WITHIN 3'-0" OF EXTERIOR DOORS TO BE SAFETY GLASS
- GLAZING ENCLOSED SHOWERS & BATH TUBS TO BE SAFETY GLASS
- GLAZED GUARDRAILS TO BE CONSTRUCTED OF SAFETY GLASS
- ALL GUARDRAILS TO BE DESIGNED & CONSTRUCTED AS PER BCBC SECTION 9.3.8
- ALL HANDRAILS TO BE DESIGNED & CONSTRUCTED AS PER BCBC SECTION 9.3.1
- REFER TO STRUCTURAL DRAWINGS PROVIDED BY ENGINEER FOR ALL STRUCTURAL SPECIFICATIONS & NOTES
- ATYC HATCHES TO INCLUDE INSULATION & WEATHERSTRIPPING & SHALL CONFORM TO BCBC SECTION 9.3.3
- WINDOWS TO CONFORM TO BCBC SECTION 9.3.1
- ALL BEDROOMS/STAIRWAYS ARE TO PROVIDE UNOBSTRUCTED FLOOR OR GLAZING TO THE EXTERIOR OF THE RESIDENCE TO CONFORM TO THE BCBC 2018
- ALL BEDROOMS/STAIRWAYS ARE TO HAVE AN INTERCONNECTED SMOKE ALARMS
- ALL BEDROOMS TO HAVE AN INTERCONNECTED SMOKE ALARM & CARRION MONITORING (CM) INSTALLED
- ALL BEAMS AND UNITS ARE TO BE 2-2-10 UNO ON PLANS ON STRUCTURAL DRAWINGS PROVIDED BY ENGINEER

#### FLOOR AREA

MAIN FLOOR	2202.25 sq./ft.
GARAGE	508.04 sq./ft.
OPEN TO BELOW	643.53 sq./ft.
TOTAL (MAIN FLOOR + GARAGE)	2710.29 sq./ft.
BASEMENT	891.01 sq./ft.
SUITE	426.09 sq./ft.
TOTAL	3171.40 sq./ft.



BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



32719 UNDER COURT, MISSION BC V4S 0B9  
TEL: 604-251-1247  
arcdesign@arcdesign.com

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THE OWNER IS RESPONSIBLE TO COMPLY WITH THE CURRENT ADDITIONS OF THE BCBC, CITY BYLAWS, AND REGULATIONS. DRASONS WILL HAVE PRECEDENCE OVER EASINGS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE RESPONSIBILITY OF THE BUILDING OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, LEVELS, & STRUCTURAL REQUIREMENTS PRIOR TO CONSTRUCTION.

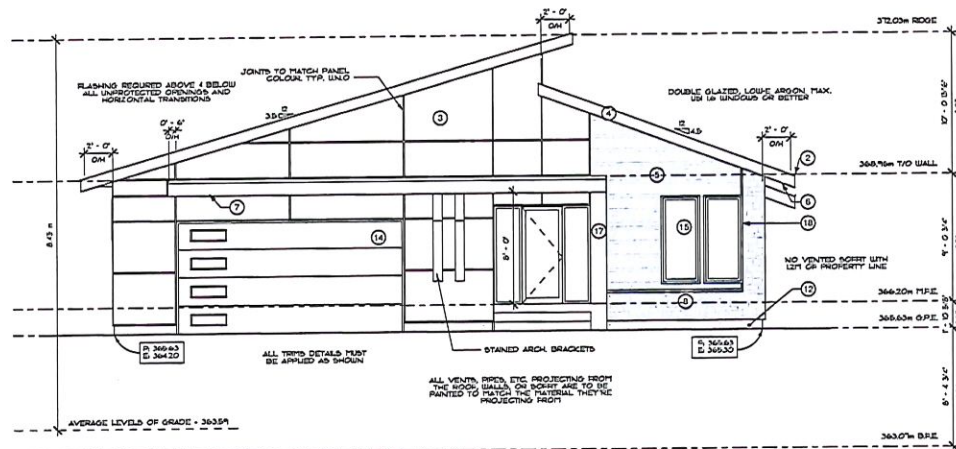
NO DESCRIPTION BY DATE

1 ISSUED FOR BP C.V. APRIL-06-2021

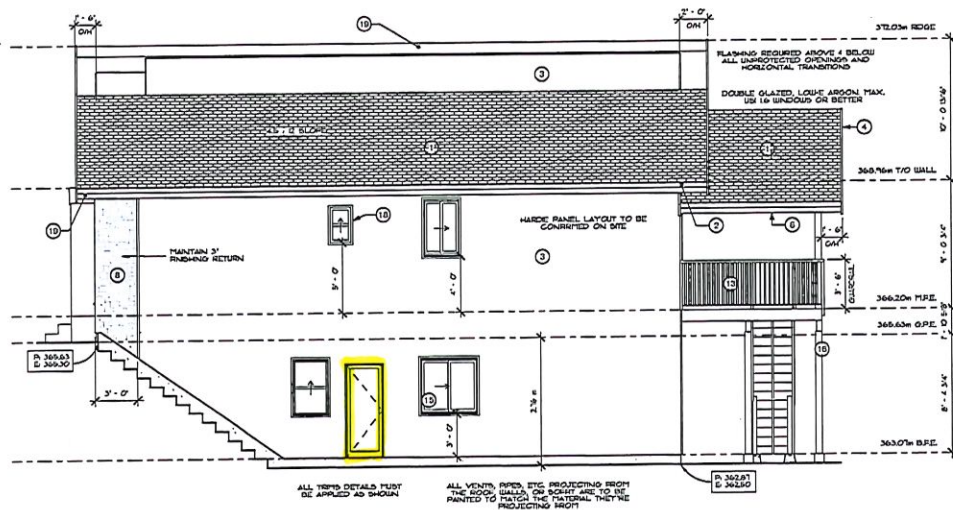
PROJECT: WHALLEY RESIDENCE  
SALMON ARM  
DRAWING TITLE: BASEMENT FLOOR PLAN

DATE: 2021-04-06  
SCALE: As Indicated  
DRAWN BY:  
CHECKED:  
PROJECT NUMBER: P2106  
SHEET NO: A2.1





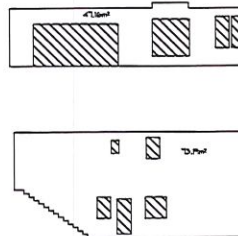
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

# BUILDING EXPOSURE AND SPATIAL SEPERATION (9.10.15)

COMMITMENT GLAZING	AREA OF FACADE	LIFTING DISTANCE	UNPROTECTED OPENINGS		CONSTRUCTION OF BLDG. FACE	
			ALLOWED	PROVIDED		
RIGHT FACADE	73.7m	15m to PL	8.00%	7.3%	ONE C	C
LEFT FACADE	60.30m	2.34m to PL	0.84%	3.70%	ONE C	C
REAR FACADE	86.80m	30.22m to SB	100%	35.85%	ONE C	C
FRONT FACADE	47.16m	17.5m to CL Road	100%	40.78%	ONE C	C



## SCHEDULE OF FINISHES

- BLACK ARCHITECTURAL LAMINATE ROOF SHINGLES
- SURFACE MOUNTED ALUMINUM METAL GUTTER
- ROBE CEMENT PANEL - COLOUR TO OWNERS SPEC
- PAINTED 2x4 BARGE BOARD - COLOUR TO OWNERS SPEC
- PVC WOOD GLAZING
- PERFORATED WHITE SPLIT. UNLO
- WOOD SOFFIT
- DRY STACK CULTURED STONE - TO OWNERS SPEC
- STONE CAP - TO OWNERS SPEC
- PAINTED 1x4 TRIM - COLOUR TO OWNERS SPEC
- PAINTED 1x6 TRIM - COLOUR TO OWNERS SPEC
- EXPOSED CONCRETE
- PRE-ENGINEERED SIDE MOUNTED METAL RAILING - COLOUR TO OWNERS SPEC. UNLO
- PAINTED 8x10 GARAGE DOOR - TO OWNERS SPEC
- NAIL ON VINYL WHITE WINDOWS
- UNRAISED BEAM & POST - BY ENGINEER
- METAL FASCIA
- 1 X 2 WINDOW TRIM
- PAINTED 2x8 FASCIA BOARD - COLOUR TO OWNERS SPEC

## NOTES

- ANY CHANGES TO FINISHES MUST BE COORDINATED BY OWNER

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THE OWNER IS RESPONSIBLE TO COMPLY WITH THE CURRENT REGULATIONS OF THE BC, CITY, BYLAWS, AND REGULATIONS. ENGINEERING WILL TAKE PRECEDENCE OVER LOCAL.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. IT IS THE RESPONSIBILITY OF THE USER/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, LEVELS, & STRUCTURE PRIOR TO CONSTRUCTION.

NO	DESCRIPTION	BY	DATE
1	ISSUED FOR BP	JC V	14/06/2021

PROJECT  
WHALLEY RESIDENCE  
SALMON ARM  
DRAWING TITLE  
FRONT & RIGHT ELEVATION

DATE:	2021-04-06
SCALE:	As Indicated
DRAWN BY:	OV
CHECKED:	OV
PROJECT NUMBER:	P2106
SHEET NO:	A3.0



APPENDIX 6



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Item 24.1

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4493 be read a third time.

[Angove, K./Franklin Engineering Ltd.; 2790 20 Avenue NE; R-1 to R-4]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

### BYLAW NO. 4493

#### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on March 14, 2022 at the hour of 7:00 p.m. was published in the March 2, 2022 and March 9, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 2, Section 24, Township 20, Range 10, W6M, KDYD, Plan 24726 Except Plan KAP57693 from R-1 Single Family Residential Zone to R-4 (Medium Density Residential Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4493"

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS DAY OF 2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE DAY OF , 2022

\_\_\_\_\_  
For Minister of Transportation & Infrastructure

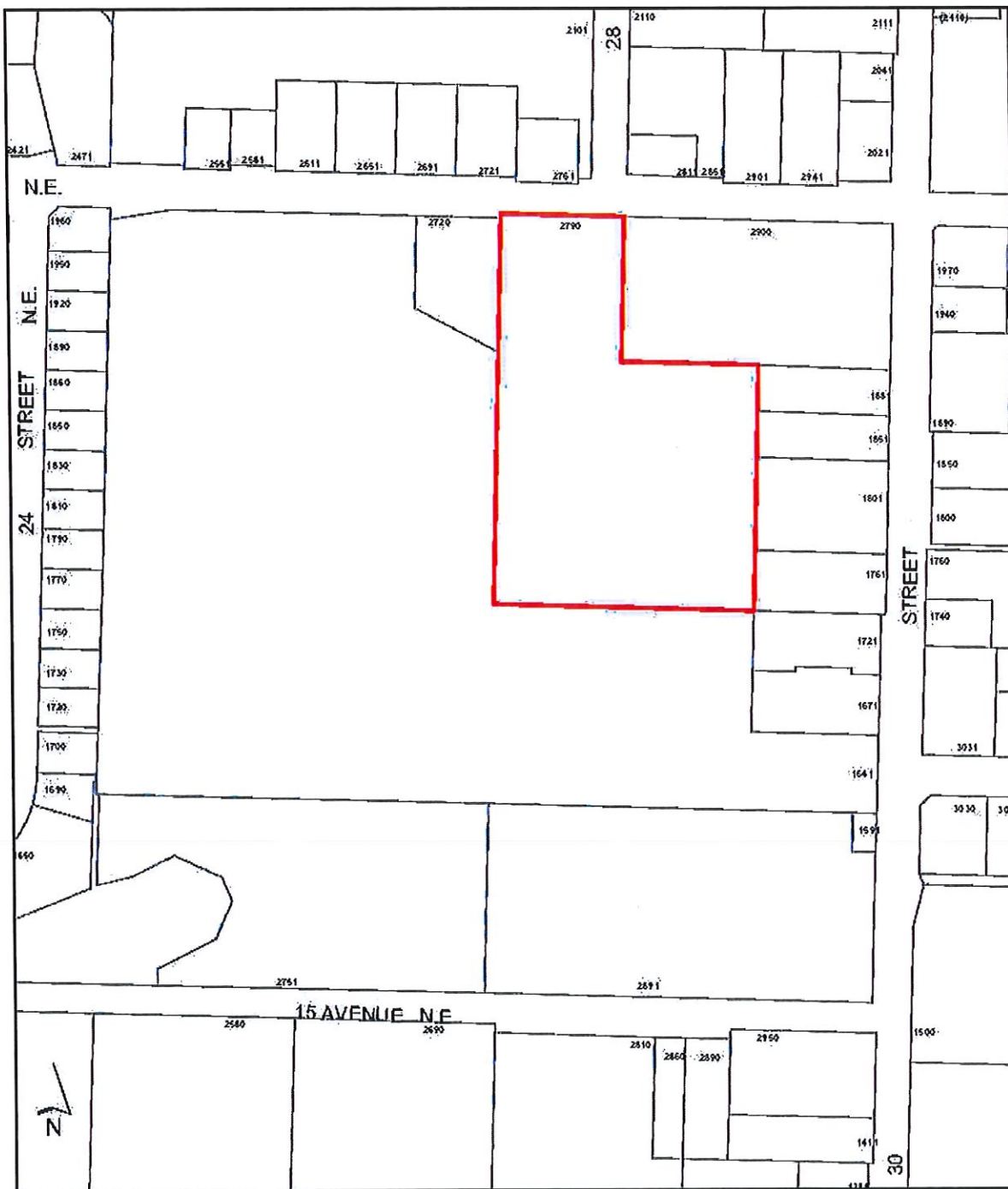
ADOPTED BY COUNCIL THIS DAY OF 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



### Schedule "A"



Item 24.2

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor

Seconded: Councillor

THAT: the bylaw entitled City of Salmon Arm Zoning Amendment Bylaw No. 4494 be read a third time.

[Whalley, B. & M.; 6840 46 Street NE; R-1 to R-8]

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond

## CITY OF SALMON ARM

### BYLAW NO. 4494

#### A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

---

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm in the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia and by electronic means, on March 14, 2022 at the hour of 7:00 p.m. was published in the March 2, 2022 and March 9, 2022 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 Single Family Residential Zone to R-8 (Residential Suite Zone), attached as Schedule "A".

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.



5. CITATION

This bylaw may be cited as "City of Salmon Arm Zoning Amendment Bylaw No. 4494"

READ A FIRST TIME THIS 28 DAY OF February 2022

READ A SECOND TIME THIS 28 DAY OF February 2022

READ A THIRD TIME THIS DAY OF 2022

APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT  
ON THE DAY OF , 2022

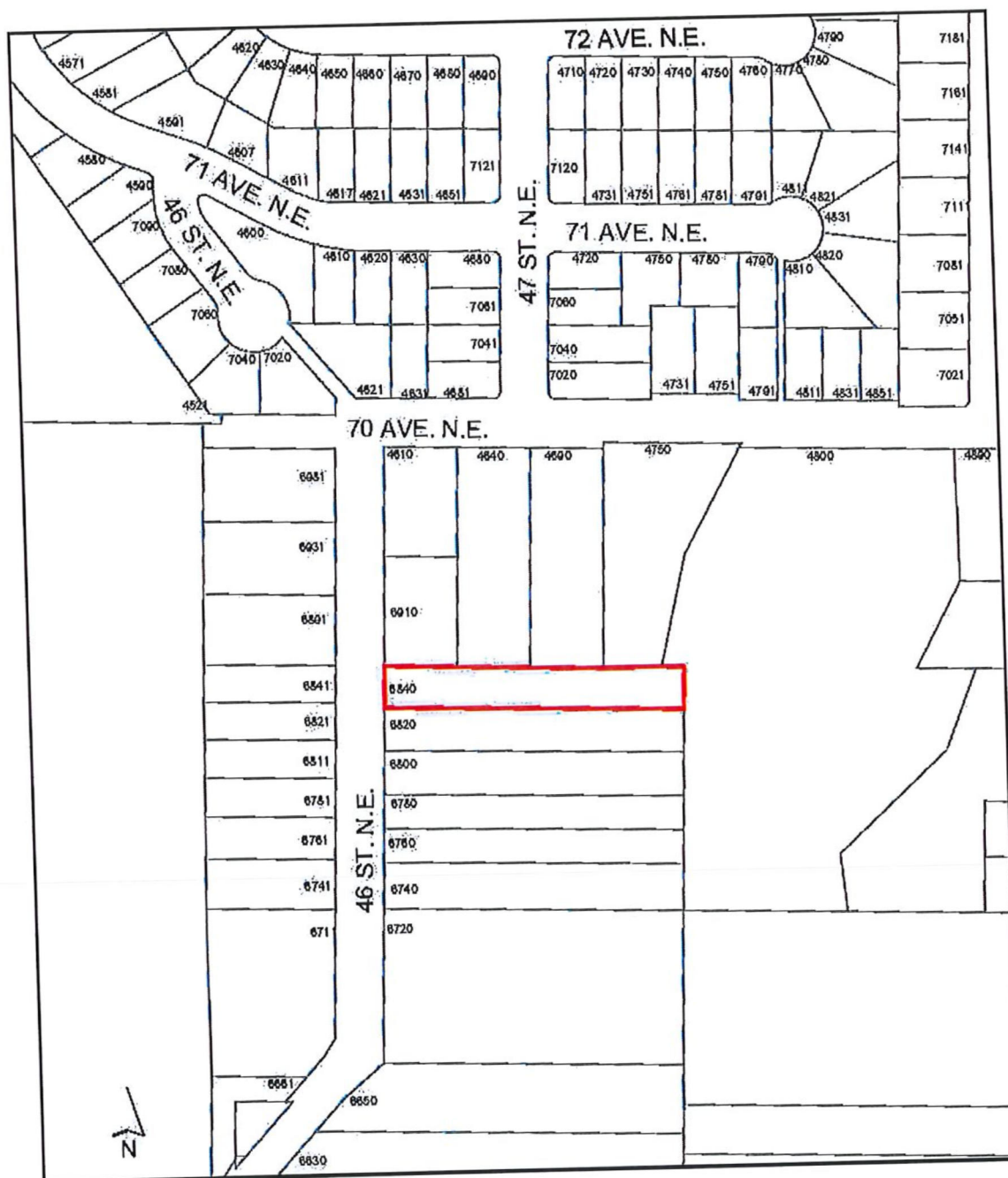
\_\_\_\_\_  
For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF 2022

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

Schedule "A"



Item 26.

## CITY OF SALMON ARM

Date: March 14, 2022

Moved: Councillor Flynn

Seconded: Councillor Lindgren

THAT: the Regular Council Meeting of March 14, 2022, be adjourned.

### Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously
- Opposed:

- ☐ Harrison
- ☐ Cannon
- ☐ Eliason
- ☐ Flynn
- ☐ Lavery
- ☐ Lindgren
- ☐ Wallace Richmond



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## INFORMATIONAL CORRESPONDENCE – March 14, 2022

1.	Building Department – Building Statistics – February 2022	N
2.	Building Department – Building Permits – Yearly Statistics	N
3.	V. J. Howard – email dated February 25, 2022 – Transit route and transit ticket purchase locations	R
4.	L. Francis – email dated March 5, 2022 – Mobs of people	R
5.	C. Askew – email dated February 28, 2022 – Request for safety improvements	R
6.	C. Holowachuk – email dated March 8, 2022 – Housing	N
7.	M. Vroom, Shuswap Vintage Car Club – email dated March 8, 2022 – Shuswap Vintage Car Club car show	A
8.	M. Brock, Girl Guide Leader & District Commissioner – letter dated March 8, 2022 – Roadside clean-up	A
9.	T. Kutschker, Director/Curator – Salmon Arm Arts Centre – letter dated March 9, 2022 – Letter of Support for Salmon Arm Pride Project	R
10.	J. McEwan, Salmon Arm Fall Fair Manager – letter dated March 7, 2022 – Noise Bylaw Extension Request	A
11.	G. Nichols, PhD Candidate, Department of Population Medicine, Ontario Veterinary College, University of Guelph – email dated March 8, 2022 – Request to conduct tick research at two site in Salmon Arm	A
12.	K. Perez, Community Engagement Assistant, Parkinson Society British Columbia – email dated March 3, 2022 – Parkinson's Awareness Month 2022 Proclamation Request – City of Salmon Arm	S
13.	C. Dean, GBS/CIDP Liaison, GBS/CIDP Foundation of Canada – email dated March 7, 2022 – Proclamation Request	N
14.	Interior Health Info Bulletin – March 2, 2022 – New locations for COVID-19 vaccine clinics in the Interior	N
15.	A. Slater, General Manager, Southern Interior Local Government Association – email dated February 28, 2022 – 2022 SILGA Nomination Report	N
16.	FCM – email dated February 23, 2022 – Registration for AC 2022 launching tomorrow	R
17.	D. Sharman, BC Hydro – email dated February 25, 2022 – Southern Interior Community Relations Annual Report	N
18.	BC Multiculturalism and Anti-Racism Awards 2022 – Invitation	N
19.	S. Nichols, Corporate Officer, City of Maple Ridge – email dated February 28, 2022 – Mayor Morden to Minister Dix – Vaccine Restrictions	N
20.	B. Mader, Town of Oliver – letter dated February 22, 2022 – BC Wildfires Petition – Letter of Support	N
21.	C. Peters, BC anti-human trafficking educator, speaker, advocate – email dated March 9, 2022 – My script presentation to Federal Justice Committee re prostitution in Canada	N

N = No Action Required  
A = Action Requested

S = Staff has Responded  
R = Response Required

**CITY OF SALMON ARM  
BUILDING DEPARTMENT REPORT  
FEBRUARY 2022**

LAST YEAR (2021)  
CURRENT MONTH YEAR-TO-DATE

CURRENT YEAR (2022)  
CURRENT MONTH YEAR-TO-DATE

		NO.	VALUE	NO.	VALUE	NO.	VALUE	NO.	VALUE
1	New Single Family Dwellings	3	930,000	8	2,580,000	1	350,000	5	2,160,000
2	Misc. Additions etc. to SFD's	8	399,375	15	1,210,430	2	25,000	5	448,000
3	New Single Family Dwellings with suites	1	500,000	1	500,000	3	1,257,000	4	1,757,000
4	New Secondary/Detached Suites	1	35,000	2	80,000	2	170,000	2	170,000
5	New Modulares/MH's (Factory Built)	2	275,500	2	275,500	-	-	-	-
6	Misc. Additions etc. to Modulares/MH's	-	-	-	-	-	-	-	-
7	MFD's (# Units)	-	-	-	-	-	-	-	-
8	Misc. Additions etc. to MFD's	1	1,000	1	1,000	-	-	-	-
9	New Commercial	-	-	-	-	-	-	-	-
10	Misc. Additions etc. to Commercial	1	20,000	6	547,600	-	-	-	-
11	New Industrial	1	150,000	1	150,000	-	-	-	-
12	Misc. Additions etc. to Industrial	-	-	-	-	-	-	-	-
13	New Institutional	-	-	-	-	-	-	-	-
14	Misc. Additions etc. to Institutional	-	-	-	-	-	-	-	-
15	Signs	5	9,740	10	46,217	-	-	2	9,700
16	Swimming Pools, Pool Buildings	-	-	1	110,000	1	70,000	1	70,000
17	Demolitions	4	-	4	-	-	-	1	-
18	Temporary Trailers, A & B Permits	-	-	-	-	-	-	-	-
19	Misc. Special Inspections, etc.	1	-	5	-	1	-	9	-
	<b>TOTAL PERMITS ISSUED</b>	<b>28</b>	<b>2,320,615</b>	<b>56</b>	<b>5,500,747</b>	<b>10</b>	<b>1,872,000</b>	<b>29</b>	<b>4,614,700</b>

MFD's - Apartment, Row, Duplex, Strata (# of dwelling units created)  
Farm building values not included



# BUILDING PERMITS - YEARLY

	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
2001	585,500	11,938,550	12,265,250	12,842,790	13,534,790	14,712,550	16,330,650	17,717,625	19,031,075	19,895,255	21,318,855	21,458,195
2002	585,500	1,952,500	3,340,850	3,821,240	5,455,840	6,411,690	8,844,690	10,932,510	15,780,890	16,705,600	17,738,200	17,923,700
2003	130,110	920,780	2,974,020	4,486,120	5,993,320	13,294,120	15,555,250	17,937,005	20,318,920	22,000,340	24,005,740	24,782,360
2004	430,700	1,506,500	5,903,780	8,379,104	10,122,768	12,086,319	14,779,343	21,598,763	30,371,023	33,614,173	34,957,458	35,881,343
2005	1,072,000	2,269,650	4,344,750	6,806,152	12,110,482	28,031,457	29,985,585	34,743,645	37,600,445	42,915,856	45,525,611	47,576,746
2006	815,550	3,224,468	8,012,449	11,501,929	16,084,809	20,066,533	23,714,194	26,370,890	36,479,806	37,278,358	42,332,995	43,077,170
2007	1,531,087	3,901,669	16,148,674	22,413,118	27,232,134	32,401,472	35,657,297	42,829,750	51,945,799	55,703,387	65,885,802	66,289,555
2008	1,797,604	4,203,429	12,947,058	27,647,379	33,857,533	36,582,025	39,759,375	42,395,454	45,412,474	50,699,301	53,383,541	53,522,880
2009	409,369	864,839	2,039,460	5,207,311	6,763,615	7,800,085	9,677,455	11,579,746	18,882,737	20,713,554	23,523,664	24,337,664
2010	1,518,563	2,708,062	5,931,546	10,081,816	12,260,236	13,526,546	16,597,121	18,790,511	19,848,804	21,174,632	22,953,692	27,249,702
2011	568,645	2,003,976	5,063,837	7,449,773	9,471,416	11,761,850	12,794,028	14,222,970	18,194,801	19,682,061	30,563,013	31,934,415
2012	2,189,660	3,128,562	4,794,040	6,337,260	10,000,544	12,120,246	17,883,185	24,375,078	26,118,787	26,493,820	28,130,500	28,666,430
2013	881,740	1,440,110	13,907,060	15,814,195	17,433,454	20,194,778	23,204,628	24,180,485	26,567,302	29,195,224	30,890,086	31,231,349
2014	665,304	2,806,404	8,075,941	20,789,869	27,574,834	29,877,686	33,456,523	41,971,923	42,784,769	44,804,191	46,460,471	47,707,993
2015	1,172,285	1,853,539	3,894,754	6,750,389	8,575,425	18,388,180	20,475,407	26,442,225	29,143,303	31,248,595	35,417,465	37,368,595
2016	1,268,865	2,298,280	4,987,625	8,904,610	12,253,660	16,279,464	19,265,124	23,811,029	29,823,014	36,084,949	40,154,959	41,418,659
2017	1,183,280	2,841,725	7,219,495	11,761,657	18,136,656	23,823,576	30,793,243	36,066,891	52,130,226	59,858,542	63,366,686	64,675,041
2018	1,970,104	3,943,104	10,028,787	14,363,122	20,252,322	30,488,747	37,540,412	40,421,060	55,689,215	59,634,580	64,988,531	66,797,572
2019	6,060,645	6,835,345	10,699,845	18,074,843	22,220,523	26,015,593	31,103,281	45,971,877	48,902,359	52,267,409	56,765,409	58,511,534
2020	2,218,950	4,293,250	6,900,060	9,289,060	12,891,318	23,340,638	26,757,691	32,516,960	37,062,215	46,505,927	51,472,227	54,065,527
2021	3,180,132	5,500,747	9,538,939	14,603,678	21,402,310	29,030,210	33,528,039	37,494,801	41,729,005	46,006,620	50,263,120	53,739,370
2022	2,742,700	4,614,700										

From: [noreply@civicplus.com](mailto:noreply@civicplus.com) <[noreply@civicplus.com](mailto:noreply@civicplus.com)>

Sent: Friday, February 25, 2022 11:21 AM

To: Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>; Chad Eliason <[celiason@salmonarm.ca](mailto:celiason@salmonarm.ca)>; Debbie Cannon <[dcannon@salmonarm.ca](mailto:dcannon@salmonarm.ca)>; Kevin Flynn <[kflynn@salmonarm.ca](mailto:kflynn@salmonarm.ca)>; Louise Wallace-Richmond <[lwallacerichmond@salmonarm.ca](mailto:lwallacerichmond@salmonarm.ca)>; Sylvia Lindgren <[slindgren@salmonarm.ca](mailto:slindgren@salmonarm.ca)>; Tim Lavery <[tlavery@salmonarm.ca](mailto:tlavery@salmonarm.ca)>; Rob Niewenhuizen <[rniewenhuizen@salmonarm.ca](mailto:rniewenhuizen@salmonarm.ca)>; Erin Jackson <[ejackson@salmonarm.ca](mailto:ejackson@salmonarm.ca)>

Subject: [External] Online Form Submittal: Mayor and Council

## Mayor and Council

First Name	Veneta Jean
Last Name	Howard
Address:	[REDACTED]
Return email address:	[REDACTED]
Subject:	Transit route and transit ticket purchase locations
Body	<p>Hello,</p> <p>I would like to request that consideration be taken in adding a bus stop along 10 St SW. This area is growing and there are now many seniors that live along this street. I contacted the city about a year and a half ago and was told that this was on the councils agenda for discussion. Hopefully this can be looked at once again.</p> <p>Also, it would be very nice if people were able to purchase transit tickets at the Piccadilly Mall. Maybe the gentleman at the lottery ticket centre would be willing to offer this service if approached by the city.</p> <p>Thank you.</p> <p>Regards Jean Howard</p>
Would you like a response:	Yes

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From: [noreply@civicplus.com](mailto:noreply@civicplus.com) <[noreply@civicplus.com](mailto:noreply@civicplus.com)>

Sent: Saturday, March 5, 2022 11:57 AM

To: Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>; Chad Eliason <[celiason@salmonarm.ca](mailto:celiason@salmonarm.ca)>; Debbie Cannon <[dcannon@salmonarm.ca](mailto:dcannon@salmonarm.ca)>; Kevin Flynn <[kflynn@salmonarm.ca](mailto:kflynn@salmonarm.ca)>; Louise Wallace-Richmond <[lwallacerichmond@salmonarm.ca](mailto:lwallacerichmond@salmonarm.ca)>; Sylvia Lindgren <[slindgren@salmonarm.ca](mailto:slindgren@salmonarm.ca)>; Tim Lavery <[tlavery@salmonarm.ca](mailto:tlavery@salmonarm.ca)>; Rob Niewenhuizen <[rniewenhuizen@salmonarm.ca](mailto:rniewenhuizen@salmonarm.ca)>; Erin Jackson <[ejackson@salmonarm.ca](mailto:ejackson@salmonarm.ca)>

Subject: [External] Online Form Submittal: Mayor and Council

## Mayor and Council

First Name	Lynn
Last Name	Francis
Address:	[REDACTED]
Return email address:	[REDACTED]
Subject:	Mobs of people
Body	The world is in horror over Russua's invasion of the Ukraine. But these selfish people have taken over Blackburn Park Send them to Alberta. No health care restrictions there.
Would you like a response:	Yes

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*Written and email correspondence addressed to Mayor and Council may become public documents once received by the City. Correspondence addressed to Mayor and Council is routinely published within the Correspondence Section of Regular Council Agendas.*

Email not displaying correctly? [View it in your browser.](#)



**From:** Claire Askew [REDACTED]  
**Sent:** Monday, February 28, 2022 4:52 PM  
**To:** Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>; Debbie Cannon <[dcannon@salmonarm.ca](mailto:dcannon@salmonarm.ca)>; Chad Eliason <[celiason@salmonarm.ca](mailto:celiason@salmonarm.ca)>; Kevin Flynn <[kflynn@salmonarm.ca](mailto:kflynn@salmonarm.ca)>; Tim Lavery <[tlavery@salmonarm.ca](mailto:tlavery@salmonarm.ca)>; Sylvia Lindgren <[slindgren@salmonarm.ca](mailto:slindgren@salmonarm.ca)>; Louise Wallace-Richmond <[lwallacerichmond@salmonarm.ca](mailto:lwallacerichmond@salmonarm.ca)>; Erin Jackson <[ejackson@salmonarm.ca](mailto:ejackson@salmonarm.ca)>  
**Subject:** [External] Request for safety improvements

Dear Mayor Harrison and Councillors Cannon, Eliason, Flynn, Lavery, Lindgren and Wallace-Richmond:

At the recent Chamber of Commerce state-of-the-city address on Feb 9th I asked if there were any plans to improve the safety of several intersections along 30th Street near a number of our Salmon Arm schools. Mayor Harrison suggested that I put my question into a letter addressed to Mayor and Council, which I have done (please see letter attached). There are many of us parents who are concerned with a lack of safe routes for our children to bike and walk to school and we explain in our letter that we are requesting that the city engage in a community consultation process to develop a plan to slow traffic and improve the safety at a number of key intersections.

If possible we would love the opportunity to speak to our request at a council meeting and would love to hear what you think about our request as well as your thoughts on some of the suggestions we have put forward for safety improvements that could be made.

We appreciate all you do for Salmon Arm and thank you very much for considering our request!

Warm regards,

Claire

Claire Askew  
[REDACTED]

February 28, 2022

Subject: Please develop safer walking and biking routes to Broadview area schools

Dear Mayor and Council:

We are a group of 60 parents who are concerned with the lack of pedestrian and cyclist safety along primary walking routes to Broadview area schools. We are asking that the city engage in a community consultation process to develop a plan to slow traffic and improve the safety along these routes.

### **Focus on Intersections**

Influential city planner Jeff Speck in his 2018 book *Walkable City Rules: 101 Steps to Making Better Places* explains that “as the principal place where pedestrians must share the road with vehicles, intersections are at the heart of street safety; their design and management is literally a matter of life and death” (p 173)<sup>(7)</sup>. From our experience this rings true and we have identified several intersections that we believe are of greatest need for safety improvements. These are the following: (1) the top of Tank Hill, Highway 1 and 30th Street NE, (along with the two intersections off the highway which flank it); (2) Eleventh Avenue NE and 30th, near Setters and McDonald’s and; (3) Ninth Avenue NE and 30th Street, near the uptown Tim Hortons; (4) the intersection at Okanagan Avenue and 30th Street just down from Shuswap Middle School; and finally (5) the 20th Avenue NE crossing at 24th Street. We understand that the stated policy of the City is to prioritize safe routes to schools from residential neighbourhoods and this is why we are bringing these areas of concern to your attention <sup>(1)</sup>.

While we greatly appreciate Salmon Arm’s many wonderful walking and cycling routes, we are worried that these spots, particularly the Tank Hill intersection, are very dangerous for our children. ICBC data tells us that the Tank Hill intersection is the most unsafe intersection in Salmon Arm-there have been 66 crashes and 33 casualties at this intersection in the 5-year period between 2016-2020 <sup>(2,3)</sup>. Data from ICBC reveals that the two intersections that flank Tank Hill are also dangerous - Eleventh Avenue NE and 30th, near Setters and McDonald’s had 26 crashes during this time period, and Ninth Avenue NE and 30th, near the uptown Tim Hortons, had 19 crashes <sup>(2)</sup>. And we have anecdotal evidence provided by local emergency doctor and signor of this letter, Lori Adamson, that children are at risk. In the last two years she has had to attend to two children struck by vehicles at these intersections, one of the incidents taking place at the Tank Hill intersection involved an eight-year-old and was especially serious.

Furthermore, because the highway intersection and the two intersections at Eleventh Ave NE and 30th and Ninth Avenue NE and 30th are so obviously dangerous to cross, many parents won’t even allow their children to walk and bike to school or to other after school destinations such as the SASCU Community Centre. This is particularly problematic considering that Salmon Arm is growing and that many of the young families in Salmon Arm either already live in or are moving to the Broadview area. As such, this existing problem is likely to only get worse. We noticed the improvements made to pedestrian safety on the highway downtown and are in favor of them, and would now be grateful for more attention to be paid to Uptown.

According to a report by the OECD’s International Transport Forum, Canada is among only seven industrialized nations where pedestrian deaths are on the increase <sup>(4)</sup>. Children are disproportionately likely to be hit by vehicles because they are easily distracted and do not always pay attention, they cannot always see cars coming due to their size, and they do not have the perceptual abilities to always be able to accurately judge the speed vehicles are travelling. And because children are smaller, they are more likely to sustain fatal injuries when they are hit <sup>(5)</sup>. Pedestrian and cycling accidents typically occur in areas where drivers are going at high speeds (children are three times as likely to get hit by a car when traffic speeds exceed 40 km an hour<sup>(5)</sup>) and we know that vehicles are moving quickly in the areas around

Highway 1 and 30<sup>th</sup> Street NE. The increasing densification and construction of many new homes relatively near these intersections including Maplewoods, Lambs Hill, Joy Acres, the approved 16-unit housing development at 700 30<sup>th</sup> St NE and the likely future development of townhouses on 20<sup>th</sup> Ave NE near 30<sup>th</sup> and condos and townhouses around the Uptown Askew's with a new subdivision below, creates a strong justification for the City of Salmon Arm to invest more in walking and biking infrastructure along the main routes to nearby Broadview area schools.

We aren't professional traffic specialists but we do have some different ideas that we have listed below for possible steps to be taken to slow traffic and improve the pedestrian and cycle safety of these intersections. These ideas are drawn from the 2019 BC Transportation Guide "British Columbia Active Transportation Guide" and Jeff Speck's 2018 book *Walkable City Rules: 101 Steps to Making Places Better* <sup>(6,7)</sup>. We think it is important that the City of Salmon Arm engage in a community consultation process to incorporate the unique knowledge of parents, local residents, school board representatives and other stakeholders before any plans for safety improvements are fully developed <sup>(8)</sup>. We have not included roundabouts in our suggestions as from what we have read about roundabouts, although better than no traffic calming at all, are not always the best option for pedestrians and cyclists <sup>(7)</sup>.

- removal of the slip lanes at the highway intersection
- reduction of highway speed limits leading to the intersection at Highway 1 and 30<sup>th</sup> from 70 km/hr to 50 km/hour
- installation of 4-way stops with crosswalks and bump-outs/neckdowns
- installation of a pedestrian island
- narrowing of the street on 30<sup>th</sup> with trees planted to act as a buffer between the street and the sidewalk
- installation of speed bumps and speed bump crosswalks like the ones near Fletcher Park
- the creation of bike lane along 30<sup>th</sup> Street
- removal of the pedestrian countdown clock on the highway as these are shown to encourage drivers to speed to beat the light
- addition of more time on the pedestrian signal light to give walkers and cyclists more time to cross
- construction of a pedestrian overpass or underpass connecting the Shaw Centre arena to SASCU/Uptown Askew's
- addition of more RCMP coverage on the highway to ticket vehicles speeding near the highway 1 intersection at 30<sup>th</sup> Street NE
- installation of red-light cameras and speed cameras

The pedestrian underpass near Yan's restaurant is a great active transportation asset that some of our children walk through to get to Bastion Elementary and elsewhere. However, for many families the positioning of our homes makes the pedestrian underpass too far out of the way for it to be a realistic route to the Salmon Arm Secondary School (Sullivan campus) and the Shuswap Middle School. Public health research indicates that pedestrians and cyclists will usually take the most direct route to their destination even if this may not be the right decision from a safety perspective <sup>(9)</sup>. Teenagers are especially unlikely to take a significant detour down to the pedestrian underpass near Yan's as this age group tend to be less risk averse than the general population. A study completed in 2012 found that the death of pedestrians ages 14-19 was twice that of younger children<sup>(10)</sup>, which is concerning given that many youth in this age range cross the Tank Hill and nearby intersections to reach the Salmon Arm Secondary Sullivan campus.

We believe that engaging in a community consultation process and then implementing pedestrian and cyclist safety measures along the primary walking routes to Broadview area schools with a particular focus on the four intersections along 30<sup>th</sup> and the intersection at the 20<sup>th</sup> Avenue NE and 24<sup>th</sup> Street would reduce the risk of more tragic accidents involving children and youth and others. Safety improvements at these intersections would also be beneficial to our community because they would encourage more individuals and families living in the surrounding neighborhoods to walk and bike to



school <sup>(11)</sup> and other nearby destinations. Walking and biking is beneficial for many reasons including mental and physical health, the environment, and building strong community connections between neighbours who are more likely to smile or say hello if they are out and about walking or biking instead of travelling by car <sup>(7)</sup>. Encouraging more children and youth to walk to school would also help ease the increasing difficulty schools in our district have with traffic congestion and parking lots that were designed at a time when more children rode their bikes and walked to school <sup>(12)</sup>

We appreciate your consideration and hope that Mayor and Council will approve our request. We feel that addressing these dangerous intersections in a meaningful way will improve the liveability of our community by serving the existing residents and by attracting new residents, especially young families who value safety and walkability when deciding where to live. <sup>(13)</sup> If there are already plans to make significant safety improvements at these intersections, we would love to receive information about this.

Thank you for your continued dedication to Salmon Arm and support for making our community a wonderful place for families.

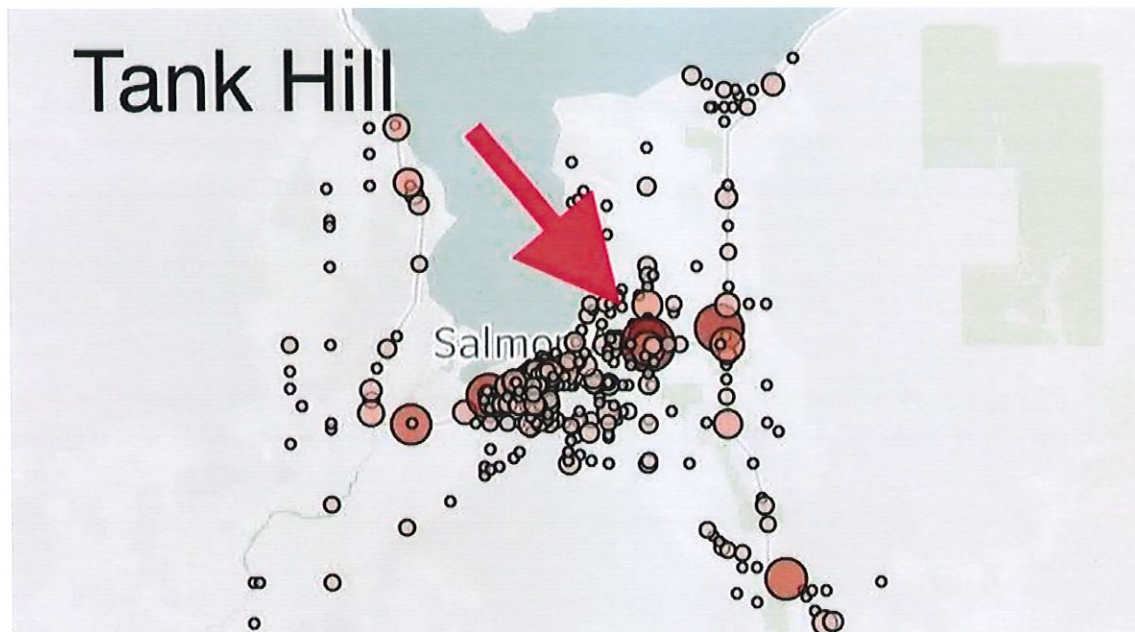
Respectfully,

Claire Askew and Cole Robillard  
Dr. Nadia Widmer and Dr. Callum Reid  
Lindsay Larson  
Dr. Lori Adamson and Jamie McEachern  
Cory Morrison and Christina Fraser  
Serena Caner  
Samuel and Naomi Sartorius  
Melanie Bennett  
Dr. Jeremy and Tamara Sawatzky-Martens  
Amber Greenwood and Brady Magneson  
Dr. Andrea Rose and Dr. Brook Glanville  
Dr. Kristy Chu and Dr. Brandon Schiffner  
Terri and Mark Mason  
Dr. Elizabeth Watson and Dr. David Shoesmith  
Jesse and Dusty Henry  
Dr. Emily Osmond and Dr. Stefan Widmer  
Bobby and Harlan Anderson  
Dr. Elizabeth Willms and Daniel Hughes  
Austin Mueller  
Julie and Roger Parenteau  
Dr. Brian and Jennifer Broadwell  
Margo and Rob Padgham  
Lorraine Bose  
Dr. Daphne Brown  
Dr. Alyson Stone and Dr. Richard Currie  
Eric and Melanie Penner  
Marta Bukmeier  
Joshua and Sylvia Meikle  
Dr. Kim and Emily Klapstein  
Bree and Raegan Petch  
Paul Lefebvre  
Bob Nodelyk and Astrid Varnes

Daniela Widmer and Damien McCombs  
Fiona and Dave Fleming

## Sources

- (1) City of Salmon Arm Greenways Strategy (2011) pg. 12  
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- (2) Tableau Public ICBC DATA Accessed Feb 18 2022, updated April 2021 by ICBC  
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- (5) Herbert, Wray. "Why kids get hit by cars" (2011)  
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<file:///C:/Users/caskew/Documents/Active%20Transportation/Highway%20Intersection/S2352146517307032.htm>
- (10) "New Study Finds Teenagers at Greatest Risk for Pedestrian Injuries" (2012) <https://www.safekids.org/press-release/new-study-finds-teenagers-greatest-risk-pedestrian-injuries#:~:text=Teens%20Are%20Now%20Most%20At,percent%20of%20child%20pedestrian%20injuries>
- (11) "Factors Influencing Whether Children Walk to School" (2013) Health Place  
<https://www.ncbi.nlm.nih.gov/pmc/articles/PMC4363112/>
- (12) School District No.83 Long Range Facilities Plan Consultation Meeting (February 13, 2020) at the DESC. It was noted at this meeting by superintendent Peter Jory that at the time that Salmon Arm school parking lots were designed many more students walked and rode their bikes to school, which is the reason that Salmon Arm school parking lots are now experiencing congestion issues.
- (13) Roman, Zachary. (Feb 10 2022). "'Grow and prosper': Salmon Arm mayor gives state of the city address".  
<https://www.saobserver.net/news/grow-and-prosper-salmon-arm-mayor-gives-state-of-the-city-address/>



These ICBC maps of crashes taking place between 2016-2020 in Salmon Arm provide a visual of the high danger level of the Tank Hill intersection and the two flanking intersections at Eleventh Avenue NE and 30th, near Setters and McDonald's; and Ninth Avenue NE and 30th, near the uptown Tim Hortons.



On Mar 8, 2022, at 10:16 AM, Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)> wrote:

Hello Carolyn,

Firstly, welcome to Salmon Arm! I know it is not easy to find attainable housing in the Shuswap area. Our Housing Task force is working to try and implement strategies from our recently completed Housing Plan.

I appreciate your comments regarding seasonal holiday rentals. Certainly this is an area communities are looking into.

Are you comfortable with me sharing your letter? It could be placed on our Informational correspondence, which would be a public venue, allowing Council to engage on the topic.

Sincerely,  
Alan Harrison  
Mayor, City of Salmon Arm

-----Original Message-----

From: Carolyn McDougall <[REDACTED]>  
Sent: March 8, 2022 7:27 AM  
To: Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>  
Subject: [External] Housing

Dear Mayor Alan

I am certain you have heard on this topic many times. Even so I thought I would add my voice. Right now affordable housing is very hard to come by. I am thankful that my husband and I had a year to search for a home. During that search multiple "seasonal" rentals popped up that were only available in the off season because they are holiday rentals in the summer. There are many homes and suites that lie empty or are used for rental to tourists while those trying to make Salmon Arm their home cannot. A family I worked with ended up moving back to Alberta another family back to Ontario because of their lack of ability to find a home here.

It has been sad to watch people have to leave.

Is there anything that can be done?

Thank you  
Carolyn Holowachuk

**From:** Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>  
**Sent:** Wednesday, March 9, 2022 8:21 AM  
**To:** Carolyn McDougall [REDACTED]  
**Cc:** Erin Jackson <[ejackson@salmonarm.ca](mailto:ejackson@salmonarm.ca)>  
**Subject:** Re: [External] Housing

Thank you Carolyn, for taking the time to communicate with us.

We will include your correspondence on our March 14, Informational Correspondence section.

We appreciate your input.

Sincerely,

Alan Harrison  
Mayor,  
City of Salmon Arm

---

**From:** Carolyn McDougall <[REDACTED]>  
**Sent:** March 8, 2022 10:28 PM  
**To:** Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>  
**Subject:** Re: [External] Housing

Thank you for your kind response.

Yes, I would be willing for the email to be shared. Also, I want to note, that I am so very thankful for the work that you and the city council do, these past years have not been easy. I am sure there has been many concerns that people have brought before you and still you are able respond with kindness, thank you.

Many blessings.  
Carolyn Holowachuk

**Barb Puddifant**

---

**From:** [REDACTED]  
**Sent:** Tuesday, March 8, 2022 9:00 AM  
**To:** Barb Puddifant  
**Subject:** [External] Shuswap Vintage Car Club car show

Re: The Shuswap Vintage Car Club annual car show in the park.

Hi Barb

Erin Jackson suggested I send this letter to you in regards to the Shuswap Vintage Car Club car show. According to her, it must now be addressed at city council.

The Shuswap Vintage Car Club (a non-profit society) has hosted a car show at the park at the wharf for many years, with the exception of the last 2 years due to covid restrictions.

This year we hope to bring back the car show, albeit toned down a bit as we won't be able to provide the prizes and awards we have had in previous years.

Our car show, as many others throughout the Okanagan/Shuswap/Kamloops areas has been extensively advertised in local media and word of mouth in years past. Because of this we

have had substantial attendance of all types of classic cars not just locally, but from throughout the aforementioned areas.

Local businesses have benefitted from the influx of car show attendees who enjoy the restaurants and many shops and services Salmon Arm has to offer.

We have always had the show on the second Saturday in July. This year that day is July 9<sup>th</sup>. Donna Flatman tells me there are no other events scheduled for that date this year.

There has been a need for electricity in past which we won't need this year. The concession in the park has been open for food services.

City crews move the concrete barriers aside and mark the sprinklers. The club sets up for the event early in the morning and usually all participants have left by around 3:00 PM.

Salmon Arm has enjoyed the show for many years and we hope to bring it back this year, and hope we to have your approvals.

Yours truly

Mike Vroom for the Shuswap Vintage Car Club.



Girl Guides of Canada  
c/o [REDACTED]  
[REDACTED]

March 8, 2022

City of Salmon Arm,  
500 – 2<sup>nd</sup> Ave NE  
Salmon Arm  
V1E 4N2

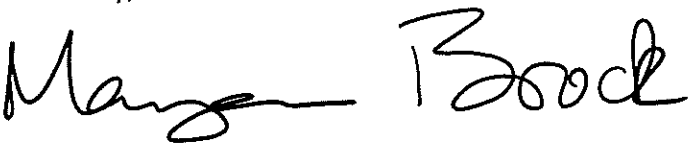
Dear Mayor and Council:

We are writing to request support from the city for our girls to earn some money to help fund their activities. The youth learn a lot by fundraising themselves for activities in which they participate, it helps build confidence and gives them a sense of accomplishment & self-worth.

In previous years (before the pandemic), we were given the opportunity to do roadside clean-up for the city. The girls worked really hard at this, and I believe, did a great job.

We are requesting that the city offer us this opportunity again. Previously the city provided the garbage bags, some High-Vis vests and arranged for the pick-up of the full bags once the clean-up was completed. We are willing to do whichever road/area assigned (keeping the safety of the girls paramount). Wherever you feel would be most appreciated/needed would be wonderful by us, we are hopeful there might be 6-10 Km stretch (or a couple of different stretches).

Sincerely,



Maryann Brock

Girl Guide Leader & District Commissioner  
Salmon Arm  
[REDACTED]



March 9, 2022

Mayor Alan Harrison and Council  
City of Salmon Arm  
Box 40  
Salmon Arm, BC V1E 4N2

RE: Letter of Support for Salmon Arm Pride Project

Dear Friends,

The Arts Council has been an annual recipient of BC Direct Access funds for many years. This year, plans are to request an increase in program funds specifically to manage the Salmon Arm Pride Project. After two years, this project qualifies for funding, yet increases in Direct Access funding are difficult to attain. The Arts Council needs to justify the increase through evidence of community benefit.

This is to request a letter of support from the City of Salmon Arm for the Salmon Arm Pride Project. In the letter, we ask that you consider the overall community impact of this program in promoting awareness and acceptance of the 2SLGBTQ+ community through the visual, performing and literary arts. Both the Arts Council and the City of Salmon Arm have prioritized inclusivity and diversity goals over the past few years, and recognize the change we've seen in Salmon Arm in that short period of time. This letter of support from City Council will be a significant message to BC Direct Access that the Pride Project is an important part of those changes.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Kutschker".

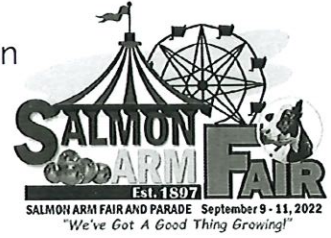
Tracey Kutschker, Director/Curator  
on behalf of the Board of Directors  
Shuswap District Arts Council



The Salmon Arm and Shuswap Lake Agricultural Association

## SALMON ARM FAIR- September 9-11, 2022

351 – 3<sup>rd</sup> Street SW, Salmon Arm BC V1E 1V4  
Ph. 250-832-0442 [www.salmonarmfair.com](http://www.salmonarmfair.com)



March 7, 2022

Robert J. Niewenhuizen  
Director of Engineering and Public Works  
City of Salmon Arm  
Box 40 500-2<sup>nd</sup> Ave NE  
Salmon Arm, BC. V1E 4N2

### RE: NOISE BYLAW EXTENSION REQUEST

Dear Mr. Niewenhuizen:

The Salmon Arm Fair is planning a Canada Day CountryFest to be staged at the north Salmon Arm Fairgrounds. The Fair organizers will be partnering with local organizations, such as Rotary, to host this adult event. We plan for this to be an annual event and incorporate a daytime children's music festival in the future.

The set up on the north fairgrounds will be similar to the stage setup during the September Fair. Included will be portable toilets, food concessions, security tent, beer serving tent. We expect 1000 guests for this event. We have a security and safety plan in place.

We plan to have live music and a DJ performing for guests and respectfully request an extension to the noise bylaw for this event until 1:00am Saturday, July 2<sup>nd</sup>, 2022.

Live music and a DJ would be from 6pm to 12:00am; the DJ would be directed to play "wind down" soft music while patrons make their way out of the fairgrounds from 12:00 a.m. to 1:00 a.m..

Please feel free to contact me with any questions or concerns.

Sincerely,

  
Jim McEwan  
Salmon Arm Fair manager  
[fair@salmonarmfair.com](mailto:fair@salmonarmfair.com)



## Barb Puddifant

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**From:** Grace Nichol - [REDACTED]  
**Sent:** Tuesday, March 8, 2022 7:38 AM  
**To:** Barb Puddifant  
**Subject:** [External] Request to conduct tick research at two sites in Salmon Arm

Good morning Barb,

Thank you for your call yesterday. I am emailing as requested to provide a written description of my research project. The sites we are interested in visiting in Salmon Arm are Little Mountain Park and Gayle Creek Loop.

Our research project investigates the range expansion of ticks in western Canada. Specifically, *Dermacentor* species ticks are believed to be undergoing significant range expansion, and it is believed that the ranges of the American dog tick (*Dermacentor variabilis*) and the Rocky Mountain wood tick (*Dermacentor andersoni*) may now overlap in some areas of British Columbia. These ticks can carry pathogens of human and animal health significance.

We (myself and one other researcher) will be looking for these ticks at selected sites across British Columbia using a method called tick dragging. This involves dragging a 1 metre by 1 metre flannel cloth along the ground and across vegetation. We will cover a total area of 2000 metres squared at each site. We will be prioritizing tick dragging in areas with long grasses and shrubbery, since that is the preferred habitat of these ticks. We will also measure soil moisture using a soil moisture meter. We will conduct our tick dragging near trails, minimizing any impacts to other areas of the sites. Additionally, since ticks can pose a threat to human and animal health, dragging near trails gives us a better representation of potential risk to humans and animals from ticks. I am well-trained in tick identification, which greatly reduces the risk of capturing other small insect/arachnid species that resemble ticks. We will be removing collected ticks from the sites for species identification and/or pathogen testing. We will also wear tick dragging suits, use a fresh flannel tick dragging blanket, and take any garbage with us.

We would share the results of our research project with you as soon as they are available to us.

Please let me know if there is any other information I can provide or if there is anything I can clarify. I look forward to hearing from you.

Thank you,

Grace

--

Grace Nichol  
PhD Candidate  
Department of Population Medicine  
Ontario Veterinary College | University of Guelph

**From:** Kat Perez <[kperez@parkinson.bc.ca](mailto:kperez@parkinson.bc.ca)>

**Sent:** March 3, 2022 1:39 PM

**To:** Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>

**Subject:** [External] Parkinson's Awareness Month 2022 Proclamation Request - City of Salmon Arm

Dear Mayor Alan Harrison,

**April is internationally recognized as Parkinson's Awareness Month** and I am hoping that the City of Salmon Arm will join with other communities across Canada and issue a proclamation declaring April 2022, Parkinson's Awareness Month. Your proclamation would assist us with one of our major goals—to increase public awareness of this devastating neurological disorder.

Parkinson's disease (PD) is the second most common degenerative neurological disorder after Alzheimer's, but it receives significantly less attention. It is cruel and unforgiving, causing tremors, rigidity, instability, speech difficulty, and in some cases, depression, anxiety, and dementia. Contrary to popular belief, Parkinson's is not exclusively diagnosed in the senior population. It can affect individuals of all ages and genders, including those in their early twenties, with young children, and at the height of their careers. The debilitating effects of Parkinson's are felt not only by the person with the disease, but their entire family and the broader community. There is currently no known cure.

It is estimated that 15,000 people in British Columbia, 100,000 in Canada, and one million in the US live with PD. The worldwide incidence of Parkinson's disease is expected to double by 2040.

I have taken the liberty of enclosing an outline for the proclamation and I thank you in advance for considering this request.

Sincerely,

**Kat Perez**

*Community Engagement Assistant*

Parkinson Society British Columbia

600 - 890 West Pender Street | Vancouver, BC V6C 1J9

604 662 3240 ext. 277 | 800 668 3330 | [www.parkinson.bc.ca](http://www.parkinson.bc.ca)

Connect with us!



**STAY CONNECTED TO THE  
PARKINSON'S COMMUNITY**

Renew your membership with Parkinson Society  
British Columbia and continue to be part of our  
friendly, caring, and supportive community.

**RENEW TODAY**

## DRAFT PROCLAMATION

### *PARKINSON'S AWARENESS MONTH*

WHEREAS Parkinson's disease, for which there is no known cause or cure, is a progressive, degenerative neurological disorder which causes tremor or trembling of the arms and legs, muscular rigidity, slowness of movement, and difficulty with speaking and swallowing, and

WHEREAS Parkinson's affects approximately 15,000 adults in the Province of British Columbia, and

WHEREAS Parkinson Society British Columbia is providing information, consultation, support services and educational seminars for people with Parkinson's and their families; and is promoting a better understanding of this disorder, and

WHEREAS it is desirable to increase the level of understanding of Parkinson's and the needs of persons living with Parkinson's;

NOW, KNOW YE THAT We do by these presents proclaim and declare that April 2022 shall be known as

**"Parkinson's Awareness Month"**

in the City of Salmon Arm

...



**From:** Cheryl Dean <[cdean@gbscidp.ca](mailto:cdean@gbscidp.ca)>  
**Sent:** March 7, 2022 9:56 PM  
**To:** Alan Harrison <[aharrison@salmonarm.ca](mailto:aharrison@salmonarm.ca)>  
**Subject:** [External] GBS/CIDP Foundation of Canada Proclamation Request

My name is Cheryl Dean and I am a BC Liaison and GBS Survivor with the GBS/CIDP Foundation and have been a member since 2008. As a Liaison, part of my role and the role of the other Liaisons is to support patients with GBS/CIDP and their variants, in and out of hospitals in the City of Salmon Arm area. If it was not for Covid, we would be holding in-person events like support group meetings and Walk & Roll events. Until we get back to our in-person support group meetings, we are offering virtual support group meetings approximately every 3 months (our next support group meeting is tentatively booked for May 29, 2022). We have multiple liaisons in BC and we continue to support our patients and their families virtually or by phone, by email and by text. The Foundation Medicals Advisory Board includes prominent Neuromuscular Specialists across Canada including Dr. Kristine Chapman, who practices out of the Vancouver General Hospital. The GBS/CIDP Foundation of Canada continues to support and educate patients and families upholding our Mission and Vision which can be found on the accompanying Tri-fold.

I have attached the Tri-fold, along with a Proclamation Request.

Please contact me with any questions or concerns you may have regarding the Salmon Arm City Council approving this proclamation.

***Cheryl Dean,***  
***GBS/CIDP Liaison***



# GBS/CIDP Foundation of Canada

Guillain-Barré Syndrome/Chronic Inflammatory Demyelinating Polyneuropathy  
Support, Education, Research, Advocacy

## Honorary Board

Larry Brenneman (*deceased*)  
Tom Feasby, MD  
Susan Keast  
Serge Payer  
Kenneth Shonk, MD

## Executive Director

Donna Hartlen

## Officers

Darryl Bedford  
*President*  
Howard Huss  
*Treasurer*

## Board of Directors

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Pierre Bourque, MD  
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Colin Chalk, MD  
Kristine Chapman, MD  
Angela Genge, MD  
Gillian Gibson, MD  
Angelika Hahn, MD  
Hans Katzberg, MD  
Kurt Kimpinski, MD  
Rami Massie, MD  
Elizabeth Pringle, MD  
Zaeem Siddiqi, MD  
Jiri Vajsar, MD  
Chris White, MD  
Douglas Zochodne, MD

March 5, 2022

City of Salmon Arm City Council  
500 – 2<sup>nd</sup> Avenue, N.E., Box 40  
Salmon Arm, B.C.  
V1E 4N2

Dear Mayor Alan Harrison:

We are writing to respectfully request that the city of Salmon Arm proclaim May 2022 as GBS/CIDP Awareness Month. The Month of May, has been internationally designated as "GBS and CIDP Awareness Month" to educate the public and to focus attention on these rare conditions. The GBS/CIDP Foundation of Canada is a national, not for profit patient organization that supports patients and families afflicted with Guillain-Barré Syndrome, Chronic Inflammatory Demyelinating Polyneuropathy, and variants such as Multifocal Motor Neuropathy. We serve patients through support, education, research and advocacy.

GBS has a sudden onset of symptoms, which can cause complete paralysis within a day. Recovery can be unpredictable, patients and their families face an uncertain future, usually requiring months of hospital care without knowing if or when they will recover, or whether they will face long-term disabilities. Earlier diagnosis, treatment, and access to rehabilitation services can improve the chances of avoiding permanent lifelong residual damage of the nerves. The cause of these conditions is unknown, and can develop in any person, regardless of age, gender or ethnic background

We are working to raise awareness of these rare conditions so that future patients get help sooner and will know that our organization is here to provide hope. We provide support and information through trained volunteers, our website, materials provided to hospitals, and organize local and online peer-to-peer support group meetings. We provide patient educational events and build awareness within the medical community. We advocate for access to diagnosis and appropriate treatment, and also support Canadian research that aims to improve the quality of life of GBS, CIDP, and MMN patients.

While considered rare diseases, in Canada GBS affects 2 in 100,000, and in Zika outbreaks 9-24 in 100,000. CIDP affects 5-7 in 100,000. For more information: [www.gbscidp.ca](http://www.gbscidp.ca)  
Please let us know if there is anything further you require for our proclamation request to be approved for this year and for subsequent years.

Please see the attached email or application from Cheryl Dean. Cheryl is a GBS survivor and is our lead BC liaison. She is supporting patients in your community.

Thank you for your consideration.

Kim Brooks  
Patient Advocate & Volunteer Coordinator  
[kbrooks@gbscidp.ca](mailto:kbrooks@gbscidp.ca)  
1-403-510-3170  
[www.gbscidp.ca](http://www.gbscidp.ca)

Canadian charity registration number: 887327906RR0001

3100 Garden Street, PO Box 80060 RPO Rossland Garden, Whitby, Ontario, L1R 0H1

PH:1-647-560-6842 [gbscidp.ca](http://gbscidp.ca)



#### Mission :

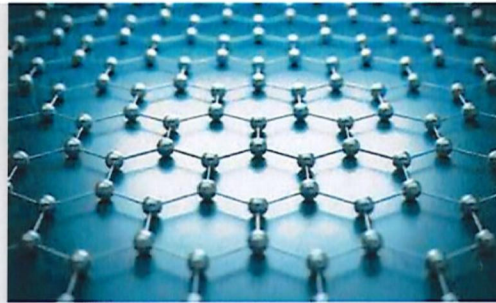
To engage in advocacy, including treatment access, (at the federal, provincial and grassroots levels) to improve the quality of life for individuals and families affected by GBS, CIDP, or variants such as MMN.

#### Vision :

Every person affected by GBS, CIDP, or variants such as MMN, will have access to early and accurate diagnosis, expert interdisciplinary treatment and support, and through continued research, a cure will be developed.

**GBS/CIDP Foundation of Canada** is a registered Canadian charity. Our foundation is made up of trained caring volunteers who have had GBS, CIDP, and variants, who are dedicated to the support of our patient community in hopes that no patient goes through these disorders alone.

If you or someone you know would like more information, please contact the foundation. Medical professionals are welcome to contact us for literature and to get more information on how to connect your patients with the foundation.



*For more information, please contact:*

*Support • Education • Research  
• Advocacy*



GBS/CIDP Foundation of Canada  
3100 Garden Street  
PO Box 80060 RPO Rossland Garden  
Whitby, ON L1R 0H1

1(647) 560-6842  
[info@gbscidp.ca](mailto:info@gbscidp.ca)  
[www.gbscidp.ca](http://www.gbscidp.ca)

*The foundation is extremely fortunate to have the commitment and expertise of dedicated neurologists that are on our Medical Advisory Board. For a list, visit [www.gbscidp.ca](http://www.gbscidp.ca).*

Find us on :



Charity Registration: 887327906RR0001

**Guillain-Barré Syndrome**

**Chronic Inflammatory  
Demyelinating  
Polyneuropathy**

**Multifocal Motor Neuropathy**

**Miller Fisher Syndrome &  
variants**





### Guillain-Barré Syndrome (GBS)

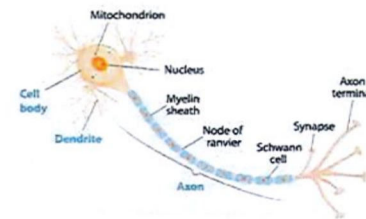
is an inflammatory disorder of the peripheral nerves, those outside the brain and spinal cord. Rapid onset of weakness and often paralysis of the legs and arms within a few weeks of onset accompany this disorder. Back pain or pain in the extremities as well as numbness and tingling can also be part of the initial presentation. Patients during early days of onset may require intensive care to monitor breathing and other body functions. Rehabilitation helps during the recovery phase, which can take months or even years. GBS can affect any person, at any age, of either gender, or any ethnic background. **Miller Fisher Syndrome (MFS)** is a variant of GBS which also presents rapidly and affects the peripheral nerves. However, MFS more commonly causes unsteadiness and imbalance and affects the eye muscles causing double vision, visual blurring or droopy eyelids.



#### Treatments :

- High dose of intravenous immunoglobulin (IVIG)
- Plasma Exchange

**Chronic Inflammatory Demyelinating Polyneuropathy (CIDP)** is an inflammatory disorder of the peripheral nerves. There is increasing weakness as well as numbness and tingling of the legs and arms that can develop over a period of a few months and symptoms continue if untreated. It is caused by damage to the covering of then nerves, called myelin. If treated early and aggressively, therapies can limit the damage to the nerves and contribute to a better quality of life. Like GBS, CIDP can start at any age, and with either gender.



### Acquired Motor Sensory Neuropathy (AMSAN),

also known as Lewis Sumner Syndrome is often considered a variant of CIDP. It shares many features with CIDP but typically has a more asymmetric (more side to side differences), and multifocal (specific areas affected) presentation compared to patients with CIDP.

#### Treatments :

- Immunotherapies, (IVIG, SCIG)
- Plasma Exchange
- Prednisone
- Immunosuppressives

### Multifocal Motor Neuropathy (MMN)

is an inflammatory nerve disease affecting the myelin sheath, or the insulation of nerves, similar to CIDP and GBS. It typically has a slow course over many years and affects the arms with weakness in the muscles that bend the fingers, however any nerve and muscle group can be affected. On nerve testing (EMG), "blocking" of the responses to the nerves that go to the muscles is seen. Sometimes, antibodies to a molecule called GM1-ganglioside are present and can be detected with additional testing. This can help with the diagnosis.

#### Treatments :

- Immunotherapies, such as IVIG
- Plasma Exchange
- In contrast to CIDP, MMN is not usually responsive to medications such as prednisone or other immunosuppressives

#### Services Available :

- Hospital visitation by knowledgeable volunteers
- Telephone support
- Local support group meetings
- Educational material
- Names of physicians specializing in the disorders
- Educational presentations
- Newsletters
- National & Regional Conferences
- Research funding
- Patient advocacy
- Awareness events
- Patient stories



### Proclamation

WHEREAS, The Month of May, has been internationally designated as "GBS and CIDP Awareness Month" to educate the public and to focus attention on Guillain-Barré Syndrome (GBS) and Chronic Inflammatory Demyelinating Polyneuropathy (CIDP), rare, paralyzing and potentially catastrophic disorders of the peripheral nerves; and

WHEREAS Guillain-Barré Syndrome (GBS), Chronic Inflammatory Demyelinating Polyneuropathy (CIDP), and their variants such as Multifocal Motor Neuropathy (MMN), are rare conditions which are paralyzing and potentially catastrophic inflammatory disorders of the peripheral nerves, which can be characterized by rapid onset of weakness and, often, paralysis of the legs, arms, breathing muscles and face, in some cases leading to complete paralysis and requiring life-sustaining hospital care, and

WHEREAS the cause of GBS, CIDP, and MMN is unknown, and these conditions can develop in any person, regardless of age, gender or ethnic background, and

WHEREAS GBS, CIDP, and MMN have a slow and unpredictable recovery, patients and their families face an uncertain future, usually requiring months of hospital care without knowing if or when they will recover, or whether they will face long-term disabilities. Earlier diagnosis, treatment, and access to rehabilitation services can improve the chances of avoiding permanent lifelong residual damage of the nerves, and

WHEREAS in 2003, GBS/CIDP Foundation of Canada, a patient organization providing support, education, research, and advocacy, was founded so that no patient or family would go through GBS, CIDP, MMN or their variants alone.





**From:** Media <Media@interiorhealth.ca>  
**Sent:** Wednesday, March 2, 2022 10:01 AM  
**To:** \_\_Media All (Restricted)  
**Subject:** [External] Information Bulletin: New locations for COVID-19 vaccine clinics in the Interior  
**Attachments:** new-locations-for-covid-19-vaccine-clinics-in-the-interior.pdf



## **INFO BULLETIN**

**For Immediate Release | March 2, 2022**

# **New locations for COVID-19 vaccine clinics in the Interior**

**IH WIDE** – As COVID-19 vaccination rates continue to increase, Interior Health (IH) plans to streamline its immunization campaign with new clinic locations. Over the coming weeks, the COVID-19 vaccine appointments will move from mass immunization clinics to pharmacies and IH health centres.

"Together with our community partners, we continue to achieve excellent COVID-19 vaccine deployment across the Interior region," said Susan Brown, Interior Health president and CEO. "We are grateful for their support and will continue to work with them as needed, including the BC Pharmacy Association, to provide access to vaccines."

People who have not yet received COVID-19 vaccines, including boosters, or pediatric vaccines for children age five to 11, will continue to have many options to book appointments. Children five to 11 can get their vaccines at local IH clinics, and people age 12 and older can get vaccines at participating pharmacies in their community. Currently, more than 90 pharmacies across the Interior region have appointments available for COVID-19 vaccines.

"I would also like to thank the many community volunteers who came forward to assist our immunization efforts across the region," added Brown. "From retired health care workers who volunteered as way finders, to parking attendants and therapy dog handlers, thank you all for your support as we delivered a historic immunization campaign, together."

Interior Health will provide ongoing opportunities, such as regular and pop-up clinics, for all eligible ages in rural and remote communities where access to pharmacies is limited.

This transition from larger clinics to pharmacies and health centres comes as 91 per cent of British Columbians age five and older have received one dose of the COVID-19 vaccine, 86 per cent have received two doses, and 51 per cent have received three doses.

"During this transition, it's still important for people to continue to get these vaccines when they are eligible," said Dr. Sue Pollock, interim chief medical health officer. "This means getting younger age groups their primary series of the vaccine or the booster doses for people age 12 and older to strengthen and maintain their immunity. These steps will reduce the spread of the virus in our communities and disruptions to our lives as a consequence. Most importantly, these vaccines are highly effective against severe disease and hospitalization."



Parents and guardians can continue to register their children age five to 11 at [www.getvaccinated.gov.bc.ca](http://www.getvaccinated.gov.bc.ca) or call 1-833-838-2323. Children are eligible for registration on or after their fifth birthday. Children will be invited to get their second dose eight weeks after their first dose.

People age 12 and older will get an invitation to book their booster appointment six months from the date of their second dose. People age 12 and older who have not yet received their first or second dose can drop in at IH clinics.

For more information on getting COVID-19 vaccines, including a list of all Interior Health COVID-19 immunization clinics and other resources, visit:

<https://www.interiorhealth.ca/health-and-wellness/disease-outbreaks/covid-19>.

- 30 -

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**We recognize and acknowledge that we are collectively gathered on the traditional, ancestral, and unceded territories of the seven Interior Region First Nations. This region is also home to 15 Chartered Métis Communities. It is with humility that we continue to strengthen our relationships with First Nation, Métis, and Inuit peoples across the Interior.**

**MEDIA, FOR INFORMATION:**

PHONE 1.844.469.7077 EMAIL [media@interiorhealth.ca](mailto:media@interiorhealth.ca)



## Barb Puddifant

---

**From:** southern interior local government <yoursilga@gmail.com>  
**Sent:** Monday, February 28, 2022 7:56 AM  
**To:** becky harmata; Barb Puddifant; Cheryl Hardisty; Christy Malden; City Of Armstrong; City Of Enderby; City Of Kelowna; City Of Merritt; City of Penticton; City Of Revelstoke; Barb Puddifant; City of Vernon; Collette Beggs; crystal Gelineau; CSRD; District Of Barriere; District Of Clearwater; District Of Coldstream; District of Lake Country ...; District Of Lillooet; District Of Logan Lake; District Of Peachland; District of Sicamous; District of Summerland; District Of West Kelowna; info-rdco; Jaleen Rousseau; John Thomas; katie soltis; kelly bennett; Kelly McIntosh; linda brick; Marg Coulson; Maria Doyle; Melany Helmer; Melisa Miles; Murray daly; polly palmer; RDNO; RDOS; SLRD; Sun Peaks Resort Municipality; Tasha Buchanan; TNRD; Tom Kadla; Toni Boot; Town Of Oliver; Town Of Osoyoos; Town Of Princeton; Township Of Spallumcheen; Trevor Seibel; Village Of Ashcroft; Village Of Cache Creek; Village Of Chase; Village Of Clinton; Village Of Keremeos; Village Of Lumby; Village Of Lytton  
**Cc:** Lori Mindnich  
**Subject:** [External] 2022 SILGA Nomination Report  
**Attachments:** 2022 SILGA Nomination report.pdf

Good morning,

Please forward the 2022 SILGA Nomination Report to all elected officials.

Currently there are only six elected officials who have put their name forward for the seven director positions. If you are interested in running for the board, nominations from the floor will be accepted at this SILGA AGM. Voting will take place on Thursday April 28th.

If you have any questions, please contact either Lori Mindnich ([lorideann2@gmail.com](mailto:lorideann2@gmail.com)) or Alison Slater ([yoursilga@gmail.com](mailto:yoursilga@gmail.com)).

Thanks, Alison

--

Alison Slater, BComm, CFP, ARCT  
General Manager  
PO Box 27017 Cityview PO  
Kamloops, BC V2E 0B2  
250-851-6653  
[www.silga.ca](http://www.silga.ca)

# 2022 SILGA Nominating Committee Report

2022 SILGA  
AGM & CONFERENCE  
All Together Now



Presentation of the results of a call for nominations for  
the Southern Interior Local Government Association



## **Nominations**

### **1. Appointment of Nominations Committee**

(up to 3 members, to include the Past President, who will be chair)

**Responsibility:** President

**Completion Guideline:** 60 days before convention

### **2. Call for Nominations** sent to the membership

**Responsibility:** Nominations Committee Chair

### **3. Nominations to be received** by the Nominations Committee Chair, who consults with the Nominations Committee and prepares the Nominations Report with photographs and biographies.

**Responsibility:** Nominations Committee

**Completion Guideline:** 2 months before convention

### **4. Forward the Nominations Report** to the Host Committee for inclusion in the delegate binders.

**Responsibility:** Nominations Committee

**Completion Guideline:** 1 month before convention

**NOTE:** If, at the close of the annual convention, there are not sufficient members elected to the Executive to constitute a quorum, the local government who has the President as one of its members shall be responsible to find sufficient members to serve on the Executive. If there is no President, the local government currently responsible for providing administrative arrangements to the Executive shall have the responsibility to find sufficient members to serve.

**NOTE:** In addition to the above mentioned, nominations can still come from the floor as has always been provided.

## **TO BE ELECTED**

All positions are for a one year term and those presently serving may run for another term if they so wish, except for the President who can only serve for two consecutive terms.

Offices to be filled are for President, 1st Vice-President, 2nd Vice-President and seven Directors, one of who must be an Electoral Area Director of a Regional District.

The Nomination Committee was formed under the bylaws and executive procedures of the SILGA Constitution.

**Past President Lori Mindnich, Village of Lumby**  
**Alison Slater, SILGA General Manager**

The Nominations Committee authorized circulation of a call for nominations and preparation of associated material (see background appendix). The results of the call are summarized on the next page and full biographical materials submitted by nominees begin on the page following. It is important to recognize that the role of the committee is to review submissions and prepare this report. It is not the role of the committee to recommend anyone for nomination. We are to ensure nominations are complete, and according to policies and procedures.

Further nominations can be received at the convention from the floor as has always been provided. Please contact the nomination committee chair if there is any aspect of the procedures that you would like clarified.



### **Nominations and Election of Executive**

- 7.1 The President shall appoint a Nominating Committee. The Committee shall consist of up to three (3) Member Representatives, one of whom shall be a Past President.
- 7.2 The Chair of the Nominating Committee shall be the Past President unless that position is vacant, in which case the Chair shall:
  1. be appointed by the Executive with consideration to a previous Past President; and
  2. not be a member of the Executive.
- 7.3 The Nominating Committee shall submit a proposed slate of Executive to the Members at the Annual General Meeting for consideration.
- 7.4 All Member Representatives shall be eligible to stand for election to the Executive.
- 7.5 If an election of the Executive is required it will be conducted by a secret ballot and, subject to subsection 7.11 below, those candidates receiving the most votes of the Members being elected to the Executive, and ballots shall be destroyed by resolution of the Members following the declaration of the successful candidate for office or directorship.
- 7.6 In the event of an equality of votes between two candidates, the successful Executive candidate will be chosen by lot between those two candidates. The name of each candidate will be written on a separate piece of paper, folded in such a way that the names of the candidates are not visible and placed in a container and shaken. One piece of paper will be withdrawn by the Chair of the Nominating Committee and that person declared the winning candidate.
- 7.7 The Chair of the Nominating Committee shall present the Nominating Committee's candidates to the Association and will preside over the election process.
- 7.8 If the Chair of the Nominating Committee is unable to act, the Executive shall appoint a Member Representative, Officer or Director to undertake the duties and responsibilities as Chair of the Nominating Committee and to preside at the election.
- 7.9 The Secretary-Treasurer shall serve as the "Returning Officer" and may appoint other staff members in attendance to assist with the election.
- 7.10 The election of Officers to the Executive shall be held at the Annual General Meeting on a first ballot and that of the Directors at Large subsequently on a second ballot. Any candidate that is unsuccessful in obtaining an Officer position on the first ballot may become a candidate for a Director at Large position on the second ballot.
- 7.11 If, in the election of the Officers to the Executive on the first ballot, an Electoral Area Director of a regional district is elected, the Director at Large positions will then be filled by the candidates with the most votes.
- 7.12 If, in the election of the Officers to the Executive on the first ballot, an Electoral Area Director of a regional district is not elected, then in the election of the Directors at Large, the candidate - of those candidates that are Electoral Area Directors of a regional district - with the most votes will be elected as a Director at Large and the balance of the Director at Large positions will be filled by the remaining candidates with the most votes. If only one Electoral Area Director of a regional district candidate runs for a Director at Large position, that candidate will be acclaimed.



## Summary of Nominations for Southern Interior Local Government Association Positions

2022 SILGA  
AGM & CONFERENCE

The Nominating Committee Chair will present the recommendations as the nomination for these positions. Other nominations can still come from the floor as has always been provided.

**Candidates Speeches** - Each candidate will have one minute to present themselves and their platform.

### For Officer Positions:

Lori Mindnich, Village of Lumby will be Past President. (Elect one each)

President	Director Karla Kozakevich	Okanagan Similkameen RD
1st Vice-President	Mayor Toni Boot	District of Summerland
2nd Vice-President	Councillor Aimee Grice	Town of Oliver

### For Directors At Large: (Elect seven)

Spencer Coyne	Mayor	Town of Princeton
Tony Luck	Councillor	City of Merritt
Bill Sarai	Councillor	City of Kamloops
Judy Sentes	Councillor	City of Penticton
Louise Wallace Richmond	Councillor	City of Salmon Arm
Barbara Wiebe	Councillor	District of Lillooet

## Nominated for: President

2022 SILGA  
A G M



**Director Karla  
Kozakevich**  
Okanagan  
Similkameen RD

Karla is currently in her third term as Director for Area E – Naramata with the Regional District Okanagan-Similkameen and is currently in the role of SILGA President. She was born and raised in Penticton and moved to Naramata in 2005. A graduate of Pen-Hi Senior Secondary School, she went on to attend Simon Fraser University on a varsity scholarship, obtaining a Bachelor of Arts degree in Applied Sciences. Karla worked for over 13 years contracting both Federally and Provincially helping people with physical, cognitive and mental health disabilities secure work, educational and assistive devices opportunities. She grew up working in various areas of the family business in Penticton, the Three Gables Hotel, which her family and relatives operated from 1937 – 1996. Karla currently works in motorsports racing and also worked in property management, retail management, sports coaching and in sports equipment & clothing sales management. She enjoys the recreational opportunities provided in the South Okanagan, with a focus on skiing, boating, fishing and golf.

From 2009 – 2011, Karla was Alternate Director for Area E and volunteered with the Naramata Parks & Recreation Commission, Naramata Water Advisory Committee and Naramata Elementary School Parent Advisory Committee. She continues to participate with these volunteer committees on a regular basis with a goal of providing outstanding community based services and activities.

Karla completed her fifth year as Chair of the RDOS in November 2021. She completed in 2021 the maximum allowable 8-year term with the Okanagan Regional Library Board(ORL) as their Board Chair and also completed four years as Chair of the ORL Policy & Planning committee. Karla feels strongly that SILGA brings municipalities and rural areas together to work for the best interest of the region as a whole. She can be reached at 250-809-2557 or kkozakevich@rdos.bc.ca.



*Nominated for:*  
**1st Vice President**

2022 SILGA  
A G M



**Mayor**  
**Toni Boot**  
District of  
Summerland

Thank you, SILGA Members, for the opportunity to put my name forward again this year for the position of your first vice president. I have served two terms as a director-at-large, two as second vice president and one as the first vice president and sit on SILGA's Resolutions Committee and Communications Committee.

I was a first term councillor in Summerland from 2014 to 2018 and was elected to the mayor's seat in October 2018. I also sat for six years on the Regional District Okanagan-Similkameen board; two as an Okanagan Basin Water Board director; and two as the Vice Chair of the Okanagan-Similkameen Regional Hospital District. In February 2021 I was appointed by Minister George Heyman to the provincial Climate Solutions Council

I hold a B.A. in Professional Communications from Royal Roads University, am a self-employed communications consultant, and as of 2021, am part of Oasis Lavender Farm, a new worker cooperative in Summerland. I have two grown sons--one lives in Victoria, the other near Toronto.

Described as a serial collaborator, I believe strongly in the power of building relationships and forming partnerships and alliances. I am especially interested in agriculture, all aspects of healthy communities, working with First Nations, and managing and protecting our natural resources, particularly as it relates to climate action.

Serving the SILGA membership over the past five years has been a rewarding experience, especially when we see action taken on issues that affect us all. Although SILGA is the only LGA to do so, we will continue to voice our collective concerns with Ministers and their staff at UBCM.

I appreciate the diverse skills and talents each member of the executive brings to the table; it would be an honour to serve on our local government association executive for a sixth term.

Respectfully,  
Toni Boot



*Nominated for:*  
**2<sup>nd</sup> Vice President**

**2022 SILGA  
A G M**



**Councillor**  
**Aimee Grice**  
Town of Oliver  
[agrice@oliver.ca](mailto:agrice@oliver.ca)

**250 408 4280**

AIMEE GRICE was elected as Councillor to the Town of Oliver in 2018. She embraced the steep learning curve as an elected official, respecting the important decisions a council makes on behalf of its residents. With a deep-rooted passion for social justice, Aimee is striving to look at all issues and decision making through this lens. Prior to seeking election to the Town of Oliver Council, Aimee founded the Oliver and Area Affordable Housing Society. This volunteer driven society is working towards increasing access to affordable housing in Oliver and surrounding area. Aimee enjoys the arts and has a strong passion for helping others. Aimee seeks a second term as 2nd Vice President of this regional board to bring her passion for community to the wider region. She believes that advocacy plays a key role in her position as Councillor and seeks to use all platforms available to practice this advocacy for her community and the greater region.

Aimee is a contributing Council representative to various Town Committees and current contributes to the following:

1. Community Safety & Crime Prevention Committee, Chair
2. Oliver Parks & Recreation Society
3. Cold Weather Shelter Advisory Committee
4. Oliver 100X100 Project Committee
5. Downtown Development Advisory Committee; and
6. South Okanagan Chamber of Commerce.

Since 2016 she has held the position of Marketing and Promotions Coordinator and House Manager at the Venables Theatre. This staff role was assumed after sitting as a governing member on the Oliver Community Theatre Society. Aimee held a board of director position on the SOAP Theatre and spent many years active with the group both on stage and behind the scenes. Professional experience also includes owning and operating a licensed family daycare for seven years.

Most importantly, Aimee is a wife and mother to two beautiful children and allocates all her free time to her family, enjoying the local lakes in the summer, and taking in the vast variety of arts and culture events available in the south Okanagan.

Most importantly, Aimee is a wife and mother to two beautiful children and allocates all her free time to her family, enjoying the local lakes in the summer, and taking in the vast variety of arts and culture events available in the south Okanagan.

*Nominated for:*  
**Director at Large**

**2022 SILGA  
A G M**



**Mayor  
Spencer  
Coyne**  
Town of  
Princeton

Spencer is running for a second term as Director at Large position with SILGA for the 2022/23 term.

Spencer believes that local government is the most effective form of government and that the day to day actions and decisions made by local policy makers have the most direct impact on citizens. He is a strong believer in partnerships and regional cooperation, this is why he has put his name forward for Director at Large.

As his role of Mayor of Princeton, he is the Chair of the Vermilion Forks Community Forest Corporation a partnership between the Town of Princeton, Regional District Okanagan-Similkameen and the Upper Similkameen Indian Band. He is the Vice-chair of the Similkameen Valley Planning Society an economic development partnership that includes the Town of Princeton, Village of Keremeos, Lower Similkameen Indian Band and RDOS electoral Areas B, G, and H. Spencer believes that it is through these partnerships we are able to create a more prosperous Similkameen Valley for all who live there. Spencer is the Vice-Chair of the Regional District Okanagan-Similkameen where he works with other area representatives and member municipalities of the RDOS on a regular basis to not only strengthen his community but the region as a whole.

Spencer is a father of three, a new baby boy, a seven-year-old daughter and ten-year-old son. It is their future that brought him back into politics after a thirteen-year hiatus.

Spencer believes that regional cooperation makes us stronger and when we work together our collective voice carries more weight.



*Nominated for:*  
**Director at Large**

2022 SILGA  
A G M



**Councillor**  
**Tony Luck**  
City of Merritt

Tony Luck and his wife Wanda live in Merritt after moving to the community in 2017. Having been born on the coast and living there his entire life both him and Wanda decided it was time to experience the lifestyle of the interior of BC. The only regret they have is that they didn't do it thirty years ago.

Tony has both a degree in Business and History from the University of the Fraser Valley and was Chair of the UFV Alumni Association for six years. Prior to becoming a Realtor in Merritt, which he really enjoys, Tony's past careers included twenty-six years at BC Hydro and ten years as a financial advisor with Investors Group just prior to moving to Merritt.

He has really embraced the Nicola Valley lifestyle and has a great passion for the valley. From the day he moved to Merritt he has been involved with the community and is proud to have been elected to Merritt City Council in his first year of moving to Merritt and is working hard to Move Merritt Forward in a very positive way.

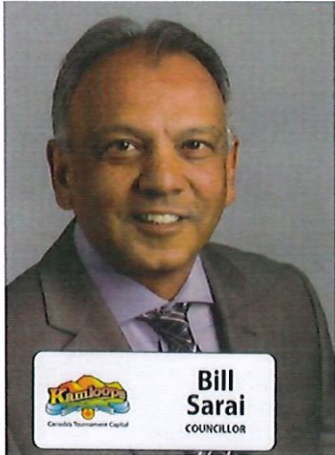
His commitment to community includes a term as councillor at the City of Mission, a term as a director of the Fraser Valley Regional District, Vice-Chair Mission Regional Chamber of Commerce, Director and Chair of the UFV Alumni Association and Director of Nicola Valley Community Futures. He was also a director and vice-chair of the Mission Community Foundation.

Tony believes that there are great opportunities and challenges for our region as more people see the Southern Interior as an attractive place to relocate to from the Lower Mainland. As a representative from Merritt he looks forward to working closely with SILGA and carrying on the great advocacy work the board does for our region. Thank you in advance for your vote of confidence.



*Nominated for:*  
**Director at Large**

2022 SILGA  
A G M



**Councillor**  
**Bill Sarai**  
City of Kamloops

I am enjoying my 3rd term as Director at Large with SILGA and representing the City of Kamloops. I retired from Canada Post after 31 years of service and was fortunate to become elected as City Councillor for Kamloops in October 2018. I have been appointed by our Mayor to the position of Vice President of the Kamloops Airport Authority Society, Chair the Civic Ops committee, and also a committee member Development Engineering and Sustainability. Before being elected to City Council, I had volunteered to the following organizations:

- Norbrock Soccer Executive Committee
- A E Perry Elementary School PAC Executive
- Coached Girls and Boys Youth Soccer
- Kamloops Sikh Cultural Society Executive Committee
- City of Kamloops Social Planning Committee
- Western Canada Summer Games
- BC Winter Games

I was born in Abbotsford BC and then raised in Vancouver and then finally settled in Kamloops in 1995, where my wife of 30 years and I raised our 3 kids. We welcomed our first grandchild in March 2021.

*Nominated for:*  
**Director at Large**

**2022 SILGA  
A G M**



**Councillor  
Judy Sentes**  
City of Penticton

I'm in my 14th consecutive year as a Councillor for the City of Penticton and in this time I have chaired many committees for our Council; acted as a Liaison for Council to several organizations as well as represented our City on numerous occasions including to the Regional District of the South Okanagan-Similkameen (RDOS) for a number of years.

Having lived in Penticton for nearly 35 years, I have always made an effort to be involved in my community. I have been a Director of our City's Chamber of Commerce, Chaired the Penticton Art Gallery Board and was the President of the IRONMAN Canada Race Society here in Penticton for many years.

I believe in the value of SILGA and have enjoyed being a part of the Board of Directors this past year and am a member of the Convention Committee. I would like to continue working with SILGA in the capacity as Director for another term and would ask for your consideration of support to my current nomination.

Judy Sentes, Councillor  
City of Penticton

*Nominated for:*  
**Director at Large**

2022 SILGA  
A G M



**Councillor Louise  
Wallace Richmond**  
City of Salmon Arm

Louise was born in Quebec City and raised in Northern Ontario. She graduated from the University of Ottawa with a degree in Economics and enjoyed working on Parliament Hill first as a Page then as a Legislative Assistant for the Chief Opposition Whip. After relocating to the West Coast in 1990, she worked in publishing and completed her Masters degree at SFU. In 1999, she moved to Salmon Arm and established Mediability Corporate Communications, a design and marketing business. Louise is also a part time professor at the Okanagan College in the School of Business.

She is passionate about community-building, creativity and collaboration and is honoured to serve Salmon Arm as a second term city councillor in keeping with her long-standing interest in politics, public affairs and communications.

Her community committee work includes the Cultural Master Plan Task Force, First Nations Partnerships, the Housing Task Force, the Social Impact Advisory Committee and the Okanagan Regional Library.

SILGA has been exemplary in its advocacy for the region and is a tribute to the power of collective impact.



*Nominated for:*  
**Director at Large**

2022 SILGA  
A G M



**Councillor**  
**Barbara Wiebe**  
District of Lillooet

Once again it is my pleasure to put my name forward for the position of Director at Large. This will be my third year running and whether successful or not look forward to meeting the rest of the Board in person at the SILGA convention in April.

I was elected as a first time Councillor in Lillooet from 2014 to 2017 and then re-elected in 2018 until present. I will be putting my name forward in the 2022 elections.

I am presently a Council representative on:

- 1) Squamish Lillooet Regional District
- 2) Thompson Regional Hospital Board
- 3) Explore Gold Country
- 4) Inter-governmental Relations Committee
- 5) Northern Economic Development Initiatives Committee
- 6) MOTI meetings
- 7) Lillooet Board and BMX Association

I believe strongly in the importance of SILGA. The community collaboration makes our voices stronger when bringing concerns to Ministries and staff at UBCM.

I am a mother of 3 girls and the grandmother of 3 girls; soon to be 4 girls. I am retired from owning my own business and find the political realm both challenging and rewarding.

## Barb Puddifant

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**From:** FCM Communiqué <communiqué@fcm.ca>  
**Sent:** Wednesday, February 23, 2022 2:31 PM  
**To:** Barb Puddifant  
**Subject:** [External] Registration for AC 2022 launching tomorrow

[View email in browser](#)



February 23, 2022



## Registration for AC 2022 launching tomorrow

Your favourite FCM event is back, in a unique hybrid format! Join us June 2-5 for FCM's 2022 Annual Conference and Trade Show—in beautiful Regina, or online from anywhere.

**Registration will launch tomorrow—Thursday, February 24—at 1 p.m. ET.**

In the meantime, you can preview our fantastic program and enriching networking opportunities. New this year: a simplified registration process, and dibs on reserving your first [study tour](#) when you register. (Tip: check out the study tour offerings now so you're ready to grab your first choice once registration opens.)

**Booking your trip to AC2022:** For help booking your trip to Regina, please see our [Travel & Hotels page](#) on our website. It details transportation options to get to Regina (with discount codes), and lists hotels where FCM has reserved blocks of rooms. **Please note that the reservation for these blocks will only open tomorrow at 1 p.m. ET.**

Hoping to see you soon in Regina!

[Look at our program now](#)



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This email was sent to [csimmons@salmonarm.ca](mailto:csimmons@salmonarm.ca).

*To continue receiving our emails, add us to your address book.*

emma



**From:** southern-interior.info <[southern-interior.info@bchydro.com](mailto:southern-interior.info@bchydro.com)>  
**Sent:** February 25, 2022 2:31 PM  
**Subject:** [External] Southern Interior Community Relations Annual Report

Good afternoon,

On behalf of BC Hydro I'm pleased to provide you with the Southern Interior Community Relations Annual Report. The report provides information regarding our operations and activities in our area.

I hope you find this information useful. Please feel free to distribute it to others who may be interested.

Best regards,

Dag

---

**Dag Sharman** | Southern Interior Community Relations, Communications

**BC Hydro**  
1401 Kalamalka Lake Road,  
Vernon, BC V1T8S4

**P** 250 549 8531  
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[bchydro.com](http://bchydro.com)

**Smart about power in all we do.**

# Southern Interior Community Relations 2021 Annual Report

February 2022

Penstocks at Shuswap Falls Generating Station.

## Revelstoke safety project protects roadway

BC Hydro has completed the second year of work for a significant slope stabilization safety project along Highway 23 north of the City of Revelstoke across from Revelstoke Dam. This is an important safety project to reduce the chance of rocks falling onto the highway and the Revelstoke Dam and powerhouse work areas, and to have Highway 23 North stay safe.

When we started building Revelstoke Dam, we completed significant work to stabilize the slope. In 1979, we installed 60 high capacity anchors into the rock face to pin the layers of rock together. Each anchor is a bundle of steel cables encased in a tube filled with grease to protect the cables from water and heat. Each anchor is up to 49 metres long or 160 feet – the length of about four city buses. As part of our dam safety program we installed instrumentation throughout the slope so we can continuously monitor its condition 24 hours a day, seven days a week. We also built walkways to allow crews to regularly inspect and maintain the anchors.

Although we've regularly conducted hand scaling to remove small loose rocks, the condition of the slope has slowly deteriorated over the years and it's time for a significant slope stabilization project. We're removing rock and installing additional slope protection including anchors, wire mesh, and concrete coating. We'll also add protection for the high capacity anchors that can be damaged if struck by falling rocks and replace the aging walkways. We expect to complete the project in summer 2022.

### Powered by Water

BC Hydro provides clean, reliable and affordable electricity to British Columbians. We generate about 98% clean energy for the province, mostly from our hydroelectric resources.



Crane being used to access the slope.



Installing protection for anchors.



Tethered cat installing anchors.



# Message from Chris O’Riley, President & CEO



Hi everyone,

BC Hydro is pleased to share our Community Relations annual report highlighting some of our work in your region. We’re proud to serve communities and their elected representatives in all parts of the province.

In 2021, our teams continued to adapt to the COVID-19 public health emergency, while also managing through the extreme weather such as wildfires brought about by climate change. Through everything, our focus remained on safely providing you with the clean electricity that our B.C. communities rely on.

In September 2021, we introduced our Electrification Plan, which features new programs and incentives to help British Columbians make the switch from fossil fuels to clean hydroelectricity to power their homes, businesses, and vehicles. We’ll also help to attract new energy-intensive industries to B.C. and offer programs to reduce the time and costs for new customers to get connected to our grid.

Our goal is to reduce greenhouse gas emissions in the province by 900,000 tonnes per year by April 2026 – that’s around the same as taking 200,000 gas-powered cars off the road for one year. Our Electrification Plan outlines how we’ll get there. At the same time, we continue to help customers with conservation initiatives designed to save energy and money.

We have also advanced affordability initiatives to help our customers save money on their electricity bills and continued to focus on making it easier for our customers to do business with us. We’re working with the Province to strategically position BC Hydro for long-term success, keeping rates affordable, furthering reconciliation with Indigenous Peoples and supporting quality economic development.

Within this report, you’ll find many examples of how we’re working with your communities on a range of topics – from capital projects and corporate programs, to initiatives like our Electrification Plan. This report also includes some important indicators of how we’re doing in providing you with reliable power.

We’ll continue to work closely with you to support your community. If you have any questions, please contact our Community Relations representatives in your region. We’d be pleased to help.

Sincerely,

Chris O’Riley  
President & CEO  
BC Hydro

## Quick Facts

### PROVINCE-WIDE:

- 4 million customers
- Electricity is delivered through a network of:
  - approximately 80,000 kilometres of transmission and distribution lines
  - over 300 substations
  - 1 million plus utility poles

### SOUTHERN INTERIOR GENERATING CAPACITY:

Mica	2,746.5 MW
Revelstoke	2,480 MW
Seven Mile	805 MW
Kootenay Canal	583 MW
Whatshan	59 MW
Aberfeldie	25 MW
Elko	12 MW
Walter Hardman	8 MW
Shuswap	6 MW
Spillimacheen	4 MW

Hugh L. Keenleyside Dam\*  
Duncan Dam\*  
\*Columbia River Treaty Dam  
– No Generation

MW = megawatt





## Site C update

Site C will be a third dam and hydroelectric generating station on the Peace River in northeast B.C. Construction started more than six years ago, in July 2015.

During the sixth year of construction, activities continued to advance in all project areas, particularly the completion of both the upstream and downstream cofferdams ahead of schedule in early 2021. The cofferdams create a dry construction area to continue construction activities with the earthfill dam, which is now well underway. Work also advanced along the Highway 29 realignment, transmission line corridor and in the future reservoir area.

The project reached several milestones this past year, including:

- construction of a 2.6-kilometre-long berm along the shoreline below Hudson's Hope began in October 2020
- powerhouse construction advanced and penstock installation continued; to date, steel construction for four of the six penstock units has been completed
- the completion of roller-compacted concrete placements in the dam and core buttress, marking the end of the project's overall roller-compacted concrete program
- work advanced on all sections of the Highway 29 realignment
  - The Halfway River bridge is substantially complete and the new alignment at Farrell Creek East opened to traffic in October 2021
- stringing on the second of two Site C transmission lines is in progress
- installation of steel piles is underway as part of the right bank foundation enhancements

BC Hydro also delivered on several commitments in the region in 2021. We continued to provide grants to support non-profit organizations in the Peace region through the Generate Opportunities (GO) Fund; as of October 2021, \$552,566 had been distributed to 63 projects. We distributed additional funds from our \$20 million Peace Agricultural Compensation Fund; as of March 2021, \$771,319 in funding had been approved for 33 projects.

For more information on Site C, please select [sitecproject.com](https://sitecproject.com).



A view of the Site C dam core trench, dam buttress, powerhouse, spillways, and the operational substation in the background.

## Powering B.C.'s switch to clean electricity

With our unique advantage as a clean-energy powerhouse, British Columbians have plentiful opportunity to make the switch to clean power.

Ninety-eight per cent of our electricity is generated from clean or renewable resources, making us western North America's leader in clean electricity generation. Our hydroelectric resources, which are powered by water, give us a clean advantage to power a greener economy in B.C.

While almost all the electricity we produce is from clean or renewable resources, we still have some work to do. Nearly three-quarters of the energy used to power homes and buildings, cars and industrial operations in B.C. comes from fossil fuels.

As we look to the future, we have an ambitious goal to do better. That's why, in September 2021, BC Hydro released our \$260 million Electrification Plan. (Electrification refers to switching from fossil fuels like gasoline, diesel and natural gas to clean electricity.)



Supported by our government partners, we launched a comprehensive plan that lays the foundation for how B.C.'s clean electricity can be used to power three key sectors.

- **Buildings:** Almost 11 per cent of the total greenhouse gas emissions in B.C. come from residential and commercial buildings, mostly due to heating. We've introduced new heat pump rebates and we'll connect with different levels of government and standard-making bodies to increase energy efficiency standards to advance electrification for builders and developers.
- **Transportation:** About 40 per cent of B.C.'s emissions come from cars, trucks and other transportation equipment. BC Hydro plans to expand our fast charging network by having 325 electric vehicle charging stations at 145 sites across the province by the end of 2025. We'll also bring in new programs to encourage commercial fleets, including large trucks and buses, to switch to clean electricity.
- **Industry:** About 40 per cent of emissions in B.C. come from the industrial sector, from things like compressors in the natural gas sector, diesel engines in mining and forestry, and process heat in the forest products industry. Clean electricity switching is possible for this sector too, and we'll provide incentives to businesses. We're also working to attract new clean industry to B.C., including hydrogen production, carbon capture, synthetic fuel production and data centres.

These incentives, rebates and planning are expected to result in greenhouse gas emission reductions of 930,000 tonnes per year by the end of fiscal 2026. That's the equivalent of taking about 200,000 gas-powered cars off the road. In the process, we expect to add about 3,100 gigawatt hours of load to our system.

We'll also continue to support conservation efforts. Conservation and electrification go well together. It's ultimately about being efficient in our choices and uses of energy, including consideration of the emissions that result from fossil fuels.

In addition to reducing greenhouse gas emissions, our Electrification Plan offers the added benefit of helping us keep our rates affordable.

Overall, electrification will help us ensure our province's future will be cleaner, brighter and full of electricity. For more information, please select [bchydro.com/electrificationplan](https://bchydro.com/electrificationplan).

## Regional Information

### Upgrades to the distribution system in Canal Flats

We're making improvements to our distribution system in Canal Flats and the surrounding area to increase the load capability and improve our level of service.

From the fall of 2021 through October 2022, we're replacing the 12 kilovolt (kV) equipment with new 25kV equipment in Canal Flats, Columere Park, Columbia Ridge and Dutch Creek. That means we'll swap out about 110 poles, 180 transformers and 1.5 kilometres of cable, as well as the electrical equipment that supports them. We're also assessing the condition of all equipment in the Canal Flats area.

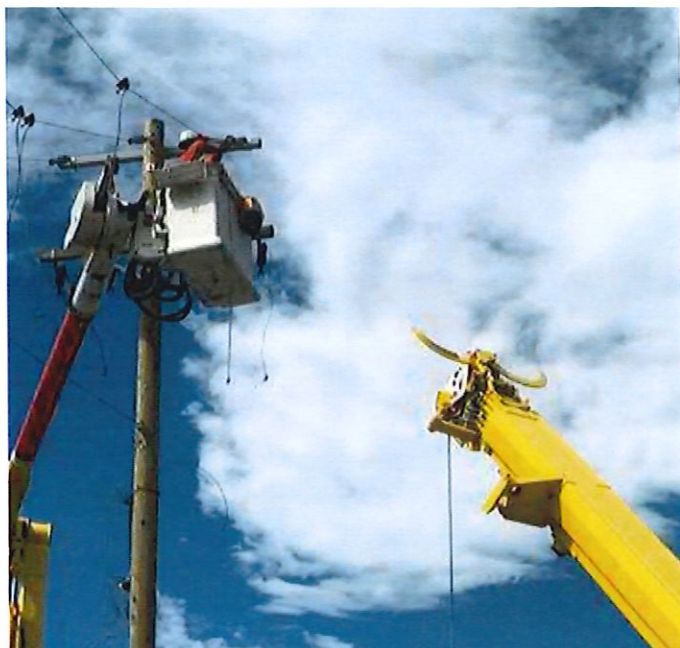
The work will allow us to continue providing clean and reliable power to more than 800 customers from Canal Flats to Fairmont Hot Springs.

This project is part of a ten-year plan to rebuild the distribution system throughout the Kootenays. Voltage conversion will also remove polychlorinated biphenyl (PCB) materials from all electrical equipment before the federally mandated deadline of December 2025.



Equipment at Canal Flats Substation (pictured) and on poles throughout the community will be replaced between fall 2021 and fall 2022 to improve reliability to our customers in the southern Columbia Valley.





Crews work to replace a pole in Cranbrook in September 2020.



Shuswap Falls Generating Station.

We're expecting there will be minimal impact to residents of Canal Flats while crews are working in the community. Traffic control will assist crews as they carry out the work, and we'll prioritize safety to our staff, contractors and the public. There will be localized outages to small pockets of customers, and we'll notify affected residents prior to doing the work.

## Working towards fish passage at Wilsey Dam

We have chosen decommissioning as our leading alternative for a project to achieve fish passage at Wilsey Dam on the Shuswap River. This project will allow salmon to travel upstream of the Wilsey Dam and use 32 kilometres of historical spawning habitat upstream of the facility. Restoring fish passage above Shuswap Falls has been a long process, involving years of work by multiple Indigenous Nations and several stakeholder groups and we're excited to move this work forward.

We're building on the work of the Wilsey Dam Fish Passage Committee that explored a number of options to restore fish passage through BC Hydro's Fish Passage Decision Framework with support of the Fish and Wildlife Compensation Program (FWCP). The Committee recommended construction of a fishway channel along the north riverbank through BC Hydro's Shuswap Falls recreation site and their findings were endorsed by the FWCP in 2018.

After extensive community involvement and our own studies, BC Hydro believes the best option is to decommission the dam and powerhouse. In addition to it being the most cost-effective alternative, we expect this will provide a higher chance of achieving successful fish passage by creating river conditions similar to what existed before the dam was built.

We are currently assessing the feasibility of the leading alternative before any definitive decision is made on the future of the facility. It's too early to know exactly how long decommissioning would take and what it would look like – for example, whether the entire dam would be removed or what additional work might be required in the river channel.

Before a decision is made, we're working on an interim fish passage program with the objective to develop a trap and transport program to move spawning salmon around Wilsey Dam. We recently completed a two-year incubation study to test different methods for incubating eggs.



## Distribution line upgrades in Edgewood and Monashee

In fall 2021, BC Hydro upgraded the distribution line that runs along Highway 6 in Rosebery. Approximately 1.7 kilometres of the single-phase line was upgraded to a three-phase line, and we also installed nine new poles along Highway 6.

Distribution line upgrades are also planned in Edgewood. Approximately 2.5 kilometres of the single-phase line will be upgraded to a three-phase line, and we will also build approximately 0.45 kilometres of new three-phase line. Preliminary work was completed in fall 2021, and construction will begin in spring 2022. We expect that this work will be completed by September 30, 2022.

Safety is BC Hydro's top priority and we are working with our contractors to continually plan work in ways that will protect the health and safety of both our workers and the public. We will continue to meet and exceed all B.C. public health and occupational health and safety requirements and recommendations for employees and workplaces to help prevent the spread of the COVID-19 virus. Measures are in place to make sure workers can maintain physical distancing guidelines and stay two metres away from other workers and the public throughout the project.



Map of work in Rosebery.

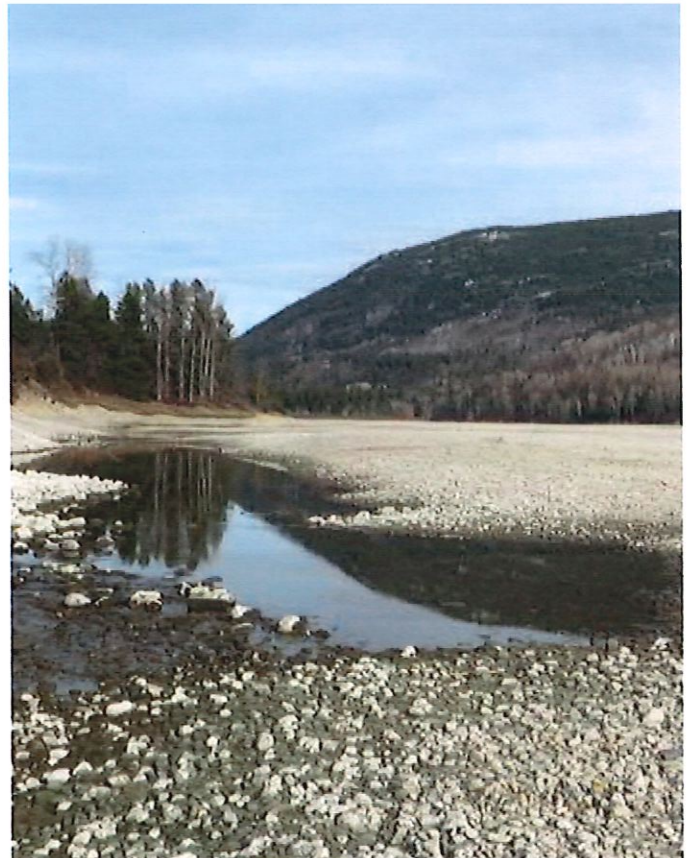


Map of work in Edgewood.

## Lower Columbia River fish habitat recontouring project

As part of the Columbia River Water Use Plan, BC Hydro has been working to support indigenous fish populations in the lower Columbia River. In March 2021 we recontoured the river bottom at the Genelle Main Bar. This site is located adjacent to the community of Genelle, which is approximately eight kilometres downstream of Castlegar.

BC Hydro hired the Osoyoos Band/Lake Excavating to conduct the work. They used the existing sediment on site to fill in two existing stranding pools, and finer sediment was capped using larger sediment to minimize future erosion at the site. Backhoes were used to fill in depressions and the area was then recontoured with graders. This work is intended to protect fish from being stranded at this site by preventing water from pooling following Hugh L. Keenleyside dam discharge flow reductions.



Stranding pools prior to recontouring.





Recontouring in progress.

We have completed recontouring work in the past at Genelle Islands and Norn's Creek Fan, both of which resulted in reduced fish stranding at those locations. This work was done in partnership with regulatory agencies.

Recontouring is a temporary mitigation measure, and some of the fill has already been eroded by the flow of the river. We also have specific operational protocols and mitigation techniques to minimize the effects of fish stranding during scheduled flow reductions. Further information about the Lower Columbia River Fish Stranding Monitoring Study (CLBMON-42) is available online at [bchydro.com](http://bchydro.com).

## Supporting Communities

### Trees and Vegetation Management

Our electrical system is complex and highly efficient, with approximately 80,000 kilometres of overhead transmission and distribution power lines throughout the province. Managing trees and plants around these lines is important for safety and service reliability.

B.C. has some of the tallest and fastest-growing trees in North America. Our vegetation management team regularly inspects trees and other tall vegetation growing under or adjacent to our overhead system to identify potential problems. Tall, diseased or dead trees can fall or grow into power lines, causing electrical outages.

Vegetation management contractors — we employ professional arborists and foresters that follow strict environmental guidelines — prune or remove trees and vegetation in areas where the lines may be impacted. What's more, when an area experiences reliability issues, we assess the local distribution lines for potential tree-related causes. Even with a proactive management program, more than half of all outages in B.C. are caused by adverse weather causing trees and vegetation to come into contact with our system. For more information, please select [bchydro.com/trees](http://bchydro.com/trees).

### Recreation sites

We've developed and maintain a wide range of recreation areas as one part of our efforts to balance the province's energy needs with the preservation of the natural environment.

BC Hydro reservoirs make it possible to provide clean energy to the province. Those reservoirs also serve as recreational sites that many people enjoy for things like hiking, boating, camping and swimming. For more information, please select [bchydro.com/recreation](http://bchydro.com/recreation).



Shuswap River in the North Okanagan.



## Community ReGreening Program

BC Hydro is proud to assist local governments through our Community ReGreening Program which supports the planting of trees and other vegetation that help enhance ecological networks across the province. The program also helps to ensure the right trees are planted near our power lines.

Our ReGreening grants fund small-scale community planting projects and are open to all municipal and Indigenous Nations' governments within BC Hydro's service area. All new applications are now being accepted through our online form. The deadline to apply for a 2022 ReGreening grant was January 31, 2022 but has now been extended to **February 28, 2022**. For more information, please select [bchydro.com/regreening](https://bchydro.com/regreening).



Michel Cemetery walkway planting in Sparwood.

Community	Project	Funding
Barriere	Airfield Road Sanitary Collection System Restoration	\$4,750
Cranbrook	Joseph Creek Flood Mitigation and Restoration	\$4,750
Columbia-Shuswap RD	Park Beautification and Shade Creation	\$4,750
Enderby	Riverside RV Park and Campground ReGreening	\$4,750
Fernie	Aquatic Slope ReGreening	\$4,400
Invermere	Athalmer Public Lands Park Development and Enhancement	\$4,750
Kamloops	100 Block Victoria Street Tree Revitalization	\$4,750
Lake Country	Oyama Dog Park Planting	\$4,750
Peachland	Heritage Park Restoration	\$2,352
Radium Hot Springs	Tree Enhancement Planting	\$4,750
Salmon Arm	Street Rehab Program	\$4,000
Sparwood	Michel Cemetery Walkway Planting	\$4,750
West Kelowna	Community ReGreening	\$4,750

## Beautification Fund

Our Beautification Fund provides financial assistance to municipal governments to relocate BC Hydro equipment on public property. We co-fund projects to move overhead lines and poles to underground duct banks as part of community redevelopment plans or to enhance and improve the use of public spaces. Previous projects have included high traffic areas and community venues such as town centres, parks, commercial districts, civic facilities, and bike lanes.

This past year, successful applicants for beautification projects included:

- Coldstream
- Golden
- Kamloops
- Salmon Arm
- Sicamous
- Vernon

Select [bchydro.com/beautification](https://bchydro.com/beautification) for more information and to apply. Applications must be submitted by September 30 to be considered for the following year.



## Decorative Wrap Grant Program

Our Decorative Wrap Grant Program provides financial assistance to municipal governments, regional districts and First Nations communities looking to improve the visual aesthetics of a neighbourhood by installing decorative wraps on BC Hydro-owned pad-mounted equipment boxes. Eligible applicants can receive grant funding of \$350 or \$700 per unit, depending on the size of the equipment box to be wrapped. The funding amount will be determined by BC Hydro during the application review.

The application closing date for each year is September 30. For more information, please select [bchydro.com/wraps](https://bchydro.com/wraps).



Example of a decorative wrap on our pad-mounted equipment.

## Graffiti removal

Graffiti vandalism is a crime that affects everyone. BC Hydro prioritizes the removal of graffiti that is socially offensive (e.g. obscenities, racial or religious slurs) as well as graffiti that is located in high-profile or sensitive areas (e.g. adjacent to schools, churches, and community centres).

We rely on the public around B.C. to report graffiti on everything from pad-mounted transformer boxes to our buildings. As an alternative, graffiti removal agreements offer financial support to local governments or community groups to remove graffiti on our behalf. For more information on graffiti removal agreements, please contact your local Community Relations office (see last page of this report).

## Fish & Wildlife Compensation Program

The Fish & Wildlife Compensation Program (FWCP) is a partnership of BC Hydro, the B.C. Government, Fisheries and Oceans Canada, First Nations, and public stakeholders, to conserve and enhance fish and wildlife in watersheds impacted by BC Hydro dams.

BC Hydro's Southern Interior region straddles two of the three FWCP's regions: Coastal and Columbia. The FWCP also funds fish and wildlife projects in its Peace Region.

One project the FWCP is funding on an annual and ongoing basis is northern leopard frog recovery, led by the Province of B.C. The northern leopard frog is provincially red-listed (threatened) and is a recovery species for the FWCP, which means it is among those with the highest priority and conservation concern adversely impacted by dam construction and/or operations.

During the 2020–2021 field season, 24 northern leopard frog egg masses were found in the Creston Valley – one of the highest counts since monitoring started in 2000. The high number observed this year enabled biologists to move nearly 11,000 tadpoles to part of the frog's historical range near Brisco, north of Radium Hot Springs.



When the northern leopard frog egg masses are found, they are protected with cages to minimize predation and increase survival. Photos courtesy of Kat McGlynn.



There are plans in 2022 for Nupqu Resource Limited Partnership – owned by the communities of the Ktunaxa Nation – to be actively involved in this important recovery project, alongside the Province of B.C.

Since 1988, the FWCP has committed more than \$191 million to support fish and wildlife in the province. Learn more at [fwcp.ca](http://fwcp.ca).

For information on Community Engagement Grants – which are typically \$500 to \$1,000 and help stewardship groups and others take action to benefit local fish and wildlife – please select [fwcp.ca/community-engagement-grants/](http://fwcp.ca/community-engagement-grants/).

### Did you know?

The FWCP is funded annually by BC Hydro. The FWCP directs those funds towards priority actions across its three regions to fulfill its mission and work towards its vision of thriving fish and wildlife populations in watersheds that are functioning and sustainable.

## Grants-in-lieu

We pay net property tax and grant payments to local governments. The grant program is a provincial government initiative and the amounts paid are determined under the current legislation. Listed below are the grants paid to each community in the Southern Interior region as of July 1, 2021.

Municipality/District	School taxes*	Grants	Other taxes	Total payments
City of Armstrong	48,262.03	57,445.78	43.84	105,751.65
Village of Ashcroft	14,094.56	25,232.53	0	39,327.09
District of Barriere	33,087.05	30,220.49	0	63,307.54
Village of Cache Creek	15,275.81	33,276.72	0	48,552.53
Village of Canal Flats	16,257.61	22,287.39	1,028.00	39,573.00
City of Castlegar	2,945.18	80,563.62	1,013.35	84,522.15
Central Kootenay Regional District	0	967,802.00	0	967,802.00
Village of Chase	20,697.34	23,541.75	1,287.59	45,526.68
District of Clearwater	70,842.44	43,381.67	264.29	114,488.40
Village of Clinton	9,286.21	20,099.08	0	29,385.29
District of Coldstream	80,246.40	126,732.29	0	206,978.69
Columbia-Shuswap Regional District	0	2,469,759.00	0	2,469,759.00
City of Cranbrook	154,851.86	334,504.98	4.40	489,361.24
East Kootenay Regional District	0	90,361.00	0	90,361.00
District of Elkford	42,465.00	211,825.18	0	254,290.18
City of Enderby	11,522.56	29,159.32	0	40,681.88
City of Fernie	93,771.22	145,333.52	350.85	239,455.59
Town of Golden	73,959.00	144,031.11	1,333.49	219,323.60
District of Invermere	17,283.84	61,046.27	0	78,330.11
City of Kamloops	923,224.73	1,575,798.56	10,878.20	2,509,901.49
City of Kelowna	5,246.88	16,807.64	0	22,054.52
City of Kimberley	52,947.05	71,207.71	0	124,154.76
Kootenay Boundary Regional District	0	1,601,799.00	0	1,601,799.00
District of Lake Country	107,185.15	187,325.89	275.00	294,786.04
District of Logan Lake	15,426.86	552,201.22	0	567,628.08



Municipality/District	School taxes*	Grants	Other taxes	Total payments
Village of Lumby	9,053.44	19,114.15	0	28,167.59
Village of Lytton	2,597.72	7,109.37	0	9,707.09
City of Merritt	168,386.83	172,387.89	0	340,774.72
Village of Nakusp	35,938.94	59,743.61	0	95,682.55
City of Nelson	2,545,341.22	502,945.88	0	3,048,287.10
Village of New Denver	2,880.64	7,024.20	0	9,904.84
North Okanagan Regional District	0	13,746.00	0	13,746.00
District of Peachland	30,529.64	40,978.83	0	71,508.47
Village of Radium Hot Springs	28,140.25	53,804.92	0	81,945.17
City of Revelstoke	592,347.59	3,754,321.93	403.67	4,347,073.19
City of Salmon Arm	234,569.67	276,263.31	8,081.35	518,914.33
District of Sicamous	36,795.83	56,479.14	0	93,274.97
Village of Silverton	1,363.16	2,797.87	0	4,161.03
Township of Spallumcheen	179,371.28	109,912.32	0	289,283.60
District of Sparwood	249,170.22	251,331.99	0	500,502.21
Sun Peaks Mountain Resort Municipality	6,635.76	39,505.07	0	46,140.83
Village of Valemount	14,469.43	511,138.87	0	525,608.30
City of Vernon	774,749.98	1,017,088.45	10,844.27	1,802,682.70
City of West Kelowna	249,140.67	403,668.07	1,447.58	654,256.32

\* Local governments collect school taxes which are then forwarded to the provincial government to help fund school districts.

## Community Grants

By providing electricity to the people and businesses of this province, we provide an essential and important service. We also believe in doing more than that: we offer two types of grants to support non-profit organizations and registered charities that are making a difference in their communities. In 2021, we supported nearly 90 community-based projects across every region of the province.

Our grants are given out in three focus areas: building the workforce of tomorrow, safety education, and developing smart energy ideas. When planning for your project, please keep in mind that our grants have set criteria and application deadlines. To learn more, please select [bchydro.com/grants](https://bchydro.com/grants).

Some of the organizations that we supported in the region this past year included:

Organization	Project	Community	Grant
Columbia Valley Search and Rescue	Enhancing Backcountry Rescue Response	Columbia Valley	\$2,000
Wasa Volunteer Fire Prevention and Suppression	FireSmart Education Kiosk	Wasa	\$2,000
Moyie Community Association	Emergency Response Storage Building	Moyie Lake	\$1,000
Spark Society for Youth	Electrical Safety and Solar Awareness for Youth	Kimberley	\$1,000



Organization	Project	Community	Grant
Sparwood and District Chamber of Commerce	Changing Exterior Lights	Sparwood	\$1,500
East Kootenay Regional Science Fair	Regional Science Fair	East Kootenay	\$1,000
Wildsight Elk Valley	Little Sprouts	Fernie	\$1,000
Wildsight Golden	Get Wild Camp Field Trips	Golden	\$2,000
Meadowbrook Community Association	Meadowbrook Environmental Education Program 2021-22	Kimberley	\$1,500
Village of Canal Flats	Canal Flats South Highway Gateway Monument	Canal Flats	\$1,000
Community Safety Net	Castlegar Fire Safety Program	Castlegar	\$2,000
Barriere Firefighters Association	Portable Emergency Scene Lighting	Barriere	\$2,000
Fauquier Community Club	Outdoor Court Light Upgrade	Fauquier	\$2,000
Kingfisher Interpretive Centre Society	Conservation Through Education	Shuswap River	\$2,000
Wildsight Revelstoke	"Wild-In-Sight" Youth Programs	Revelstoke	\$2,000
Revelstoke Fabrication Lab Society	Revelstoke Idea Factory Tech Club Pilot Program	Revelstoke	\$2,000

## Reliability Performance



We recognize how important the reliable supply of electricity is to our customers. We'll continue to improve, reinforce and maintain the electrical system.

The information below provides a comparison between Fiscal 2020 and Fiscal 2021 for communities in the Southern Interior region. These statistics include interruptions due to planned outages.

Community	Fiscal 2020 average customer interruption duration (hours)	Fiscal 2021 average customer interruption duration (hours)	Fiscal 2020 average number of interruptions per customer	Fiscal 2021 average number of interruptions per customer
Cache Creek	1.41	2.08	3.32	5.06
Canal Flats	1.44	2.08	8.12	5.32
Cranbrook	2.25	3.81	1.96	1.46
Elkford	3.52	4.08	7.21	5.57
Fernie	2.75	1.89	2.69	4.53
Golden	2.81	3.31	6.26	3.41
Invermere	1.66	1.46	2.39	3.43
Kamloops	2.19	1.92	3.28	2.22
Kimberley	1.68	2.70	3.20	1.49

Community	Fiscal 2020 average customer interruption duration (hours)	Fiscal 2021 average customer interruption duration (hours)	Fiscal 2020 average number of interruptions per customer	Fiscal 2021 average number of interruptions per customer
Merritt	1.84	2.88	2.47	1.57
Nakusp	5.16	4.28	12.27	9.29
New Denver	5.64	5.85	11.95	7.00
Radium Hot Springs	2.53	1.78	3.10	5.03
Revelstoke	2.36	3.52	2.74	1.00
Salmon Arm	5.27	1.95	8.06	4.65
Sparwood	1.87	0.99	0.38	3.51
Valemount	0.61	6.42	5.20	5.76
Vernon	2.67	2.64	3.71	2.53



# BC Hydro Community Relations

At BC Hydro we build strong relationships to support the unique needs and strengths of the communities we serve. Our Community Relations team does this by listening, providing information and working together with communities. We're the point of contact for local government, media, local business and community groups. Whether it's for capital projects, corporate initiatives and programs, local BC Hydro activities, significant planned outages, emergency response or unplanned power outages, we work hard to meet the needs of our stakeholders and ensure communities are kept informed.

## Southern Interior

If you have questions or comments for us, please contact:

### Vernon Office

Dag Sharman  
Manager  
250 549 8531  
[dag.sharman@bchydro.com](mailto:dag.sharman@bchydro.com)

### Castlegar Office

Mary Anne Coules  
Stakeholder Engagement Advisor  
250 365 4565  
[maryanne.coules@bchydro.com](mailto:maryanne.coules@bchydro.com)

### Cranbrook Office

Sally MacDonald  
Public Affairs Officer  
250 489 6841  
[sally.macdonald@bchydro.com](mailto:sally.macdonald@bchydro.com)

## BC Hydro Guide for Local Government

Quick access to key information on [bchydro.com](http://bchydro.com)

### My Hydro and Energy Savings initiatives

#### My Hydro

[bchydro.com/myhydro/](http://bchydro.com/myhydro/)

Log in to manage your account.

#### Energy Savings Programs

[bchydro.com/energysavings](http://bchydro.com/energysavings)

Learn how you can be smart with your power. Take advantage of rebates and programs.

### Projects

#### Capital Projects

[bchydro.com/projects](http://bchydro.com/projects)

Learn more about major projects taking place in your region.

### Programs

#### Beautification Fund

[bchydro.com/beautification](http://bchydro.com/beautification)

Find out more about our beautification program that provides financial assistance to municipal governments for conversion of overhead to underground facilities.

#### Decorative Wrap Grant Program

[bchydro.com/wraps](http://bchydro.com/wraps)

Learn about our program that provides financial assistance to municipal governments looking to install decorative wraps on BC Hydro pad-mounted equipment boxes.

#### Community ReGreening Program

[bchydro.com/regreening](http://bchydro.com/regreening)

The regreening program assists municipalities with urban tree planting while helping to make sure appropriate trees are planted around power lines.

### Community Giving

#### Grants for community groups

[bchydro.com/grants](http://bchydro.com/grants)

Learn about our grants for community groups and how to apply for them.

#### Scholarships & Endowments

[bchydro.com/scholarships](http://bchydro.com/scholarships)

We look to build the next generation of engineers, electricians, and many other key roles who will help us deliver clean energy to our customers. Learn about our scholarships and endowments.

### Electric vehicles

#### Fast charging stations

[bchydro.com/ev](http://bchydro.com/ev)

Learn more about how clean and affordable power makes B.C. a great fit for electric vehicles.

### Report an outage

#### How to report a power outage

[bchydro.com/outages](http://bchydro.com/outages)

Check the outage map or list to see if we know your power is out. If not, call us at 1 800 BCHYDRO (1 800 224 9376) or \*HYDRO (\*49376) on your mobile phone to report it.

### Report graffiti

#### How to report graffiti on our equipment

[bchydro.com/graffiti](http://bchydro.com/graffiti)

We rely on the public to report graffiti on everything from our pad-mounted transformer boxes to our offices.





# BC Multiculturalism and Anti-Racism Awards 2022

THE HONOURABLE JOHN HORGAN  
PREMIER *of* BRITISH COLUMBIA

AND

THE HONOURABLE RACHNA SINGH  
PARLIAMENTARY SECRETARY  
*for* ANTI-RACISM INITIATIVES

INVITE YOU TO THE VIRTUAL  
BC MULTICULTURALISM *and* ANTI-RACISM  
AWARDS CEREMONY

7:00 P.M. *to* 8:30 P.M.

MONDAY, MARCH 21, 2022

THE INTERNATIONAL DAY *for the*  
ELIMINATION OF RACIAL DISCRIMINATION.

TO WATCH, PLEASE VISIT THE  
PROVINCE OF BC YOUTUBE CHANNEL  
[www.youtube.com/provinceofbc](http://www.youtube.com/provinceofbc)



## Barb Puddifant

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**From:** Stephanie Nichols <snichols@mapleridge.ca>  
**Sent:** Monday, February 28, 2022 6:35 PM  
**Subject:** [External] 2022-02-28 Letter - City of Maple Ridge to Minister Dix - Vaccine Restrictions  
**Attachments:** 2022-02-28 - Letter - Mayor Morden to Minister Dix - Vaccine Restrictions.pdf

Good Afternoon,

Please find attached a letter from Mayor Morden, City of Maple Ridge, to Minister Dix requesting COVID-19 restrictions be lifted to allow all individuals access to civic recreation facilities paid for and maintained by their tax dollars to minimize social isolation and promote positive mental health.

We thank you in advance for your support.

Sincerely,

Stephanie Nichols  
Corporate Officer



City of Maple Ridge  
11995 Haney Place, Maple Ridge, BC V2X 6A9  
T: 604-467-7482 | C: 778-837-3258 | Fax: 604-467-7329  
[Web](#) [Open Government Portal](#)

**Our service commitment:** fair, friendly, helpful.

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**mapleridge.ca**

February 28, 2022

Honourable Minister Adrian Dix  
Minister of Health  
PO Box 9050 Stn Prov Govt  
Victoria, BC V8W 9E2  
Sent via email: [HLTH.Minister@gov.bc.ca](mailto:HLTH.Minister@gov.bc.ca)

Dear Minister Dix,

At their February 22, 2022 regular meeting, Maple Ridge Council considered the impact that restricted access to health and fitness facilities can have on a person's mental health and sense of well-being, and passed the following resolution:

WHEREAS the City of Maple Ridge recognizes the negative impact on mental health caused by social isolation during the Covid-19 pandemic and the mental and physical benefits of recreation for our citizens;

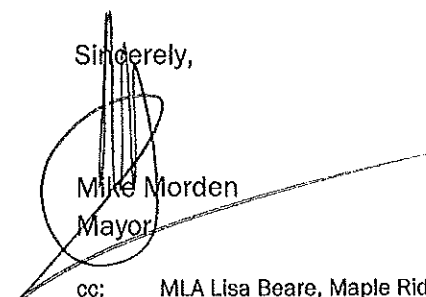
THEREFORE BE IT RESOLVED that the Mayor request the provincial Minister of Health allow all individuals access to civic recreation facilities paid for and maintained by their tax dollars without restrictions in order to minimize social isolation and promote positive mental health, with a carbon copy to the UBCM and other BC Municipalities.

In April-May 2021 the Province conducted a survey asking British Columbians about the impact COVID-19 has had on their lives. Of the 394,382 respondents, nearly 47% said they had seen their mental health worsen due to the pandemic.

The programs delivered at our public facilities reduce isolation, promote community pride, increase self-esteem, build connected communities and strengthen family bonds.

Since the onset of COVID-19, the City has supported and followed all public health orders and WorkSafe BC requirements to ensure our civic facilities remain safe. With the recent lifting of many capacity restrictions and the acknowledgement that recreation contributes to one's mental and physical health we ask that public facilities be open to all citizens to allow equal opportunity to recreate.

Sincerely,



Mike Morden  
Mayor

cc: MLA Lisa Beare, Maple Ridge – Pitt Meadows  
MLA Bob D'Eith, Maple Ridge – Mission  
Union of BC Municipalities  
Maple Ridge City Council

**OFFICE OF THE MAYOR**

11995 Haney Place, Maple Ridge, BC V2X 6A9, Canada | Tel: 604-463-5221 | Fax: 604-467-7329 | [mapleridge.ca](http://mapleridge.ca)  
[enquiries@mapleridge.ca](mailto:enquiries@mapleridge.ca)

Doc #3019420



**From:** Brienne Mader <[BMader@oliver.ca](mailto:BMader@oliver.ca)>  
**Sent:** Thursday, February 24, 2022 11:10 AM  
**To:** [richard.cannings@parl.gc.ca](mailto:richard.cannings@parl.gc.ca)  
**Subject:** [External] BC Wildfires Petition – Letter of Support

Dear Mr. Cannings,

Please see the attached Letter of Support from the Town of Oliver Mayor Johansen regarding BC Wildfires Petition.

Regards,



**Brienne Mader** | Clerk/Receptionist  
p. 250 485 6200 | Email: [bmader@oliver.ca](mailto:bmader@oliver.ca)  
[Facebook](#) | [Twitter](#) | [Instagram](#) | [Voyent Alert!](#)

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February 22, 2022

Email: [Richard.cannings@parl.gc.ca](mailto:Richard.cannings@parl.gc.ca)

Mr. Richard Cannings, MP  
South Okanagan-West Kootenay  
House of Commons  
Ottawa, ON K1A 0A6

Dear Mr. Cannings:

**Re: BC Wildfires Petition – Letter of Support**

---

At the February 14, 2022 Regular meeting Oliver Council resolved to support the BC Wildfires Petition originally from the District of Lillooet, and to further request our Member of Parliament to present this letter to the Clerk of Petitions and upon receiving certification, to the House of Commons.

The BC Wildfires petition that was previously sent to BC Municipalities from the District of Lillooet, is addressed to the Government of Canada and asks for the Government of BC and Canada to empower local persons, those working with licensees, industry and contractors, Indigenous communities, ranchers and workers such as fire fighters, forestry workers, and all those that see the day-to-day issues and have front line knowledge to provide feedback on the inconsistencies and shortcomings with regard to forest management and wildfire prevention in order to help bring about much-needed change.

Inspired by the Ontario government who assembled an 'All Hazards Agency' that employs people to manage fire, flood and slides, we believe that BC needs this type of agency as well.

The Town of Oliver supports the District of Lillooet's belief that impacts to lumber prices and job availability, mill closures, current and future mudslides, damage to critical habitat, and house insurance increases are trickle effects that will continue to have detrimental effects on BC's future if we do not make necessary changes to current forest practice procedures.

Consequently, the Town of Oliver calls upon the Provincial and Federal Governments to provide better forest management and wildfire protection by assessing the current policies and guidelines to enhance those that are working to re-evaluate and change those that are not.

...2/

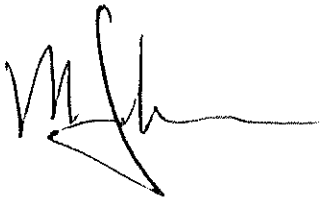


Page 2  
February 22, 2022

We respectfully request that you present our letter supporting the District of Lillooet's BC Wildfires petition to the Clerk of Petitions and upon receiving certification, to the House of Commons.

On behalf of Council, thank you for your consideration of this request.

Yours truly,

A handwritten signature in black ink, appearing to read 'M. Johansen', with a long horizontal flourish extending to the right.

Martin Johansen  
Mayor

cc Council  
Councils of BC Communities





**District of Lillooet**  
615 Main Street, PO Box 610, Lillooet, BC V0K 1V0  
**Tel:** 250-256-4289 **Fax:** 250-256-4288  
🌐 Lillooet.ca ✉ info@lillooet.ca

December 15, 2021

File #: 0400-20

*Via email:* brad.vis@parl.gc.ca

Brad Vis, MP for Mission-Matsqui-Fraser Canyon  
House of Commons  
Ottawa, Ontario K1A 0A6

**To:** Mr. Brad Vis:

**RE:** BC Wildfires Petition

---

The District of Lillooet (the "District") Councillor Laurie Hopfl has taken part in conversations with many stakeholders across our community regarding the needed changes to protect BC forests and every living thing in them.

On December 7, 2021, Councillor Hopfl made a notice of motion at the District Regular Council Meeting and sought Council support for a call to action as outlined in a petition, "BC Wildfires" that was signed by 46 Lillooet area residents.

The BC Wildfires petition, enclosed with this correspondence, is addressed to the Government of Canada and asks for the Government of BC and Canada to empower local persons, those working with licensees, industry and contractors, Indigenous communities, ranchers and workers such as fire fighters, forestry workers, and all those that see the day-to-day issues and have front line knowledge to provide feedback on the inconsistencies and shortcomings with regard to forest management and wildfire prevention in order to help bring about much-needed change.

Inspired by the Ontario government who assembled an 'All Hazards Agency' that employs people to manage fire, flood and slides, we believe that BC needs this type of agency as well.

We believe that impacts to lumber prices and job availability, mill closures, current and future mudslides, damage to critical habitat, and house insurance increases are trickle effects that will continue to have detrimental effects on BC's future if we do not make necessary changes to current forest practice procedures.

Consequently, the District of Lillooet calls upon the Provincial and Federal Governments to provide better forest management and wildfire protection by assessing the current policies and guidelines to enhance those that are working and to re-evaluate and change those that are not.

As such, the District Council passed resolution R-235-2021:

*THAT Mayor and Council accept the petition "BC Wildfires" for information;*

*AND THAT the petition be provided to the House of Commons and that MP Brad Vis may address the petition there;*

*AND THAT staff write a letter on behalf of Mayor and Council that reiterates and supports the points in the petition;*

*AND FURTHER THAT the letter be sent to the MLA, MP, and all Councils of BC communities.*

We respectfully request that you present the BC Wildfires petition to the Clerk of Petitions and upon receiving certification, to the House of Commons.

We invite other BC communities to adopt similar resolutions and join our efforts to bring about change in BC.

On behalf of Council, thank you for your consideration of this request.

Sincerely,



Mayor Peter Busse  
District of Lillooet

cc: All UBCM Member Local Governments  
Jackie Tegart, MLA for Fraser-Nicola  
encl. BC Wildfires petition

## BC Wildfires:

### Whereas:

We are calling for better forest management and wildfire prevention as well as empowering Local People, working with Licensees, Industry & Contractors, Indigenous Communities, Ranchers, and boots on the ground workers such as Fire Fighters, Forestry workers, and all those that see day to day issues and have the frontline knowledge to provide feedback on the inconsistencies and can help to create change.

Ontario created an 'All Hazards Agency' that employs people to manage fire, flood and slides. We believe BC needs this too. Create full time, year around employment for forest restoration and management for fire fighters.






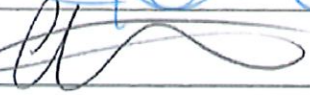
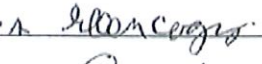
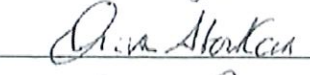

The trickle effect of lumber prices and availability along with jobs, mill closures, current and future mudslides, damage to critical habitat, and house insurance increases will have an alarming effect on BC's future if we don't change the current forest practice procedures.

We need to make a change to protect BC Forests and every living thing in it.

### Therefore:

This petition is calling on our Provincial and Federal Governments to provide better forest management and wildfire protection by assessing the current policies and guidelines to enhance those that are working and to re-evaluate and change those that are not.

Reference: Youtube: 'A Valley Destroyed', The story of Monte Lake & Paxton Valley, Part 1 & 2

	NAME (PRINT)	ADDRESS (FULL Address and City)	EMAIL (PRINT)	SIGNATURE (SIGN)
1.	Renee Angus	1-2220 Hwy 99 N Lillooet BC		Renee Angus
2.	Jaqueline Babel	697 Columbia St Lillooet, BC V0K1V0		
3.	B. Alben	7359 Hwy 12 Box 2068		
4.	D. Adolph	PO Box 264 1251 Russell St. Lillooet, B.C., V0K1V0, CA		
5.	L. Watterson	PO Box 701 #3-118 1196 Ave. Lillooet BC V0K1V0		
6.	Jami Doyle	PO Box 1843 Lillooet BC V0K1V0		
7.	Chelsea Atkinson	PO Box 2007 Lillooet BC V0K1V0		
8.	Maria Gmscher	133 PINE RIDGE RD LILLOOET, BC V0K1V0		Gmscher Maria
9.	Ellen COGGINS	PO Box 1030 LILLOOET BC V0K1V0		
10.	Erna Storkan	Box 916 Lillooet BC V0K1V0		
11.	Sarah Rommel	Box 1103 Lillooet BC V0K1V0		



THEREFORE

NAME (PRINT)	ADDRESS (FULL Address and City)	EMAIL (PRINT)	SIGNATURE (SIGN)
Robin Jones	123 Main Avenue Mission		Robin Jones
12. Betty Grossler	415 Sumner Rd		E. J. Grossler
13. BARBARA WESTON	640 SUMNER		Barbara Weston
14. Paddy Weston	116 - 11 <sup>TH</sup> AVE		P Weston
15. JANA LOND	632 MAIN ST		Jana
16. Daryle Hayward	112 Hwy		Daryle Hayward
17. Shirley Mackay	2827 Transcan Lytton, BC Hwy		S. Mackay
18. Patrik Loring	2827 Transcan Lytton, BC Hwy		Patrik L. Loring
19. B Mc Candless	Texas Ck h1		B Mc Candless
20. Debbie Cain	165 Ponderosa Hwy		Debbie Cain
21. Mario Tajama	Yalalom Rd 1990		Mario Tajama
22. JANA LOND	632 MAIN ST		Jana
23. Ron Taylor	405 Kennedy Pk		Ron Taylor
24. Karine Jolly	689 Columbia		Karine Jolly
25. Wendy Barman	Box 1402, Lillooet		Wendy Barman
26. Bill Dumas	11 11		Bill Dumas
27. BRENDAN LEE	WINNIPEG		Brendan Lee
28. LACH MACDONALD	760 MOMA RD		Lach Macdonald
29. LAUREN WHEAT	PO Box 2016 Lillooet B.C.		Lauren Wheat
30. Brian & Weeks	270 TAYLOR RD.		Brian & Weeks

ONCE BOTH SIDES OF THIS PETITION ARE COMPLETED, PLEASE RETURN THIS PAGE POSTAGE-FREE TO:

BRAD VIS, MEMBER OF PARLIAMENT – House of Commons, Ottawa, ON K1A 0A6

A paper petition must contain a minimum of 25 valid signatures with addresses. A petition must contain original signatures written directly on the document and not pasted, taped, photocopied or otherwise transferred to it. Each petitioner must sign (not print) their name directly on the petition and must not sign for anyone else. If a petitioner cannot sign because of illness or disability, this must be noted on the petition and the note signed by a witness.



PETITION TO THE GOVERNMENT OF CANADA

BC Wildfires:

Whereas:

We are calling for better forest management and wildfire prevention as well as empowering Local People, working with Licensees, Industry & Contractors, Indigenous Communities, Ranchers, and boots on the ground workers such as Fire Fighters, Forestry workers, and all those that see day to day issues and have the frontline knowledge to provide feedback on the inconsistencies and can help to create change. Ontario created an 'All Hazards Agency' that employs people to manage fire, flood and slides. We believe BC needs this too. Create full time, year around employment for forest restoration and management for fire fighters.

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Reference: Youtube: 'A Valley Destroyed', The story of Monte Lake & Paxton Valley, Part 1 & 2

NAME (PRINT)	ADDRESS (FULL Address and City)	EMAIL (PRINT)	SIGNATURE (SIGN)
Robin Jones	123 Main Avenue Mission		Robin Jones
31. LAURIE HOPL	P.O. Box 1428 Lillooet, BC		Laurie Hopf
32. G VANDERWOLF	P.O. Box 1358 Lillooet		G. Vanderwolf IS.NET
33. Hannah Weeks	270 Taylor Rd Lillooet B.C.		H Weeks
34. WAYNE COOK	Box 1507 Lillooet, B.C.		Wayne Cook
35. Bob Armitstead	Lillooet BC		Bob Armitstead
36. Ron McKay	Lillooet BC		Ron McKay
37. Michael/Sam	Lytton BC		Michael/Sam
38. Maria Torero	Lillooet		M. Torero

ONCE BOTH SIDES OF THIS PETITION ARE COMPLETED, PLEASE RETURN THIS PAGE POSTAGE-FREE TO:

BRAD VIS, MEMBER OF PARLIAMENT – House of Commons, Ottawa, ON K1A 0A6

[illegible]



## Barb Puddifant

---

**From:** ca.peters@telus.net <cathy@telus.net>  
**Sent:** Wednesday, March 9, 2022 6:32 AM  
**To:** Barb Puddifant  
**Subject:** [External] My script presentation to Federal Justice Committee re prostitution in Canada  
**Attachments:** JUST COMMITTEE presentation.pdf

Dear Mayor Alan Harrison and City Council,  
Yesterday was **International Women's Day** and I envision a future where women and girls can dream.

And accomplish all that they want without fear of exploitation.  
And a future where their lives are valued and protected.

Attached is my presentation script to the **Federal Justice Committee on February 11, 2022.**

**ASK: to present to your Council or stakeholders.**

I am available for presentations in May 2022, and October-November 2022.

**ASK: that you write the Federal Justice Minister to strengthen and enforce the "Protection of Communities and Exploited Persons Act".**

Sincerely, Cathy Peters  
BC anti-human trafficking educator, speaker, advocate  
Be Amazing; Stop Sexual Exploitation  
[beamazingcampaign.org](http://beamazingcampaign.org)  
1101-2785 Library Lane, North Vancouver, BC  
V7J 0C3  
604-828-2689

Attachments area

**JUST COMMITTEE presentation- 5 minutes**  
**February 11, 2022.**

**By:** Mrs. Cathy Peters

BC anti-human trafficking educator, speaker, advocate

1101-2785 Library Lane, North Vancouver, BC

Canada

V7J 0C3

604-828-2789

email: [Cathy@telus.net](mailto:Cathy@telus.net)

Thank you Mr. Chair.

I am a former inner city high school teacher raising awareness about Human Sex Trafficking and Sexual Exploitation for the purpose of prostitution, which is **modern day slavery**.

**Stats:**

13 years is the average age of recruitment, much younger for Indigenous girls. In the Vancouver area, the **target age has dropped** to 10-12 years old. CoVid has made this worse; traffickers are organized and sophisticated. 90% of the luring, grooming, buying and selling is **ONLINE** on social media platforms.

-54% of the sex trade are Indigenous, 70-90% in urban centers-they are **severely** over-represented in the sex industry. I told the BC Indigenous Chiefs in front of Justice Minister David Lametti- this is the **most egregious form of systemic racism** in Canada.

-82% involved in prostitution had **childhood sexual abuse/incest**

-72% live with **complex PTSD**

-95% in prostitution want to leave-it is NOT a choice or a job

**-84% of prostituted persons are pimped or trafficked** so organized crime and International crime syndicates are typically involved. Crime follows the money and traffickers make hundreds of thousands of dollars per victim per year.

My **GOAL** is to **traffick proof** every community in British Columbia **AND** to stop the full decriminalization of prostitution in Canada, by supporting the Federal Law **“The Protection of Communities and Exploited Persons Act”**.

I have been involved with sexual exploitation **prevention** for over 40 years and began raising awareness **fulltime**, for the last 8 years, since PCEPA, **became Federal Law**.

In 2014 I began presenting to politicians (all 3 levels of government), the police and the public. I explain PCEPA so that police would enforce it, the public would understand it and be able to report it.

**The Law has 4 parts:**

- 1. Targets the DEMAND by targeting the buyer of sex. The traffickers, facilitator, buyer of sex are criminalized**
- 2. Recognizes the seller of sex as a victim; usually female and is immune from prosecution**
- 3. Exit strategies are in place to assist the victim out of the sex trade.**
- 4. There is robust prevention education so youth, children and the vulnerable are not pulled into the sex industry.**

This Law focuses on the **source of harm**; the buyers of sex and the profiteers. The clear statement from Parliament was that girls and women in Canada are **NOT FOR SALE**; that they are full human beings, with dignity and human rights.

In 8 years I have made over 500 presentations to over 20,000 people, not including the presentations that can be viewed online.

The turning point was last March when the **Kamloops Mass grave** was reported. Since then I have made over 200 presentations to City Councils, Regional Districts, School Boards, Police Boards, schools, frontline service providers, Indigenous groups including MMIWG gatherings in British Columbia.



3 points:

1. PCEPA is not known or enforced in BC. Therefore, BC is the best Province in Canada to buy sex. Organized crime and International crime syndicates are typically involved.
2. PCEPA has not had a **National rollout campaign**- so Canadians have not heard of the Law and police are not getting the funding or training to enforce the Law.
3. The sex industry wants to repeal PCEPA to normalize, commercialize and institutionalize the sex industry in Canada-if this happens, Canada will become a global sex tourism destination and America's brothel. Indigenous women and girls will be first casualties. Canadians would **NEVER** support this.

**Consistent enforcement** and the strengthening of PCEPA combined with a robust **Educational campaign** is needed. Without the enforcement of the Law, the sex industry will continue to **rapidly grow**.

The REVIEW of PCEPA puts Canada at a **Tipping Point**; repealing or weakening the LAW will have a **catastrophic impact** on Canada.

**Conclusion:** I do not want anyone on this Committee to be under the **illusion** that the sex industry is **SAFE**. It can **never** be made SAFE. It is a **deadly industry**. I have presented with the forensics RCMP officer who picked up and identified the body pieces on the Robert Pickton farm. Trisha Baptie is presenting next hour, is a survivor and was a journalist for 2 years at the Pickton trial. Please read and understand the **Robert Pickton case thoroughly**; that describes the **REALITY** of the sex industry and how it works.

**Barb Puddifant**

---

**From:** Naomi Sartorius [REDACTED]  
**Sent:** Monday, March 14, 2022 4:14 AM  
**To:** Barb Puddifant  
**Subject:** [External] Rezoning 2790 20 Avenue NE

Good morning,

We have received public notice about the rezoning of 2790 20 Avenue NE. This property is directly behind our house located at 1851 30th St NE. One of the main reasons we purchased this property was because it backed into a treed area rather than more houses. While the road in front is busy, the backyard balanced that by being private. Changing the zoning to medium density will change our enjoyment and the value of our property by removing the privacy that has been there for so many years. It will be located on a busy street, but not have the advantage of a private backyard.

I am also concerned regarding the broad definition of medium density housing. According to the information supplied, the land is capable to house up to 93 units of dwelling! As much as I am concerned about housing in general behind our house, nothing would depreciate and make our house more unliveable than having apartment unit or townhouse unit behind us. That is the very opposite of the privacy we currently enjoy. Selling houses backing onto dense housing like that is very difficult. When buying, we didn't even consider any house close to an apartment or townhouse unit due to the lack of privacy and the sheer amount of people capable of then seeing into the backyard and being in the general vicinity. It is very concerning that this is allowable by the city and seemed even like they would encourage it due to the walk-ability of the location.

While this is an older neighbourhood, it has always been a quiet and private place. We do not wish to lose our privacy to additional housing and especially to the broad range of medium-density housing that is being approved. It is incredibly concerning.

Sincerely,

Naomi and Samuel Sartorius

**Barb Puddifant**

---

**From:** Stig Keskinen <[REDACTED]>  
**Sent:** Friday, March 11, 2022 12:08 PM  
**To:** Barb Puddifant  
**Subject:** [External] zoning bylaw 2303

This is in regards to the rezoning of Lot 2, Section 31, Township 20, Range 9, W6M, KDYD, Plan EPP106597 from R-1 to R-8.

I think that notification of this rezoning application was distributed to too few residents on 46th St. NE. Your *due process*, Councilor Lavery, is designed to receive as little opposition to amendments as possible. The City Council needs to amend the required distribution area to include all parties that will be affected by local variances. Not only in this neighbourhood but all neighbourhoods in the Salmon Arm electoral area.

City Council has already approved the rezoning of Lot 3 in this same subdivision. Unanimously approved once again. In my mind, there is no doubt this one will be approved as well. They have already built the suite. They must have had a high degree of confidence of this being approved. I am sure there will be more rezoning applications for some of the other lots that are to be developed as affordability will be a factor for a number of the new builds as is the case for Mr. McCaffrey. Affordability or not, the extra income is nice.

Unfortunately I will not be notified of some of these applications as your due process does not extend far enough, yet the increased traffic passing my house directly affects me.

I will reiterate my concerns. The extra traffic negotiating the ninety degree corner at 70th and 46th St. increases the odds of a collision here. And yes, the traffic will double as the new subdivision has 12 lots. This is more than the existing number of residences already using the corner. These suites will add just that much more traffic. I know you are aware of the no parking signs in this area. The signs do not stop people from parking here. Alas, phoning and complaining to bylaw does no good.

This corner is even more dangerous in the winter as people pile the snow from their driveways and the sidewalk on the roadway. The sidewalk cleaner also plows snow from the emergency access lane to the inside of this corner. This creates a narrow passageway. Again, Bylaw does not enforce the snow piling bylaw.

I know on street parking will be a problem in the Turtle Ridge subdivision area. There will be a lack of parking that will be available to all these new residents. I know that the argument will be that the homeowner is required to provide off street parking. This works in theory but it is not enforced. Even if the space is provided; it does not mean people will use it. There is no enforcement by our bylaw officers. As Sam Darlington so eloquently told me, "I have total discretion as to what bylaws are enforced."

These lots are 50 feet wide and many have shared driveway access off 46th St. There is very little room to provide extra parking on the property. In the case of 6840 46th St, (lot 2) there is a single car garage and a single lane driveway. The house is located close to the street. Many working families have two vehicles. The tenants will also likely have two vehicles. You cannot fit four vehicles in the allotted parking space provided at this location. They will park on the road.

On the west side of 46th St. there is a new sidewalk. People will park on the sidewalk. The construction workers are already constantly doing this as their vehicles are parked on both sides of the road. This forces



young children to walk on the roadway. When vehicles are parked on both sides of the road it creates single lane traffic as this is a narrow rural road.

I think no parking signs along the sidewalk portion of the road would go a long way in helping keep the younger children going to and from school safe. At least they would not be forced to walk on the roadway in single lane traffic because cars are parked on both sides of the street and sidewalk. Unfortunately this would have to be enforced and I have no confidence in our bylaw enforcement.

I am happy to hear a couple of you have taken a drive in the area. A drive is nice but you will not have to put up with this on a daily basis. You do not live in the area.

You say there is a housing shortage and these suites will provide affordable rentals. Do you already know what the home owner is going to charge for rent? What is affordable? This is a relative term. Anyone who watches the news, witnesses that rentals are sky rocketing as well. Who is to say these renters are not going to be charged \$2000.00 or more a month. Supply and demand right? Council has already admitted to a high demand.

Council is very happy to welcome all these new residents to our "small town with lousy ideas". It brings in tax dollars. These tax dollars are needed so you can send out bylaw officer Sam Darlington to hand deliver these notices AND you can also afford to mail out these same notices. What a waste of resources.

One last thought. Do you ever consider the impact on our hospital and schools when you make these decisions? The last two times I had to bring my elderly mother to emergency; the wait times were two and three hours. Maybe this does not happen to people with the right last name. Horgan received treatment quickly while others wait.

I know health care is a provincial matter; but, do you ever consider the impact on our little hospital? Are any of you lobbying the provincial government for an upgrade to our health care system? The outpatient lab wait times are also horrendous.

Stig Keskinen  
6891 46th St. NE

**From:** Ben Hall <[REDACTED]>  
**Sent:** Friday, March 11, 2022 9:29 AM  
**To:** Melinda Smyrl <[msmyrl@salmonarm.ca](mailto:msmyrl@salmonarm.ca)>  
**Cc:** Andy deHoog <[REDACTED]>  
**Subject:** [External] Development Permit No. 437

Melinda: thank-you for taking my call this morning. This email is being sent under your advisement and for Council to consider in their deliberations regarding Development Permit No. 437.

On behalf of Shuswap Community Church I'm writing to say that we have no issue regarding the variance regarding the setback of development for 700-30th St. NE.

There is some concern regarding the number of parking spots available in the development, and we would like to ensure that our parking lot is not habitually used for overflow or visitor parking for the tenants. Though the lot sits empty most of the time, there are certain weekly and season events where every available space may be needed. We don't want an issue like this to affect our ability to be good neighbours.

I appreciate Council considering our concerns and putting them on the record.

Sincerely,

Ben Hall  
Lead Pastor  
Shuswap Community Church  
[REDACTED]  
[REDACTED]

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-- Ben Hall Lead Pastor Shuswap Community Church [aplacetobelong.ca](http://aplacetobelong.ca)

## Barb Puddifant

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**From:** FRANK SIVERTZ <[REDACTED]>  
**Sent:** Friday, March 11, 2022 12:08 PM  
**To:** Barb Puddifant  
**Subject:** [External] ZON1229/bylaw 4493

hello. I got a notice about a rezoning proposal for Angoves property next to ours..being my mom ,Marguerite Sivertz and myself Frank Sivertz.

I am not in favour of this proposal or any changes made to the green space beyond the boundaries of Angove's property. However, If development was done at all please keep a gap of natural terrain--ie tree cover or non privately owned land of at least 60 feet between our property on the south boundary, and no road building on the south perimeter closer than 70 ft from our property line. and please! keep as many big trees standing as possible. I wish to attend the meeting electronically and by phone for the 7pm ,march 14 meeting.

Frank Sivertz and Marguerite Sivertz