

AGENDA

Regular Council Meeting

Monday, March 12, 2018

1:30 p.m.

[Public Session Begins at 2:30 p.m.]

Council Chamber of City Hall

500 – 2 Avenue NE

Page #	Item #	Description
	1.	CALL TO ORDER
1 - 2	2.	IN-CAMERA SESSION
	3.	ADOPTION OF AGENDA
	4.	DISCLOSURE OF INTEREST
	5.	PRESENTATIONS / DELEGATIONS
3 - 12	1.	P. McIntyre-Paul, Executive Director, Shuswap Trail Alliance – Dogs on the Foreshore Trail Monitoring Update
	6.	CONFIRMATION OF MINUTES
13 - 22	1.	Regular Council Meeting Minutes of February 26, 2018
	7.	COMMITTEE REPORTS
23 - 28	1.	Development and Planning Services Committee Meeting Minutes of March 5, 2018
29 - 32	2.	Greenways Liaison Committee Meeting Minutes of February 15, 2018
	8.	INTRODUCTION OF BYLAWS
33 - 54	1.	Zoning Amendment Bylaw No. 4250 [ZON-1115; Unruh, D. & R./Hindbo Construction Group Inc.; 4431 – 17 Street NE; R-9 to R-8] – First and Second Readings
55 - 84	2.	Zoning Amendment Bylaw No. 4251 [ZON-1117; Reimer, R. & R.; 791 – 5 Street SE; R-1 to R-4] – First and Second Readings
	9.	RECONSIDERATION OF BYLAWS
85 - 88	1.	Fee for Service Amendment Bylaw No. 4249 [Airport Terminal Building Rental] – Final Reading

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| | 10. | CORRESPONDENCE |
| 89 - 90 | 1. | Informational Correspondence |
| | 11. | STAFF REPORTS |
| 91 - 92 | 1. | Fire Chief – Sport Utility Vehicle |
| 93 - 96 | 2. | Chief Administrative Officer – Shuswap Lakes Vacations Inc. |
| 97 - 98 | 3. | Director of Engineering & Public Works – Downtown Parking Commission Downtown Salmon Arm Member Appointments |
| 99 - 102 | 4. | Director of Engineering & Public Works – Crushing of Reclaimed Asphalt Pavement (RAP) |
| 103 - 104 | 5. | Director of Engineering & Public Works – Oxidic Aerator Pump – New Pump Purchase |
| | 12. | NEW BUSINESS |
| | 13. | COUNCIL STATEMENTS |
| | 14. | COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE |
| | 15. | SALMON ARM SECONDARY YOUTH COUNCIL |
| | 16. | NOTICE OF MOTION |
| 105 - 106 | 1. | Councillor Lavery – Solar Photo Voltaic Pilot Project |
| | 17. | UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS |
| | 18. | OTHER BUSINESS |
| | 19. | QUESTION AND ANSWER PERIOD |

7:00 p.m.

(Items 20 – 24 to follow 2018 Court of Revision)

Page #	Item #	Description
	20.	DISCLOSURE OF INTEREST
	21.	HEARINGS
107 - 116	1.	Development Variance Permit No. VP-469 [McKinnon, B./Walters, R.; 2820 – 30 Street NE; Setback Variance]

22. STATUTORY PUBLIC HEARINGS

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|-----------|----|---|
| 117 - 126 | 1. | Zoning Amendment Application No. ZON-1119 [Chang, J. & P.; 1370 - 47 Avenue NE; R-1 to R-8] |
| 127 - 136 | 2. | Zoning Amendment Application No. ZON-1120 [Butler, L.; 1370 Auto Road, SE; R-1 to R-8] |

23. RECONSIDERATION OF BYLAWS

- | | | |
|-----------|----|--|
| 137 - 140 | 1. | Zoning Amendment Bylaw No. 4245 [ZON-1119; Chang, J. & P.; 1370 - 47 Avenue NE; R-1 to R-8] - Third and Final Readings |
| 141 - 144 | 2. | Zoning Amendment Bylaw No. 4246 [ZON-1120; Butler, L.; 1370 Auto Road SE; R-1 to R-8] - Third and Final Readings |

24. QUESTION AND ANSWER PERIOD

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| 145 - 146 | 25. | ADJOURNMENT |
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Item 2.

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Eliason

Seconded: Councillor Harrison

THAT: pursuant to Section 90(1) of the Community Charter, Council move In-Camera.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

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Item 5.1

CITY OF SALMON ARM

Date: March 12, 2018

PRESENTATION

Name: Phil McIntyre-Paul
Executive Director, Shuswap Trail Alliance
Dogs on the Foreshore Trail Monitoring Update

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

Foreshore (Raven) Trail Dog Monitoring 2017: REPORT

Prepared by: Phil McIntyre-Paul, The Shuswap Trail Alliance

Updated Version : March 05, 2018

For: City of Salmon Arm (Contact: Kevin Pearson, Director of Planning)

Purpose of 2017 Monitoring: to continue the Foreshore Trail Dog Monitoring program as recommended in the *Raven Foreshore Trail – Domestic Dog Management: Habitat Inventory, Compensation, Monitoring and Adaptive Plan* (January 24, 2017), including summer student surveys, in 2017 and report back to City Council on results at year end.

Scope of work/Deliverables: Description/Status. . .

- a) Implement summer student survey support for the 2017 season (5 monitor surveys/week x 16 weeks) – STATUS: completed 5 monitor surveys/week x 9 weeks (June 22 – August 28, 2017)
- b) Reconvene working group, if/as needed – STATUS: summer survey/trail report submitted to staff and Greenway Liaison Committee; working group not convened.
- c) Administration of monitoring program and working group, and ongoing review/analysis of trail report data – STATUS: summer survey/trail report submitted; working group not convened
- d) Report back to City of Salmon Arm Council and staff on survey monitoring results – STATUS: report submitted to staff and GLC; report to Council March 12, 2018.

Summary Report and Recommendations:

The *Raven Foreshore Trail – Domestic Dog Management: Habitat Inventory, Compensation, Monitoring and Adaptive Plan* (January 24, 2017) recommended conducting another full cycle of monitoring (12 months) to see how things go through winter and through another breeding season before making a conclusion on the recommendations of the report. (See *Adaptive Plan Summary* below.)

A second season of monitoring was conducted that included ongoing report tracking through the Shuswap Trail Report Hotline (trailreport@shuswaptrails.com), reporting through the City of Salmon Arm Animal Bylaw Control, and on-site compliance surveys conducted through the summer months.

The spring closure to dogs-on-leash (April 15 – June 15) was maintained with banners installed by SABNES volunteers at all entry points.

Results of 2017 summer surveys (see attached): The Nature Centre Summer Students conducted 46 surveys between June 22 and August 28, 2017. Surveys were conducted during a variety of morning, mid-day, and afternoon periods, as well as on several weekends. No surveys were conducted during the early morning or evenings, however. These time periods should be targeted in future monitoring.

Of a total 910 people using the trail during survey walks, a total of 48 dogs with trail users were observed. Of these, only 9 were non-compliant to the bylaw restrictions (1 off-leash, 7 on leashes greater than 2 m, and 1 in a restricted area - off main trail on boardwalk). 3 additional indications of dogs in restricted areas were noted, however (see below). 8 incidents of feces on trail were observed.

Results Summary: (with additional observations) 81% overall compliance, 98% on-leash compliance, 92% restricted area compliance, 83% feces compliance. (See *Adaptive Plan Summary* below.)

Trail Report input in 2017 for the Foreshore Raven Trail to the Shuswap Trail Report Hotline was minimal, with one notation of a dog on long-leash. It was, however, observed during the April 15 – June 15 closure period, warranting a higher level of concern as recommended in the 2017 Adaptive Management Plan (See attached)

Observations of Note: Three observations during the surveys warrant comment. One observation noted wet paw prints off the designated main trail around the new replantation hummocks at the north end of the nature reserve. (See photograph) A second noted two dogs on leash as per the bylaw, but completely wet. A third observation noted wet paw prints emerging from the beaver ponds. (See photograph) An additional observation from a trail user was noted of an early morning walk encountering 6 incidents of dogs off-leash. In follow-up with this trail user later in the season, however, no further incidents were noted.

While not necessarily a sign of a major trend when weighed alongside the summer on-site surveys, these observations suggest the need for a) simple barriers and signage at habitat access points, and b) a round of public reminders of the dog management adaptive program.



July 26, 2017 – off trail around hummocks



Aug. 2, 2017 – on trail by beaver lodge

City Animal Bylaw Control Reports – no reports were submitted through the City Animal Bylaw Control. It is still not clear, however, if this program is maintaining a call database. A review of this program to assess how it might support a system for ongoing reporting may be beneficial.

Conclusion: overall use with dogs was low during the 2017 summer season (5% of total use during on-site surveys). On-leash compliance appears to remain very high. Overall compliance, however, has dropped below the agreed threshold of 97% to 81%, suggesting consideration of corrective actions like educational reminders, additional signs, and simple barriers are warranted in the 2018 season. (See Adaptive Plan Summary below.)

Summary of Recommendations:

Original Recommendations: *Raven Foreshore Trail – Domestic Dog Management: Habitat Inventory, Compensation, Monitoring and Adaptive Plan* (January 24, 2017)

- Continue the monitoring program, including summer student surveys
- Reconvene monitoring working group, as needed
- Maintain spring closure (April 15 – June 15)
- Implement further compensation – building on the current sewer repair compensation initiative (See Habitat Compensation Plan, 2017)
- Implement annual “State-of-the-Bay” Symposium as recommended in the 2004 Habitat Conservation Strategy (See Salmon Arm Bay Habitat Conservation Strategy, 2004, p. 30)
- Allocate annual budget to support ongoing Foreshore trail monitoring and maintenance

Additional Recommendations from 2017 monitoring season:

- Install simple barriers and signage at habitat access points along the main trail
- Conduct a round of public reminders of the dog management adaptive program
- Target addition of early morning and evening monitoring in the summer surveys
- Review City Animal Bylaw Control program to assess how it might support a system for ongoing reporting.

Budget Recommendations: (from January 24, 2017)

- To implement the recommendations in 2017, the following resource needs were projected:

Action:	Resource Need:
Summer student survey support (5 monitor surveys/week x 16 weeks)	\$2250
Annual administration of monitoring program and working group, and ongoing review/analysis of trail report data	City in-kind (or \$1200 outsourced)
Reconvene working group, as needed	Participant in-kind/city chaired
Additional educational signage (4 locations at \$250/sign = \$1000)	\$1000 + City in-kind for installation
Maintain spring closure (April 15 – June 15)	Attach existing banners (SABNES in-kind)
State-of-the-Bay Conference (administration, meeting costs, facilitation)	\$5000

ATTACHMENTS...

Foreshore Trail Dog-Monitoring Adaptive Plan Summary: (See: *Raven Foreshore Trail – Domestic Dog Management: Habitat Inventory, Compensation, Monitoring and Adaptive Plan* (January 24, 2017))

Results: what the adaptive management plan is attempting to achieve. . .

- **Goal 1:** Maintain functional ecosystems and where possible, enhance plant and animal resources in concert with the broader resources of the bay area.
- **Goal 2:** Allow compatible public recreational and educational use of the area only to the extent that it does not conflict with Goal 1.

(See Habitat Management Plan, 2004, page 24)

The adaptive plan builds on a testable question: “Will the mitigation effort (new signage for leash and closure restrictions) maintain an appropriate level of compliance for dog walking on the foreshore trail?”

Desired Behaviours: actions by users that are most likely to achieve the results above. . .

- All dogs on restricted (2.0 m) leash on foreshore trail only; no dogs on other trails;
- No dogs off leash (City SA Resolution 0438-2015)
- No dogs between April 15 – June 15
- All dog feces removed

(See Habitat Management Plan, 2004, page 29, City of Salmon Arm Resolution 0438-2015, and City SA Bylaw #2119)

Indicators: what should be measured to determine if the results are being achieved. . .

- Observed compliance to dog access restrictions
- Observed compliance to feces removal
- Signs of dog-related habitat disturbance
- Signs of dog-related wildlife displacement

Limits of Acceptable Change: agreed upon limit of change to the above indicators, beyond which corrective actions would be required. Agreed the acceptable limits varied depending on the potential risk and severity of harm.

- ***the goal is 100% compliance, but 97% is an acceptable threshold limit.*** Any trend below this level of compliance would trigger the need for a response.
- ***High risk observations requiring immediate response*** include: observed harassment of wildlife by dogs both off-leash and on-leash; also dog-off-leash, and dogs during critical nesting season. Clear incidents of habitat damage or wildlife harassment or dogs on trail during closures (high risk limits) would warrant immediate response, regardless of the monitoring trends.
- ***Education Period*** – time to allow for a little more tolerance to bring people into compliance was reasonable; but some changes may not be able to wait for time to see people educated – example: maintaining grebe population, diminishing seagull population – these require immediate response. Agreed the window of education is very narrow in critical areas.

. . .adaptive plan summary continued next page. . .

Mitigation Actions: answer how to achieve the desired behaviours. The current mitigation actions identified for this phase of the plan were:

- Education & compliance – messaging: the Working Group advocated a positive, collaborative, solutions focused tone and approach in all communications (says what to do and why, rather than what not to do). Update bulletins were attached to all new bylaw signs along the trail (7 locations). These bulletin included information on the methods to report observations.
- Signage – City bylaw signage was installed in February 2016 at both trailheads, each boardwalk and viewing platform, entry to Christmas Island, and the social entry point off 17th Street. As well, seasonal closure banners were installed on both trailhead gates between April 15 and June 15th. Additional information bulletins were installed to all bylaw signs (see above). As well, SABNES installed an informational banner on the Christmas Island.
- Community PR – media: a news release was circulated during the April 15 – June 15 closure
- Leash lengths – leash length limits are posted on all bylaw signs
- Dog feces bag dispensers – City of Salmon Arm staff installed dog feces bag dispensers at both trailheads.
- Trail ambassadors – working group members joined SABNES volunteers, Shuswap Naturalists, and Greenway volunteers in regularly walking, monitoring, talking to, and encouraging trail users to join in helping to care for the foreshore through compliance and stewardship support.
- Trail closure periods – the April 15 to June 15 Closure to Dogs during the critical nesting period was communicated to the public through the media, colourful trailhead banners, and social media posts (Shuswap Trails eBulletin and Facebook).

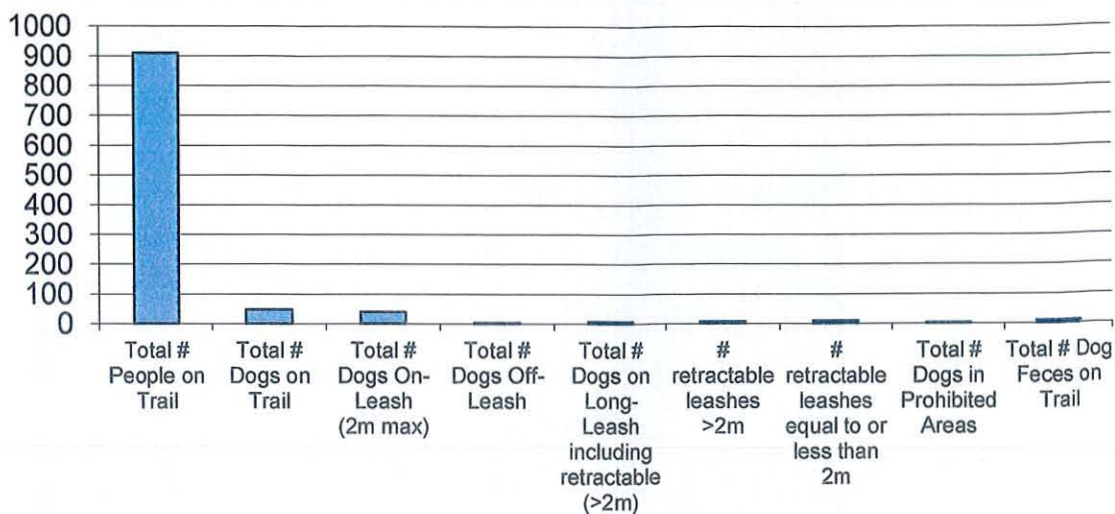
Corrective Actions: These are actions triggered if monitoring suggests that indicators have exceeded acceptable limits. Broadly speaking, they include:

- Adapting or increasing trail user education, messaging, and/or signage efforts
- Increased trail stewardship efforts
- Review photos to determine if more individual targeted approach is necessary
- Adapting restrictions (e.g. decrease length of leash restriction)
- Restricting access
- Extend dog closure period
- Close trail to all dog walkers
- Rehabilitation

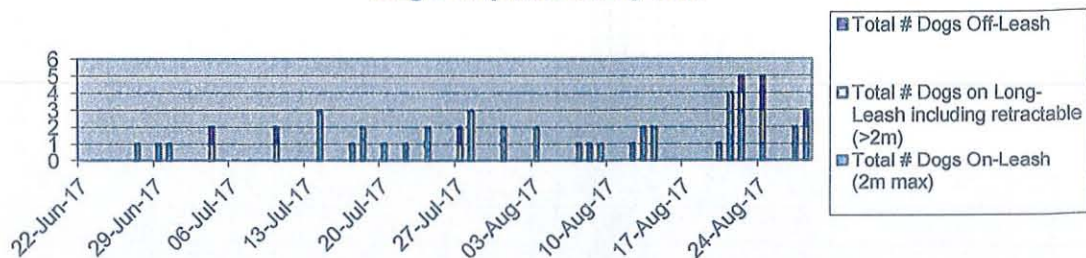
2017 Summer Survey: Data Results

Report #	Date	Monitor Name	Time On	Time Off	Start/End Location	Environmental Conditions (Sun/Cloud, Temp, etc)	Total # People on Trail	Total # Dogs on Trail	Total # Dogs On-Leash (2m max)	Total # Dogs Off-Leash	Total # Dogs on Long-Leash (retractable >2m)	# retractable leashes >2m	# retractable leashes equal to or less than 2m	Total # Dogs in Prohibited Areas	List Prohibited Areas	Total # Dog Feces on Trail	Comments (Photos taken, response from trail users)		
1	22-Jun-17	Adrian	10:45 AM	11:25 AM	West Glen/ Xmas bl	Sunny and Hot	14	0	0	0	0	0	0	0	0	0	0	Paid to leave the majority of people from westgate-xmas bl	
2	22-Jun-17	Hayley	2:20 PM	2:48 PM	West Glen/ Xmas bl	Sun some cloud 22 deg	10	0	0	0	0	0	0	0	0	0	0	From westgate-xmas bl there is a patch of invasive Orange Daisies on the hill side	
3	26-Jun-17	Adrian	10:05 AM	10:30 AM	West Glen/ Xmas bl	Overcast	59	0	0	0	0	0	0	0	0	0	0	Emergency Class Field Trip	
4	27-Jun-17	Kayla	3:08 PM	3:27 PM	West Glen/ Xmas bl	Sunny and very warm with a light breeze	6	1	1	0	0	0	0	0	0	0	0	Had to pick up garbage	
5	28-Jun-17	Kayla	4:11 PM	4:32 PM	West Glen/ Xmas bl	Sun some cloud -20 deg	3	0	0	0	0	0	0	0	0	0	0	Found cat sp. lies on ground at path. 7 sign about 5 cigarette butts	
6	28-Jun-17	Hayley	11:18 AM	11:40 AM	West Glen/ Xmas bl	On some lit, hot out. Sun with no clouds	13	1	1	0	0	0	0	0	0	0	0	Picked up some McDonalds litter and there was a man smoking on the bench. Litter or the bench?	
7	30-Jun-17	Hayley	12:19 PM	12:39 PM	West Glen/ Xmas bl	Sunny and hot	9	1	1	0	0	0	0	0	0	0	0	Remarked Tour	
8	3-Jul-17	Adrian	10:20 AM	11:15 AM	West Glen/ Xmas bl	Sunny and hot	9	0	0	0	0	0	0	0	0	0	0	People approached in some trees. 1	
9	4-Jul-17	Hayley	1:46 PM	2:19 PM	West Glen/ Xmas bl	Sunny and hot	7	1	0	0	0	0	0	0	0	0	0	At cigarette butts	
10	5-Jul-17	Kayla	12:57 PM	1:35 PM	West Glen/ Xmas bl	Sunny and hot	8	0	0	0	0	0	0	0	0	0	0	A man riding down the trail on a blue motorcycle. Shout but did not stop	
11	6-Jul-17	Hayley	12:19 PM	12:45 PM	West Glen/ Xmas bl	Sunny 32 deg	3	0	0	0	0	0	0	0	0	0	0	Water is receding, should be able to get to the next board walk within the week. If the weather holds	
12	8-Jul-17	Hayley	1:19 PM	1:48 PM	West Glen/ Xmas bl	Sunny and hot, heavy due to flies	6	0	0	0	0	0	0	0	0	0	0	The water has receded. Can probably make it to many didn't go to trail	
13	10-Jul-17	Hayley	12:35 PM	1:23 PM	Westgate - End of bridge board walk	Warm and hot	29	1	0	0	0	0	0	0	0	0	0	Had to pick up some McDonalds litter and there was a man smoking on the bench. Litter or the bench?	
14	11-Jul-17	Kayla	11:04 AM	12:44 PM	Westgate-xmas/westgate	Warm, mostly haze	17	0	0	0	0	0	0	0	0	0	0	Had to pick up some McDonalds litter and there was a man smoking on the bench. Litter or the bench?	
15	12-Jul-17	Hayley	2:08 PM	3:34 PM	Westgate-xmas/westgate	Sun with clouds 28 deg hot	13	0	0	0	0	0	0	0	0	0	0	Trail after long board walk is very sandy. Disposed decision taken here, and one more more	
16	14-Jul-17	Hayley	8:32 AM	9:05 AM	West gate - two blockage	Sunny and blue sky - relatively cool	11	3	3	0	0	0	0	0	0	0	0	People were clustered. One family with dog on leash but their child was up	
17	17-Jul-17	Kayla	11:15 AM	12:58 PM	Westgate-xmas/westgate	Warm, light breeze, very windy	41	1	1	0	0	0	0	0	0	0	0	Two dogs were worn on leashes, but were not as if they had been	
18	18-Jul-17	Hayley	1:38 PM	3:01 PM	Westgate-xmas/westgate	Sunny hot	29	2	2	0	0	0	0	0	0	0	0	One dog was on a leash, but was not as if they had been	
19	20-Jul-17	Hayley	10:39 AM	11:46 AM	Westgate-xmas/westgate	Cloudy with sunny breaks some rain around 18 deg	13	1	1	0	0	0	0	0	0	0	0	Dog leashes in bag on side of trail. Some empty bags around trail as well	
20	21-Jul-17	Kayla	11:33 AM	12:49 PM	Westgate-xmas/westgate	Warm, sunny, a few clouds, light	25	0	0	0	0	0	0	0	0	0	0	Lots of people on bikes.	
21	22-Jul-17	Hayley	1:37 PM	2:54 PM	Westgate-xmas/westgate	22 degrees sun with clouds	22	1	1	0	0	0	0	0	0	0	0	0	Talked to a couple with a dog on retractable leash no longer than 2m. They suggested extending dog leash for meeting to the end of June
22	24-Jul-17	Kayla	12:16 PM	1:47 AM	Westgate-xmas/westgate	Hot, clear, breezy	27	2	2	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
23	25-Jul-17	Hayley	2:12 PM	3:29 PM	Westgate-xmas/westgate	Hot sunny -26 deg	18	0	0	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
24	26-Jul-17	Kayla	12:57 PM	2:27 AM	Westgate-xmas/westgate	Clear, sunny, hot	23	0	0	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
25	27-Jul-17	Hayley	8:30 AM	9:21 AM	Westgate-xmas/westgate	Sunny warm	21	1	1	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
26	28-Jul-17	Kayla	10:27 AM	11:35 AM	Westgate-xmas/westgate	Overcast, warm, light breeze	36	3	3	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
27	31-Jul-17	Kayla	12:29 PM	2:08 AM	Westgate-xmas/westgate	Hot, sunny	20	2	2	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
28	1-Aug-17	Hayley	11:33 AM	12:46 PM	Westgate-xmas/westgate	Warm and very windy	12	0	0	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
29	2-Aug-17	Kayla	12:49 PM	1:55 AM	Westgate-xmas/westgate	Hot, sunny, light breeze	9	0	0	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
30	3-Aug-17	Hayley	8:40 AM	9:23 AM	Westgate-xmas/westgate	Warm, sunny, breezy	10	2	2	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
31	7-Aug-17	Hayley	2:17 PM	3:23 PM	Westgate-xmas/westgate	Hot sunny	30	1	1	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
32	8-Aug-17	Kayla	2:20 AM	3:32 PM	Westgate-xmas/westgate	Hot sunny	6	1	1	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
33	9-Aug-17	Hayley	12:06 PM	1:13 PM	Westgate-xmas/westgate	Warm, sunny, 26 deg	17	1	1	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
34	10-Aug-17	Hayley	2:39 PM	3:45 PM	Westgate-xmas/westgate	28 degrees, hot, warm, smoke	13	0	0	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
35	12-Aug-17	Ryon	3:08 PM		Raven - Westgate	32 degrees, hot, warm, smoke	12	1	1	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
36	13-Aug-17	Ryon	9:00 AM	10:00 AM	Raven - Westgate	22 degrees cloudy and grey	10	2	2	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
37	14-Aug-17	Kayla	10:41 AM	11:55 AM	Westgate-xmas/westgate	Overcast cool breezy	45	2	2	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
38	16-Aug-17	Hayley	11:42 AM	12:59 PM	Westgate-xmas/westgate	Sun with some smoke, 25 degrees	25	1	0	1	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
39	17-Aug-17	Kayla	3:21 PM	4:24 AM	Westgate-xmas/westgate	Hot, sunny, light breeze	17	0	0	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
40	18-Aug-17	Hayley	8:53 AM	10:22 AM	Westgate-xmas/westgate	22 degrees sun with clouds and finally some clear air	22	0	0	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
41	20-Aug-17	Ryon	4:00 PM	4:40 PM	Westgate	mixed sun & cloud 23 deg C	9	1	1	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
42	21-Aug-17	Kayla	1:36 PM	2:38 PM	Westgate-xmas/westgate	warm overcast or smoke haze	22	4	4	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
43	22-Aug-17	Kayla	10:19 AM	11:40 AM	Westgate-xmas/westgate	clear, sunny, warm	72	4	3	0	1	1	1	0	0	0	0	0	Water of sun and wet dog, some wet dogs
44	24-Aug-17	Kayla	10:21 AM	11:35 AM	Westgate-xmas/westgate	clear, partly sunny, warm, windy	55	3	1	0	2	2	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
45	27-Aug-17	Ryon	4:00 PM	5:05 PM	Westgate-xmas/westgate	warm 27 deg, mixed sun & cloud	3	2	2	0	0	0	0	0	0	0	0	0	Water of sun and wet dog, some wet dogs
46	28-Aug-17	Kayla	10:11 AM	11:16 AM	Westgate-xmas/westgate	hot, sunny, clear	28	2	1	0	1	1	1	0	0	0	0	0	Water of sun and wet dog, some wet dogs
TOTALS ROW...							910	48	40	1	7	7	9	1	1	1	1	1	

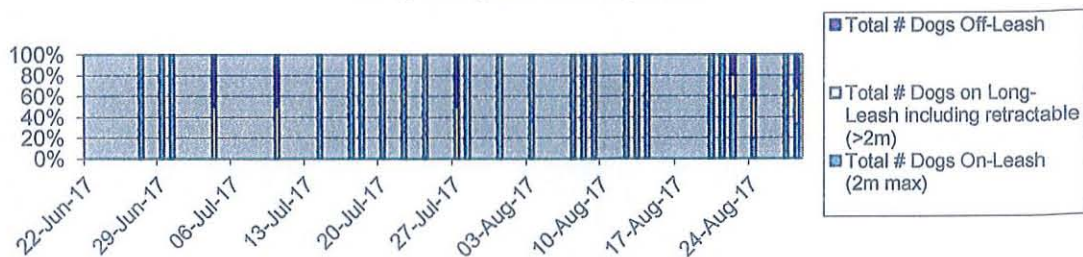
Foreshore Trail Monitoring Survey Totals



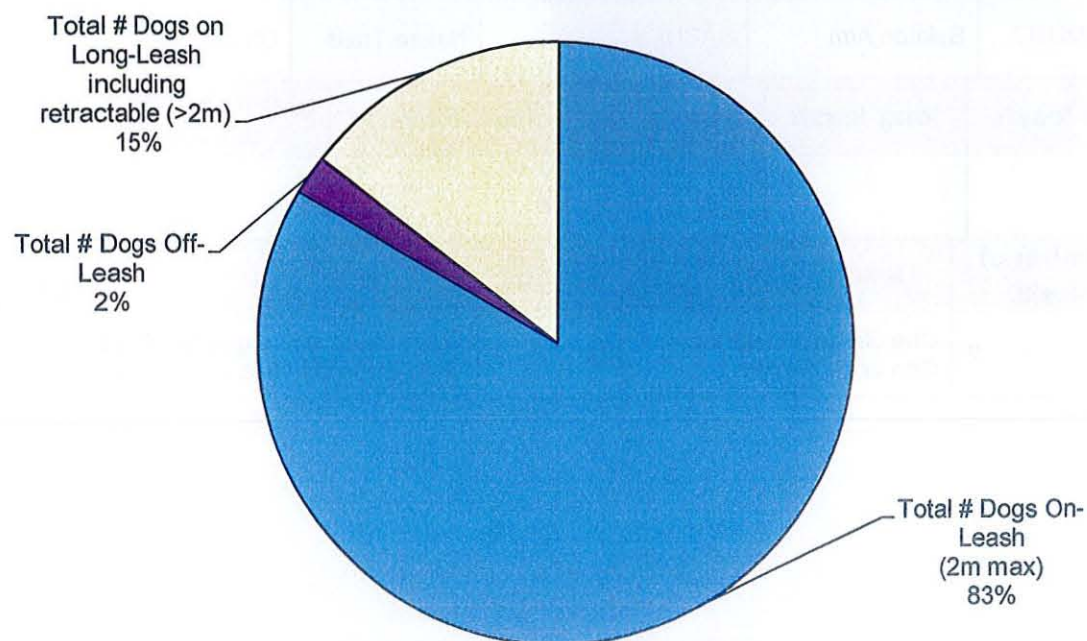
Dog Compliance: # by Date



Dog Compliance: % by Date



Foreshore Trail Dog Monitoring: Overall Compliance



Note: does not include # dogs noted in Prohibited Area or additional observations.

2017 Trail Report Hotline Reports: (trailreport@shuswaptrails.com)

Date Received	Shuswap Area	Trail System	Trail	Location
14/05/2017	Salmon Arm	SABNES	Nature Trails	On trail
off-leash	long-leash	restricted area	closure period	harassing wildlife
N	Y	Y	Y	N
Number of dogs	Description of dog	Photo?	Comments	
2	One German Shepard - One large black dog	N	One woman with a german shepard - large group with a laarge black dog	

Item 6.1

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: the Regular Council Meeting Minutes of February 26, 2018, be adopted as circulated.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

REGULAR COUNCIL

Minutes of a Regular Meeting of Council of the City of Salmon Arm held in the Council Chamber of the City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on **Monday, February 26, 2018.**

PRESENT:

Mayor N. Cooper
 Councillor K. Flynn
 Councillor T. Lavery
 Councillor L. Wallace Richmond
 Councillor A. Harrison (entered the meeting at 2:30)
 Councillor C. Eliason (left the meeting at 5:03 p.m.)
 Councillor K. Jamieson (entered the meeting at 2:30)

Chief Administrative Officer C. Bannister
 Corporate Officer E. Jackson
 Director of Engineering & Public Works R. Niewenhuizen
 Director of Development Services K. Pearson
 Recorder B. Puddifant

ABSENT:

1. CALL TO ORDER

Mayor Cooper called the meeting to order at 1:30 p.m.

2. IN-CAMERA SESSION

0064-2018 Moved: Councillor Jamieson
 Seconded: Councillor Wallace Richmond
 THAT: Pursuant to Section 90 (1) of the Community Charter, Council move In-Camera.

CARRIED UNANIMOUSLY

Council moved In-Camera at 1:30 p.m.

Council returned to Regular Session at 2:24 p.m.

Council recessed until 2:30 p.m.

Councillors Harrison and Jamieson entered the meeting at 2:30 p.m.

3. REVIEW OF AGENDA

Addition under Item 10.1.22 – J. Elliot, Reporter, Eagle Valley News/Salmon Arm Observer – email dated February 21, 2018 – Alberta Wine Ban

Addition under Item 10.1.23 – Salmon Arm Chamber of Commerce – email dated February 22, 2018 – New Date: Chamber Business Mixer

4. **DISCLOSURE OF INTEREST**

5. **PRESENTATIONS / DELEGATIONS**

1. **T. Mick, General Manager, S. Atkinson, Head Coach, D. Killip, Assistant Coach and G. Constable, Captain, Salmon Arm Silverbacks Hockey Club – Ticket Sales Initiative**

Troy Mick, General Manager, Scott Atkinson, Head Coach, David Killip, Assistant Coach and Grayson Constable, Team Captain, Salmon Arm Silverbacks Hockey Club provided an update on the Hockey Club and information on season ticket sales and were available to answer questions from Council.

2. **L. Wong, Manager, Downtown Salmon Arm – Downtown Salmon Arm - Update**

Lindsay Wong, Manager, Downtown Salmon Arm provided an update on Downtown Salmon Arm and was available to answer questions from Council.

6. **CONFIRMATION OF MINUTES**

1. **Regular Council Meeting Minutes of February 13, 2018**

0065-2018

Moved: Councillor Eliason

Seconded: Councillor Lavery

THAT: the Regular Council Meeting Minutes of February 13, 2018, be adopted as circulated.

CARRIED UNANIMOUSLY

7. **COMMITTEE REPORTS**

1. **Development and Planning Services Committee Meeting Minutes of February 19, 2018**

0066-2018

Moved: Councillor Harrison

Seconded: Councillor Flynn

THAT: the Development and Planning Services Committee Meeting Minutes of February 19, 2018, be received as information.

CARRIED UNANIMOUSLY

2. **Environmental Advisory Committee Meeting Minutes of February 1, 2018**

0067-2018

Moved: Councillor Lavery

Seconded: Councillor Wallace Richmond

THAT: the Environmental Advisory Committee Meeting Minutes of February 1, 2018, be received as information.

CARRIED UNANIMOUSLY

7. COMMITTEE REPORTS - continued

3. Community Heritage Commission Meeting Minutes of December 15, 2017

0068-2018 Moved: Councillor Wallace Richmond
 Seconded: Councillor Flynn
 THAT: the Community Heritage Commission Meeting Minutes of December 15, 2017, be received as information.

CARRIED UNANIMOUSLY

4. Community Heritage Commission Meeting Minutes of January 19, 2018

0069-2018 Moved: Councillor Wallace Richmond
 Seconded: Councillor Jamieson
 THAT: the Community Heritage Commission Meeting Minutes of January 19, 2018, be received as information.

CARRIED UNANIMOUSLY

5. Downtown Parking Commission Meeting Minutes of January 16, 2018

0070-2018 Moved: Councillor Eliason
 Seconded: Councillor Flynn
 THAT: the Downtown Parking Commission Meeting Minutes of January 16, 2018 be received as information.

CARRIED UNANIMOUSLY

6. Social Impact Advisory Committee Meeting Minutes of November 28, 2017

0071-2018 Moved: Councillor Wallace Richmond
 Seconded: Councillor Eliason
 THAT: the Social Impact Advisory Committee Meeting Minutes of November 28, 2017, be received as information.

CARRIED UNANIMOUSLY

8. INTRODUCTION OF BYLAWS

1. Zoning Amendment Bylaw No. 4245 [ZON-1119; Chang, P. & J.; 1370 - 47 Avenue NE; R-1 to R-8] - first and second readings

0072-2018 Moved: Councillor Harrison
 Seconded: Councillor Flynn
 THAT: the bylaw entitled Zoning Amendment Bylaw No. 4245, be read a first and second time.

CARRIED UNANIMOUSLY

8. INTRODUCTION OF BYLAWS - continued

2. Zoning Amendment Bylaw No. 4246 [ZON-1120; Butler, L.; 1370 Auto Road SE; R-1 to R-8] - first and second readings

0073-2018

Moved: Councillor Lavery

Seconded: Councillor Jamieson

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4246, be read a first and second time.

CARRIED UNANIMOUSLY

Councillor Jamieson left the meeting at 3:24 p.m.

3. Fee for Service Amendment Bylaw No. 4249 [Airport User Fees] - first, second and third readings

0074-2018

Moved: Councillor Flynn

Seconded: Councillor Eliason

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendment Bylaw No. 4249 be read a first, second and third time;

AND THAT: Council authorize the Mayor and Corporate Officer to execute a one (1) year lease agreement (April 1, 2018 to October 31, 2018) with Rick Scott dba North Okanagan Vertical Adventures for the use of 67.6 square meters of floor space in the Shuswap Regional Airport (Salmon Arm) terminal building for a monthly rent of \$600.00 plus GST for the main floor area and \$600.00 plus GST for the basement floor area subject to *Community Charter* notification requirements and adoption of Salmon Arm Fee for Service Amendment Bylaw No. 4249.

CARRIED UNANIMOUSLY

9. RECONSIDERATION OF BYLAWS

Councillor Jamieson returned to the meeting at 3:26 p.m.

10. CORRESPONDENCE

1. Informational Correspondence

3. B. Savoie & M. Kuster - letter received February 15, 2018 - Friendship Day Soap Box Derby

0075-2018

Moved: Councillor Harrison

Seconded: Councillor Lavery

THAT: Council approve Friendship Day on September 22, 2018 with soap box racing from 1:00 - 4:00 p.m. on Hudson Avenue subject to the provision of adequate liability insurance.

CARRIED UNANIMOUSLY

10. CORRESPONDENCE - continued**1. Informational Correspondence - continued**

8. L. Wong, Manager, Downtown Salmon Arm - letter dated February 5, 2018 - 38th Annual Terry Fox run, now proclaimed to be "Terry Fox Day", Sunday September 16, 2018

0076-2018

Moved: Councillor Flynn

Seconded: Councillor Wallace Richmond

THAT: Council authorize Downtown Salmon Arm to use Blackburn Park from 8:00 a.m. to 1:00 p.m. on September 16, 2018 to host the annual fundraising event for the Terry Fox Foundation subject to the provision of adequate liability insurance and any applicable fees.

CARRIED UNANIMOUSLY

Councillor Wallace Richmond left the meeting at 3:43 p.m.

Councillor Wallace Richmond returned to the meeting at 3:44 p.m.

11. STAFF REPORTS**1. Corporate Officer - Avon Parking Lot Agreement**

0077-2018

Moved: Councillor Eliason

Seconded: Councillor Harrison

THAT: Council authorize the Mayor and Corporate Officer to execute a Lease Agreement with W.H. Laird Holdings Ltd. for the City to use Lots 16 (part) and 17, Section 14, Township 20, Range 10, W6M, KDYD, District Plan 304, except Plan 15141 (130 Hudson Avenue NE) for the term of March 1, 2018 to February 29, 2020 as a Downtown Parking Commission parking lot for an annual fee of 50% of the annual revenue.

CARRIED UNANIMOUSLY

2. Corporate Officer - Shuswap Regional Airport Commission Appointments

0078-2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: Council appoint the following individuals as the City of Salmon Arm representatives, to the Shuswap Regional Airport Commission for a two (2) year term expiring December 31, 2019:

- Councillor Alan Harrison, City of Salmon Arm
- Monica Dalziel, Chief Financial Officer
- Robert Niewenhuizen, Director of Engineering and Public Works; and
- Tim Auger, Salmon Arm Flying Club.

CARRIED UNANIMOUSLY

11. STAFF REPORTS - continued**3. Director of Engineering & Public Works - Summary of Recommendations from Grade Crossing Assessments**

Received for information.

4. Director of Engineering & Public Works - 30 Street & 9 Avenue NE Intersection - Award of Intersection Options Development

0079-2018

Moved: Councillor Flynn

Seconded: Councillor Lavery

THAT: Council award the 30 Street & 9 Avenue NE Intersection Options Development to Opus International Consultants (Canada) Limited, in accordance with the February 6, 2018 proposal for an estimated cost of \$18,710.00 plus taxes as applicable; and further authorize the waiver of the City's Purchasing Policy No. 7.13 for this procurement.

CARRIED UNANIMOUSLY

5. Director of Engineering & Public Works - 10 Avenue SE Storm Main Extension - Award of Tender, Construction and Record Engineering Services

0080-2018

Moved: Councillor Eliason

Seconded: Councillor Jamieson

THAT: Council award the Tender, Construction and Record Engineering Services for the 10 Avenue SE Storm Main Extension project to Lawson Engineering and Development Services, in accordance with the February 7, 2018 proposal for an estimated cost of \$16,300.00 plus taxes as applicable; and further authorize the waiver of the City's Purchasing Policy No. 7.13 for this procurement.

CARRIED UNANIMOUSLY

6. Director of Engineering & Public Works - Airport Fuel Supply - Proposal Award

0081-2018

Moved: Councillor Harrison

Seconded: Councillor Wallace Richmond

THAT: Council award the Airport Fuel Supply System Project No. ENG2017-57 to Aviation Ground Fueling Technologies Ltd., in accordance with their revised proposal dated February 13, 2018, for an estimated cost of \$286,310.00 plus taxes as applicable.

CARRIED UNANIMOUSLY

7. Director of Development Services - Panhandling (Soliciting) in Public Spaces

Received for information.

0082-2018

Moved: Councillor Harrison

Seconded: Councillor Lavery

THAT: Council direct staff to draft a panhandling Bylaw for Council consideration.

CARRIED UNANIMOUSLY

Councillor Eliason left the meeting at 4:46 p.m.

Councillor Eliason returned to the meeting at 4:48 p.m.

12. NEW BUSINESS

1. BC Strategic Wildfire Protection Initiative – Community Wildfire Protection Plan

0083-2018

Moved: Councillor Lavery

Seconded: Councillor Jamieson

THAT: Council direct staff to prepare a report regarding an application to the UBCM administered Strategic Wildfire Prevention Initiative (SWPI) Fuel Management Prescription Program, to include:

- a) the current status of the Community Wildfire Prevention Plan funding stream;
- b) a recommended RFP or other process to proceed with a first phase of fuel management prescriptions;
- c) the anticipated budgetary implications and staff resource requirements; and
- d) potential collaboration with neighbouring First Nations.

T. Smith, General Manager of Silvatech Consulting Ltd. and S. Vincenzi, Manager of Sk'atsin Resources, Inc., spoke regarding the Wildfire Protection Plan and were available to answer questions from Council.

Councillor Eliason left the meeting at 5:03 p.m.

CARRIED UNANIMOUSLY

8. Chief Financial Officer – Business Improvement Area – 2018 Annual Budget – 2017 Revenue & Expense Statement

0084-2018

Moved: Councillor Jamieson

Seconded: Councillor Lavery

THAT: Council approve the Business Improvement Area 2018 Budget and 2017 Revenue and Expense Statements as presented.

CARRIED UNANIMOUSLY

9. Corporate Officer – Housing Task Force Update

Councillors Wallace Richmond and Lavery presented an update regarding the Housing Task Force and were available to answer questions from Council.

0085-2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Lavery

THAT: the Housing Task Force membership be amended to include Neskonlith and Adams Lake Indian Band representation and two (2) Citizens at Large positions that will be advertised to the public;

AND THAT: Council will appoint all members of the Housing Task Force.

CARRIED UNANIMOUSLY

13. COUNCIL STATEMENTS

1. Committees of Council/Agency Representatives

Members of Council reported on the Committees and Agencies they represent.

Paralympian Natalie Wilkie – Letter of Support.

0086-2018

Moved: Mayor Cooper

Seconded: Councillor Jamieson

THAT: Council send a letter of support to paralympian Natalie Wilkie.

CARRIED UNANIMOUSLY

14. COLUMBIA SHUSWAP REGIONAL DISTRICT UPDATE

1. 2018 Budget – Salmon Arm Tax Requisition

Received for information.

0087-2018

Moved: Councillor Flynn

Seconded: Councillor Lavery

THAT: Council support, in principal, the Columbia Shuswap Regional District 2018 Salmon Arm Tax Requisition.

CARRIED UNANIMOUSLY

15. SALMON ARM SECONDARY YOUTH COUNCIL

16. NOTICE OF MOTION

17. UNFINISHED BUSINESS AND DEFERRED / TABLED ITEMS

18. OTHER BUSINESS

1. Southern Interior Local Government Association – Councillor Lavery

Councillor Lavery provided an overview of the Southern Interior Local Government Association's Mission Statement and goals and was available to answer questions from Council.

19. QUESTION AND ANSWER PERIOD

Council held a Question and Answer session with the members of the public present.

20. ADJOURNMENT

0088-2018

Moved: Councillor Lavery

Seconded: Councillor Harrison

THAT: the Regular Council Meeting of February 26, 2018, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 5:40 p.m.

CERTIFIED CORRECT:

Adopted by Council the day of 2018.

CORPORATE OFFICER

MAYOR

Item 7.1

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Harrison

Seconded: Councillor Jamieson

THAT: the Development and Planning Services Committee Meeting Minutes of March 5, 2018, be received as information.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

DEVELOPMENT AND PLANNING SERVICES COMMITTEE

Minutes of a Meeting of the Development and Planning Services Committee of the City of Salmon Arm held in the Council Chambers of the City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on **Monday, March 5, 2018.**

PRESENT:

Mayor N. Cooper
Councillor L. Wallace Richmond
Councillor A. Harrison
Councillor K. Jamieson

Chief Administrative Officer C. Bannister
Corporate Officer E. Jackson
Director of Development Services K. Pearson
Director of Engineering & Public Works R. Niewenhuizen
Recorder B. Puddifant

ABSENT:

Councillor C. Eliason
Councillor K. Flynn
Councillor T. Lavery

1. CALL TO ORDER

Mayor Cooper called the meeting to order at 8:00 a.m.

2. REVIEW OF THE AGENDA

3. DECLARATION OF INTEREST

4. PRESENTATIONS

5. REPORTS

1. Zoning Amendment Application No. ZON-1117 [Reimer, R. & R.; 791 - 5 Street SE; R-1 to R-4]

Moved: Councillor Harrison

Seconded: Councillor Wallace Richmond

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 5, Section 14, Township 20,

5. REPORTS - continued**1. Zoning Amendment Application No. ZON-1117 [Reimer, R. & R.; 791 – 5 Street SE; R-1 to R-4] - continued**

Range 10, W6M, KDYD, Plan 5725 (791 – 5 Street SE) from R-1 (Single Family Residential) to R-4 (Medium Density Residential Zone);

AND THAT: Final reading of the Bylaw be withheld subject to approval of the Bylaw by the Ministry of Transportation and Infrastructure.

M. Lamerton and J. Franklin, agents for the applicant, outlined the application and were available to answer questions from the Committee.

R. Reimer, the applicant, addressed neighborhood concerns and was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

2. Zoning Amendment Application No. ZON-1115 [Unruh, D. & R. / Hindbo Construction Group Inc.; 4431 – 17 Street NE; R-9 to R-8]

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: the Development and Planning Services Committee recommends to Council that a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning proposed Lot B shown on the Subdivision Plan prepared by Browne Johnson Land Surveyors received January 19, 2018 (File No. 656 – 17) attached as Appendix 5 to the staff report dated February 22, 2018, from R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone).

C. Hindbo, agent for the applicant, was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

3. Development Variance Permit Application No. VP-468 [Unruh, D. & R. / Hindbo Construction Group Inc.; 4431 – 17 Street NE; Accessory Building and Retaining Wall Height]

Moved: Councillor Jamieson

Seconded: Councillor Harrison

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-468 be authorized for issuance for Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 which will vary Zoning Bylaw No. 2303 as follows:

1. Section 4.12.1 (a) Fences and Retaining Walls – increase the maximum height of a fence in conjunction with retaining walls from 2.0 m to 4.2 m as shown on Meyer Designs Ltd. (File 2017-043) dated January 30, 2018, attached as Appendix 5 to the staff report dated February 22, 2018;

5. REPORTS - continued

3. Development Variance Permit Application No. VP-468 [Unruh, D. & R. / Hindbo Construction Group Inc.; 4431 - 17 Street NE; Accessory Building and Retaining Wall Height - continued

2. Section 14.6 Maximum Height of Accessory Buildings - increase the maximum height of an accessory building from 6.0 m to 8.7 m to allow for a new accessory building, as shown on Meyer Designs Ltd. (File 2017-043-A) dated December 5, 2017, attached as Appendix 5 to the staff report dated February 22, 2018.

C. Hindbo, agent for the applicant, was available to answer questions from the Committee.

CARRIED UNANIMOUSLY

4. Development Variance Permit Application No. VP-469 [McKinnon, B. / Walters, R.; 2820 - 30 Street NE - Setback Variance

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: the Development and Planning Services Committee recommends to Council that Development Variance Permit No. VP-469 be authorized for issuance for proposed Lot 1, resulting from the subdivision of Lot B, Section 19, Township 20, Range 9, W6M, KDYD, Plan 26672 to vary the provisions of Zoning Bylaw No. 2303 as follows:

1. Section 4.9.1.1 - decrease the minimum setback requirement from the centre line of an Arterial Street (30 Street NE) for a principal building on proposed Lot 1, resulting from the subdivision of Lot B, Section 19, Township 20, Range 9, W6M, KDYD, Plan 26672, as shown in the staff report dated February 21, 2018, from 18.5 metres to 17.0 metres.

CARRIED UNANIMOUSLY

6. FOR INFORMATION

7. IN CAMERA

8. LATE ITEMS

No Items.

9. ADJOURNMENT

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: the Development and Planning Services Committee meeting of March 5, 2018, be adjourned.

CARRIED UNANIMOUSLY

The meeting adjourned at 8:35 a.m.

Minutes received as information by Council
at their Regular Meeting of _____, 2018.

Mayor Nancy Cooper
Chair

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Item 7.2

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: the Greenways Liaison Committee Meeting Minutes of February 15, 2018, be received as information.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

30

CITY OF SALMON ARM GREENWAYS LIAISON COMMITTEE

MEETING MINUTES

Thursday, February 15, 2018

3:00 p.m.

Room 100, City Hall

Committee Members: Ken Jamieson, Committee Chair
Joe Johnson, Citizen at Large
Rob Bickford, Citizen at Large
Brian Browning, Shuswap Trail Alliance
Joan Mitchell, Shuswap Trail Alliance
Anita Ely, Interior Health

City Staff: Chris Larson, Planning & Development Officer (Non-Voting)

Regrets: Rob Hein, Manager of Roads & Parks (Non-Voting)
Phil McIntyre-Paul, Shuswap Trail Alliance (Non-Voting)

The meeting was called to order at 3:03 p.m.

Item 1: New Committee Welcome

New committee members were welcomed and letters from the Mayor were distributed. It was noted that one membership spot remains open.

Item 2: Update on Greenway Planning Initiatives and Projects

Shuswap Trail Alliance (STA) Updates

The STA provided a summary document projecting projects for 2018. This was reviewed by the GLC with respect to the 2018 Budget. It was noted that the conversation regarding the West Bay connector is ongoing. New funding streams (such as the MRDT) and other efforts (such as the City's new reserve fund) may come online and make significant contributions in the near future.

City Initiatives

The City's 2018 greenways budget was reviewed. It was noted that other items in addition to the greenways budget are underway. The City's new reserve fund was applauded by the GLC.

It was noted that the Greenway Plan includes a Priorities Map that should be referenced in project planning. It was further noted that the existing greenway maps could be updated.

A CSRD initiative to develop a parallel pathway in Silver Creek was discussed. The eventual plan is to link this north to Salmon Arm over the long term. This would connect into the network the City has planned, connecting to Foothills and 50 Ave/50 Street in the future.

9 Avenue Connector

Staff reported on a proposal to develop a trail to connect to 9 Avenue. A project plan has been completed by the STA. This would provide an alternative to the Turner Creek Trail where there is no formal public access. The GLC is very supportive of this initiative, noting the excellent proposal provides options and

that a new quality trail (type 2 with minimum 4 foot width) will be a magnet for users. The GLC is very appreciative of staff and Council for this proactive solution to formalize trail access at an important location which will create and enhance an important community asset.

In support of this proposal, the GLC forwards the following motion:

Moved by: Anita Ely

Seconded by: Rob Bickford

THAT: The Greenways Liaison Committee advises Council that it strongly supports the proposed 9 Avenue Connector Trail, noting the importance of enhancing our community's active transportation network at this key location with a Type 2 (minimum 4 foot width) greenway.

CARRIED UNANIMOUSLY

Item 3: For Information

It was noted that the STA Party and Fundraiser was a success. The GLC notes how important this community support is to create and support the City's trail network.

It was noted that the STA is presenting on the Foreshore Trail monitoring to Council in March. The impression of GLC members is that compliance has been very good.

Item 4: Late Items

Snow plowing and trailhead facilities were discussed. It was noted that the garbage can at the South Canoe Trailhead had been buried by snow plows. Public Works is following up on this.

Item 5: Next Meeting - Thursday, April 5, 2018.

Item 6: Adjournment - The meeting adjourned at 4:25 p.m.

Ken Jamieson

:CL

ATTACHMENT 1: STA – 2018 Project Updates

ATTACHMENT 2: Project Plan – 9 Avenue Connector

ATTACHMENT 3: IHA Letter of Support

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Item 8.1

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Harrison

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4250 be read a first and second time.

[ZON-1115; Unruh, D. & R. / Hindo Construction Group Inc.; 4431 – 17 Street NE; R-9 to R-8]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



City of Salmon Arm

Development Services Department Memorandum

TO: Her Worship Mayor Cooper and Members of Council

DATE: February 22, 2018

SUBJECT: Zoning Bylaw Amendment Application No. 1115 (R-9 to R-8)
 Variance Permit Application No. VP-468 (Accessory Building and Retaining Wall Height)
 Legal: Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035
 Civic Address: 4431 – 17 Street NE
 Owner: Dale and Renee Unruh
 Agent: Hindbo Construction Group Inc.

MOTION FOR CONSIDERATION

THAT: Development Variance Permit No. VP-468 be authorized for issuance for Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 which will vary Zoning Bylaw No. 2303 as follows:

1. Section 4.12.1 (a) Fences and Retaining Walls – increase the maximum height of a fence in conjunction with retaining walls from 2.0 m to 4.2 m as shown on Meyer Designs Ltd. dated January 30, 2018 (File No. 2017-043) and attached as APPENDIX 5.
2. Section 14.6 Maximum Height of Accessory Buildings – increase the maximum height of an accessory building from 6.0 m to 8.7 m to allow for a new accessory building, as shown on Meyer Designs Ltd. dated December 5, 2017 (File No. 2017-043-A) and attached as APPENDIX 5.

AND THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning proposed Lot B shown on the Subdivision Plan prepared by Brown Johnson Land Surveyors received January 19, 2018 (File No. 656 – 17) and attached as Schedule A from R-9 (Estate Residential Zone) to R-8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

The subject property is located at 4431 – 17 Street NE (APPENDICES 1 and 2). The proposal is to rezone the parcel from R-9 (Estate Residential) to R-8 (Residential Suite) to allow for a detached suite to be constructed. The applicant is also requesting two variances, first to increase the maximum height of four retaining walls, ranging from 2.0 m to 4.2 m, and second to increase the maximum height of an accessory building from 6.0 m to 8.7 m to accommodate the proposed detached suite.

In addition, the applicant has applied for a boundary adjustment (File: 18.04). This is to accommodate construction of an upgraded driveway, retaining walls and garage addition.

The proposed subdivision plan, site layout and building elevations are attached as APPENDIX 5. A letter of rationale is attached as APPENDIX 6 and site photos are attached as APPENDIX 7.

COMMENTS

Fire Department

No concerns.

Building Department

No concerns.

Engineering Department

No concerns.

Planning Department

The applicant is requesting to rezone the subject property in addition to requesting to variances to the Zoning Bylaw.

Residential Suite Zone (R-8)

The subject parcel is designated Low Density in the City's Official Community Plan (APPENDIX 3) and zoned R-9 (Estate Residential) in the Zoning Bylaw (APPENDIX 4). The area is largely comprised of R-7, R-9 and R-1 zoned parcels containing single family dwellings, however there are eight R-8 zoned properties within the Raven Hill subdivision area.

The applicant is requesting to rezone the subject property from R-9 to R-8 to allow for the construction of a detached suite. The proposed lot meets all the conditions of minimum parcel area and minimum parcel width as specified to permit a detached suite. The site has a number of options to accommodate the required additional parking stall.

Fences and Retaining Walls

The Zoning Bylaw allows the maximum height of a retaining wall to be 2.0 m in a residential zone. The design of the site shows four large retaining walls which vary in height and at one point all will be above the maximum. In addition, the retaining wall along the pool deck includes an estimated 1.2 m railing which brings its combined maximum height to 4.2 m. The purpose of the retaining walls is to support the construction of multiple structures on the sloping site, including a detached suite, pool, poolside cabana, and garage addition to the existing single family dwelling.

There are three properties directly adjacent to the west which may incur a visual impact from the proposed development. Currently there is limited buffering along the shared property line, and the initial site preparation is visible from the Lakeshore Road down slope.

Height of Accessory Building

The applicant is requesting an increase to the maximum height of an accessory building from 6.0 m to 8.7 m, for a variance of 2.7 m. In general terms, building height is measured from the mid-point of the lowest existing grade adjacent to the buildings foundation. For the proposed building, that existing grade point is measured vertically from where west facing foundation wall would be sited.

The height of the proposed building is 8.7 m; with most of the variance accounting for the raise in the grade and slope of the building site. The front elevation is roughly 4.2 m and gives the detached suite a

single story look from the 17 Street NE frontage. The accessory building is intended to be used as a detached suite if the associated zoning amendment is approved by Council. The structure would still be 1.2 m over the maximum permitted height of 7.5 m of a detached suite in the R-8 zone.

Staff is recommending approval in consideration of the following:

1. The proposal is a comprehensive residential development involving a number of structures on a significantly sloped lot. In general, an increased height to the accessory building (future detached suite) and identified retaining walls is reasonable due to site topography and scope of development.
2. The structures will be significantly outside the 6.0 m required rear yard setback however there is limited existing vegetation and mature trees acting as a visual buffer to the adjacent neighbours down slope to the west. The structures may result in some visual impacts to the neighbouring lots. There are no anticipated negative impacts on views from the surrounding properties upslope of the subject property.

CONCLUSION

The requested zoning amendment to R-8 (Suite Residential) and the requested variance for height of an accessory building and fence/retaining walls is recommended for approval by staff for the above noted reasons.



Prepared by: Wesley Miles, MCIP, RPP
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



Orthophoto

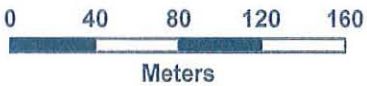


0 10 20 30 40
Meters



Subject Parcel

Official Community Plan
Land Use Designation



Subject Parcel



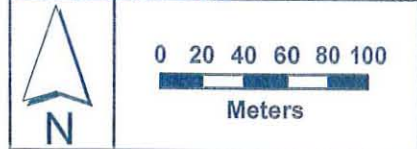
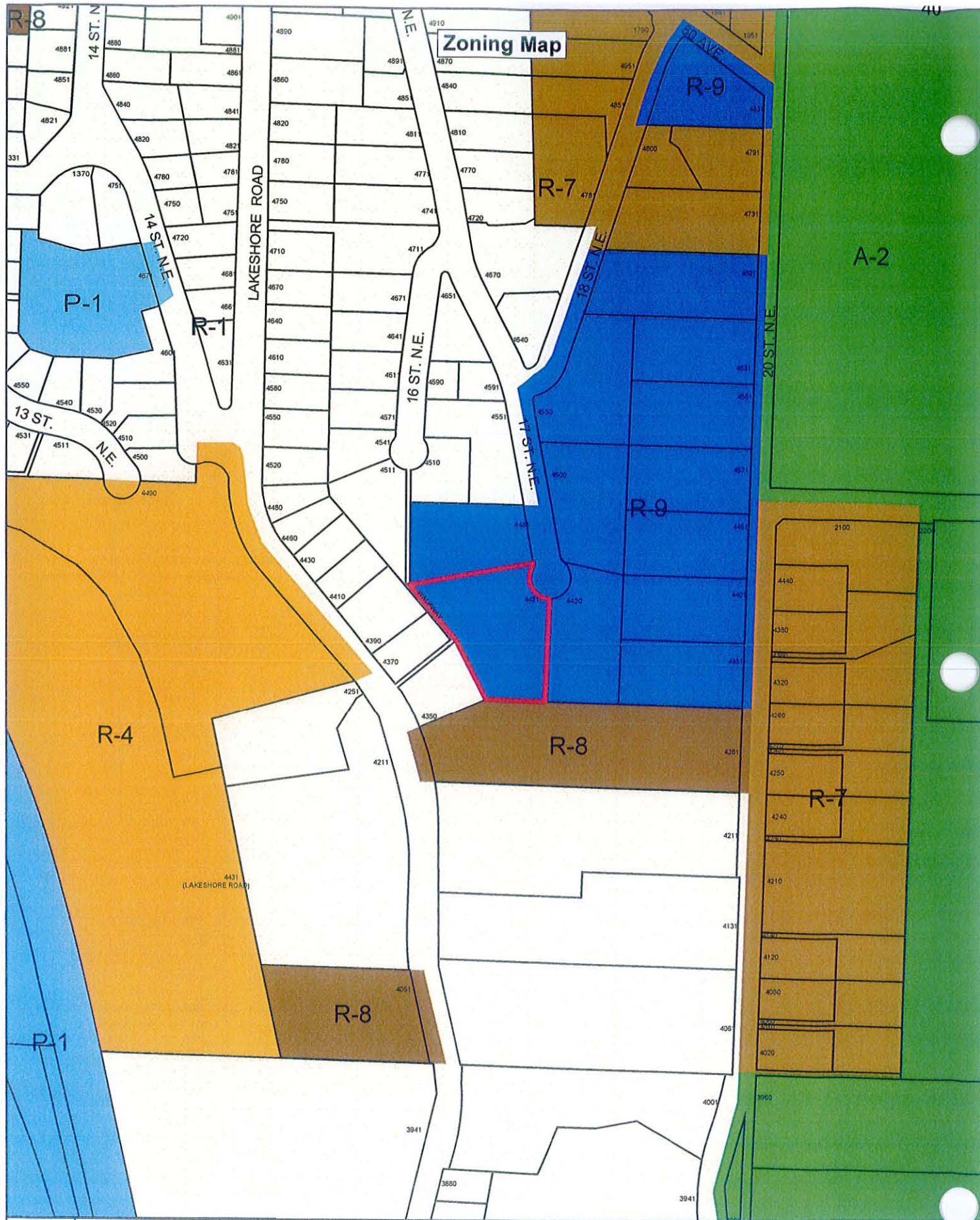
Residential Low Density



Acreage Reserve



Park

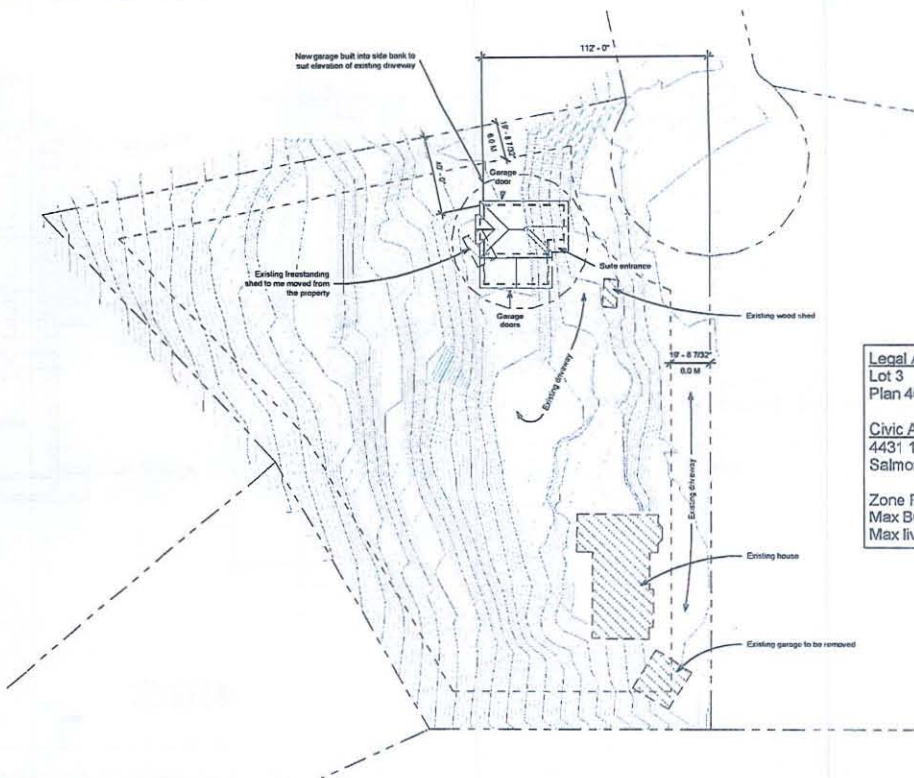


Subject Parcel

- Estate Residential
- Residential Suite
- Single Family Residential

- Park and Recreation
- Medium Family Residential
- Large Lot Residential

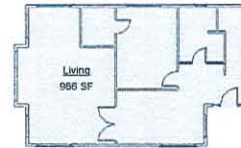
Drawing Index	
Drawing Number	Drawing Name
1	Cover Page and Site Plan
2	Floor Plans
3	Sections
4	Sections and Details



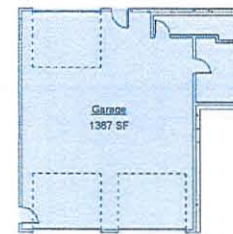
Legal Address
Lot 3
Plan 40035

Civic Address
4431 17th Street NE
Salmon Arm, BC

Zone R8
Max Building Height 6.0m
Max living space 968 SF



5 Upper Floor
3/32" = 1'-0"



4 Main Floor
3/32" = 1'-0"

1 Site Plan
1" = 30'-0"

This building must comply with thermal performance codes in part 9.36 of the British Columbia Building Code (BCBC 9.36)

This building is designed to use a heat recovery system (HRV)

ral Notes

be in compliance with the current residential standards of the Building Code of Canada, current electrical and plumbing codes and building code and bylaws which may take precedence

all be performed in all respects to good building practice

ensions to be followed. Do not scale from the drawings

location to be verified by surveyor prior to construction.

lors to be poured on undisturbed engineered building pad.

surveys, grades and levels to be verified on site before

ing construction

d Foundations

risers to face of stud unless otherwise noted.

ers, beams, columns and supporting foundations to be confirmed

of truss and floor system supplier.

sa and floor joist layout will be provided by the manufacturer

ended slabs and foundations walls over 8' must be designed

approved by a professional engineer.

ard foundations to conform with engineering, soil conditions and

cities

relate to have a minimum compressive strength of 20mpa at 28

not backfill tall foundations until floor structure is complete.

truss web configurations shown are for representation only.

red drawings of each truss will be supplied by the truss supplier.

spans more than 7'-0" shall be bridged at mid span using 2x2

l bridging installed as per N.B.C.

l to be installed at all penetrations in roof system and changes in

to.

l to be installed at all changes in horizontal exterior finishes and

unprotected openings. Caulking to be installed around all unflashed

openings

Thermal Performance

- All new construction must conform to BCBC 9.36 thermal performance codes

Plumbing, Electrical and Mechanical Systems

- All plumbing to be designed and installed per current plumbing codes and by a qualified plumber.
- Confirm layouts and dimensions with suppliers of all kitchens, bars, washrooms, laundry rooms, utility rooms, in-floor heating, etc.
- All fixtures to be approved by the owner
- Heating and venting calculations and system design by engineer, supplier or qualified installer.
- Electrical system to be designed and installed by qualified electrician

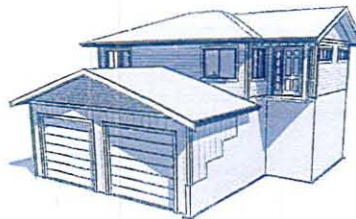
Local Bylaws and Development Regulations

- All construction will be within local bylaw requirements. These include design restrictions, height restrictions, frost coverage, water run off containment, water consumption, landscaping, etc.
- Any changes required to these designs should be reported to Meyer Designs
- Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval

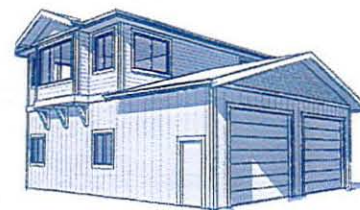
Meyer Designs shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner and contractor

Meyer Designs makes every effort to provide complete and accurate construction drawings. However, we assume no liability for errors or omissions which may affect construction. It is the responsibility of all trades and sub trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise Meyer Designs so the necessary corrections can be made.

Proposed Residence for Dale and Renee Unruh



2 South-East Perspective



3 South-West Perspective

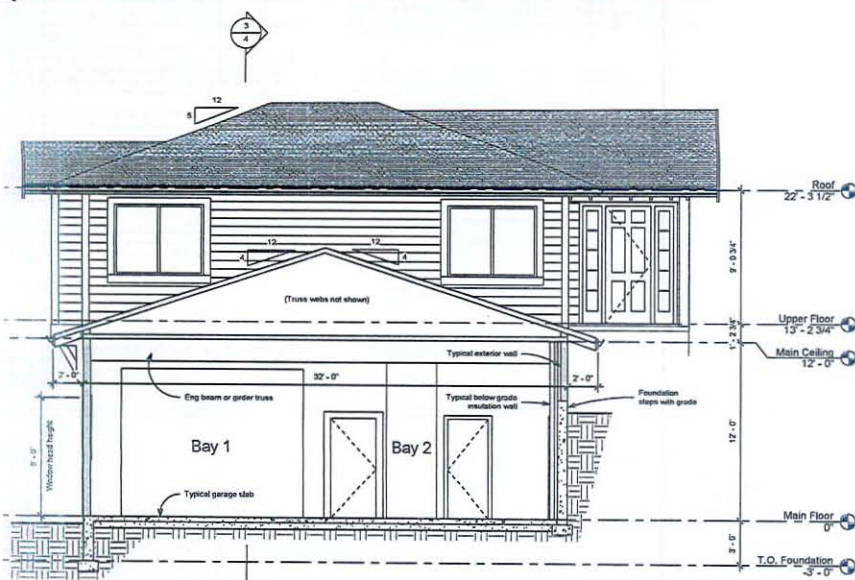
For Permit and Construction v1.1



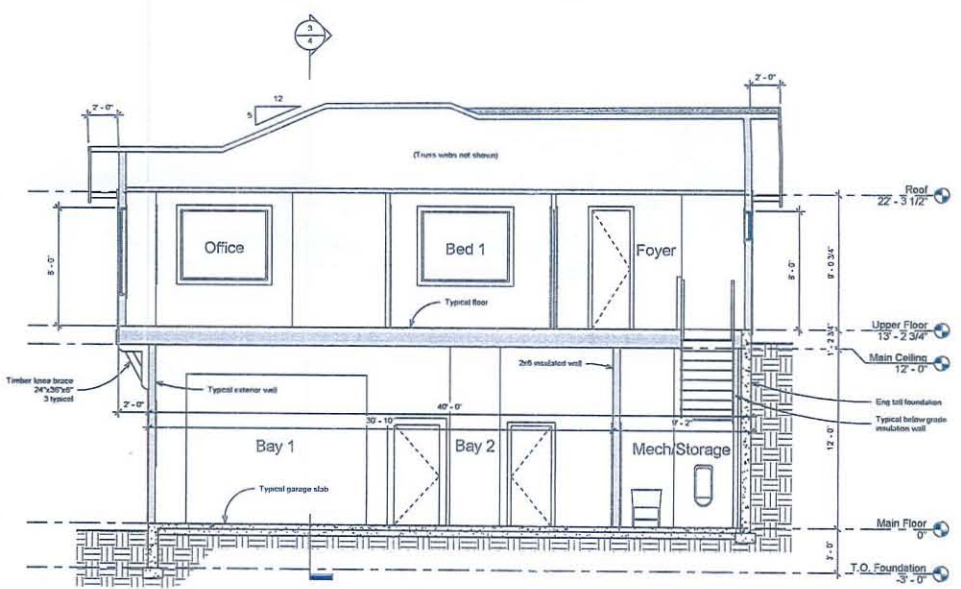
Cover Page and Site Plan

Project number: 2017-003-A
Date: Dec 5, 2017
Drawn by: Kelly Meyer

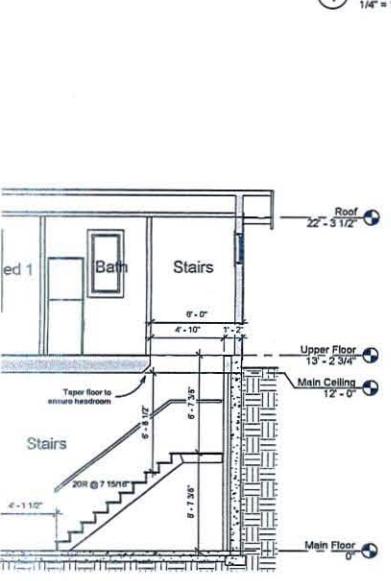
Unruh Residence
4431, 17 street NE
Salmon Arm, BC



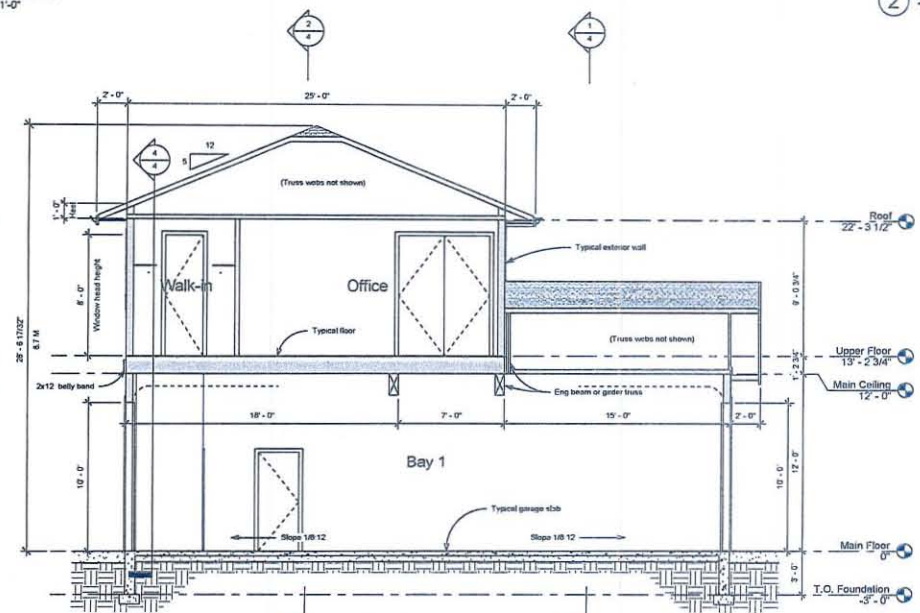
① Section 1
1/4" = 1'-0"



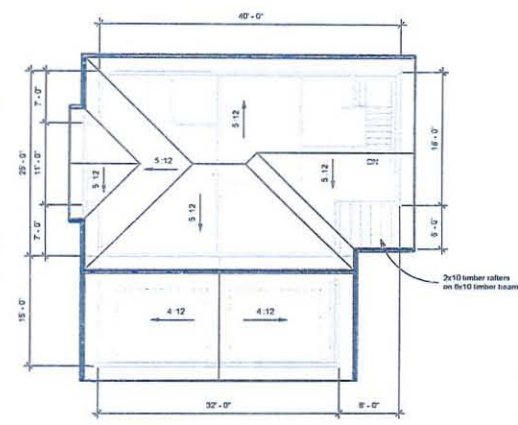
② Section 2
1/4" = 1'-0"



④ Section 3
1/4" = 1'-0"



③ Section A
1/4" = 1'-0"



⑤ Roof Plan
1/8" = 1'-0"

Dimensions are to stud on exterior walls and to center or side of stud for interior walls.
Interior doors, if not dimensioned, are 3" from the corner to R/O or centered in the wall.

Typical Floors

Floor over heated space (basement and stairs)
3/4" 1/2" plywood (glued and screwed)
1/4" eng wood joists by supplier
(Thickness as required by joist supplier)
5/8" drywall

Floor over unheated space (garage bays)
3/4" 1/2" plywood (glued and screwed)
1/4" eng wood joists by supplier
(Thickness as required by joist supplier)
2 layers type X drywall

Garage floor slab
4" finished concrete
Slope garage slabs towards door at 1/8" 12"
Reinforcing per engineering
6 mil poly
5" compacted granular fill

Patio slab (at front entry)
4" poured concrete
10# bars 24" oc bay
6 mil poly
5" compacted granular fill
Slope 1/8" 12" away from house

Typical Walls

Foundation wall
Cast foundation per engineering
Compendium to standard grade base
Drain tile with mesh screen around perimeter
Rigid (R12) insulation on outside of foot walls

Interior wall
Concret board or wood-shake finish
On building paper or building wrap
1/2" plywood
2x6 stud wall @ 24" oc
R22 batt insulation
6 mil poly
1/2" drywall

Exterior wall
2x4 stud wall @ 16" oc
1/2" drywall both sides

Below grade insulation wall
6" (or thicker) conc. wall with damp-proofing
7' or approx.
2x4 stud wall @ 16" oc (aligned 6" from conc.)
R20 batt insulation (1" into conc.)
6 mil poly
1/2" drywall

Typical Roof

Pitched Roof Trusses
Aspen strength (40-55 year)
Roof paper
7/16" sheathing
Eng wood roof trusses @ 24" oc
5/12 with 12" heel on upper roof
5/12 with 10" heel on lower garage roof
R50 insulation at the eaves on sheds space include garage
6 mil poly
5/8" drywall

Roof and Fascia
2x10 wood trusses on gable ends to match house
2x6 wood fascia
Vinyl aluminum gutters
sho 5" conc. aluminum gutters

This building must comply with thermal performance codes as per 9.39 of the British Columbia Building Code (BCBC 9.39)

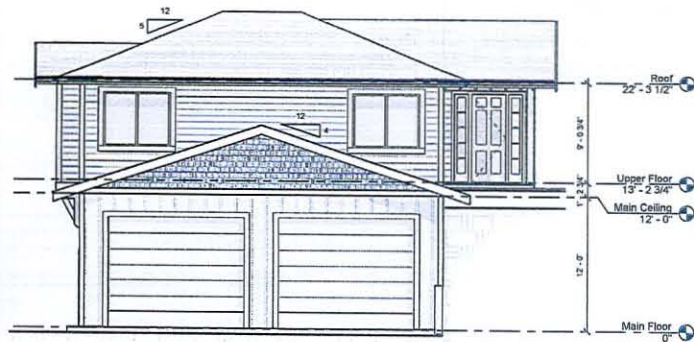
This building is designed to use a heat recovery system (HRV)



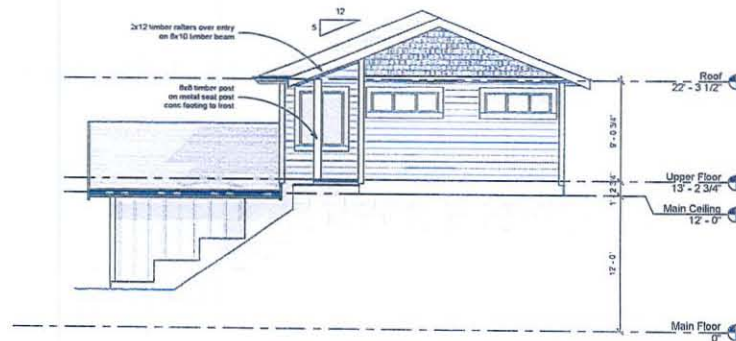
**MEYER
DESIGNS LTD**
800 Mt Tod Drive
Coldstream, BC
V1B 3Y6
250-503-4579
kelly@MeyerDesigns.ca
MeyerDesigns.ca

Sections and Details	
Project number	2017-043-A
Date	Dec 5, 2017
Drawn by	Kelly Meyer
Unruh Residence 4431, 17 street NE Salmon Arm, BC	4

For Permit and Construction v1.1



① **Front Elevation** *North*
3/16" = 1'-0"



② **Right Elevation** *East*
3/16" = 1'-0"



③ **Rear Elevation** *South*
3/16" = 1'-0"



④ **Left Elevation** *West*
3/16" = 1'-0"

Height of Accessory Building = 8.7 m

Dimensions are to stud on exterior walls and to center or axis of stud for interior walls.
Interior doors, if not dimensioned, are 3" from the corner to RO or centered in the wall.

Typical Cladding

Horizontal Siding (Upper floor)
Handle siding - 7" reveal
1x6" wood trim on corners and windows and doors
Shakes (in gable ends)
Wood shingles (staggered or straight)
Vertical Board and Batten (Main floor)
Smart panel with 1.5" vertical battens @ 16" on
Fascia
2x10 wood fascia on gable ends to match house
2x6 wood fascia c/w 5" rain gutters on flat edges
Ceilings
Vented aluminum to match gutters

Windows and Doors

All exterior door and window sizes, patterns, combinations, configurations and separations to be confirmed by window manufacturers to ensure NAFC (North American Fenestration Standard) compliance.
What is shown on the plans is a representation of the look and feel intended by the designer.
The type of window used and manufacturer specs may vary and therefore need to be confirmed prior to construction.



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Elevations

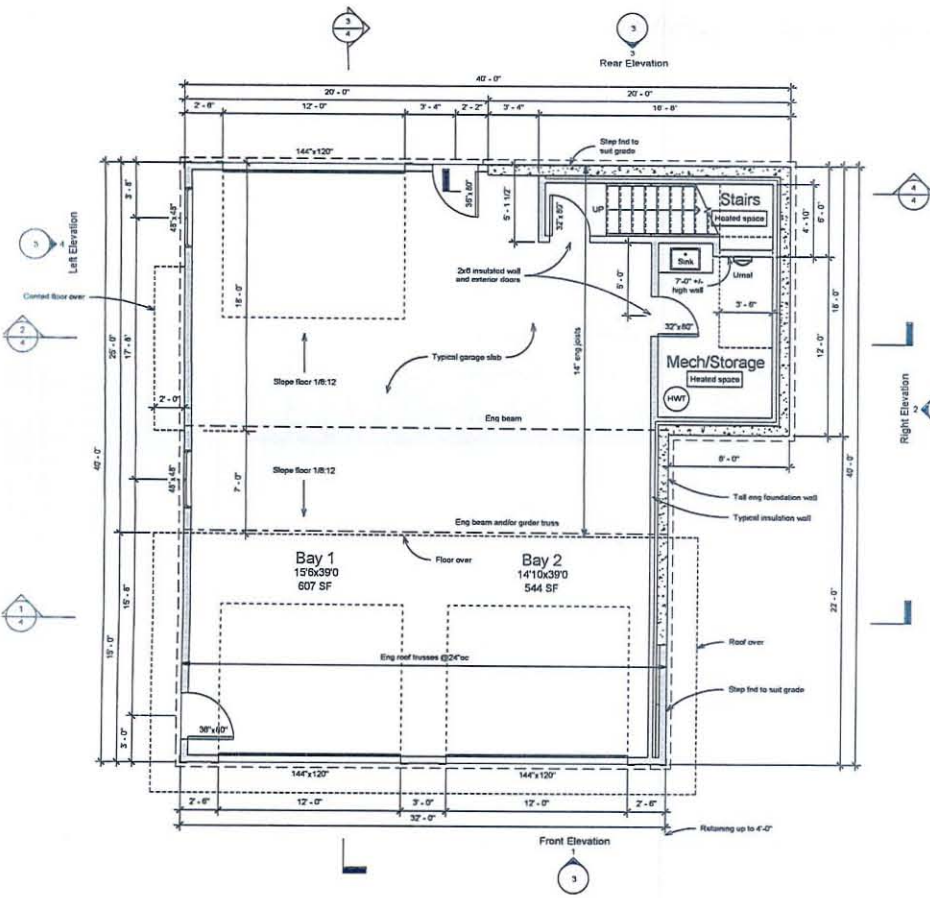
Project number 2017-043-A
Date Dec 5, 2017
Drawn by Kelly Meyer

Unruh Residence
4431, 17 street NE
Salmon Arm, BC

3

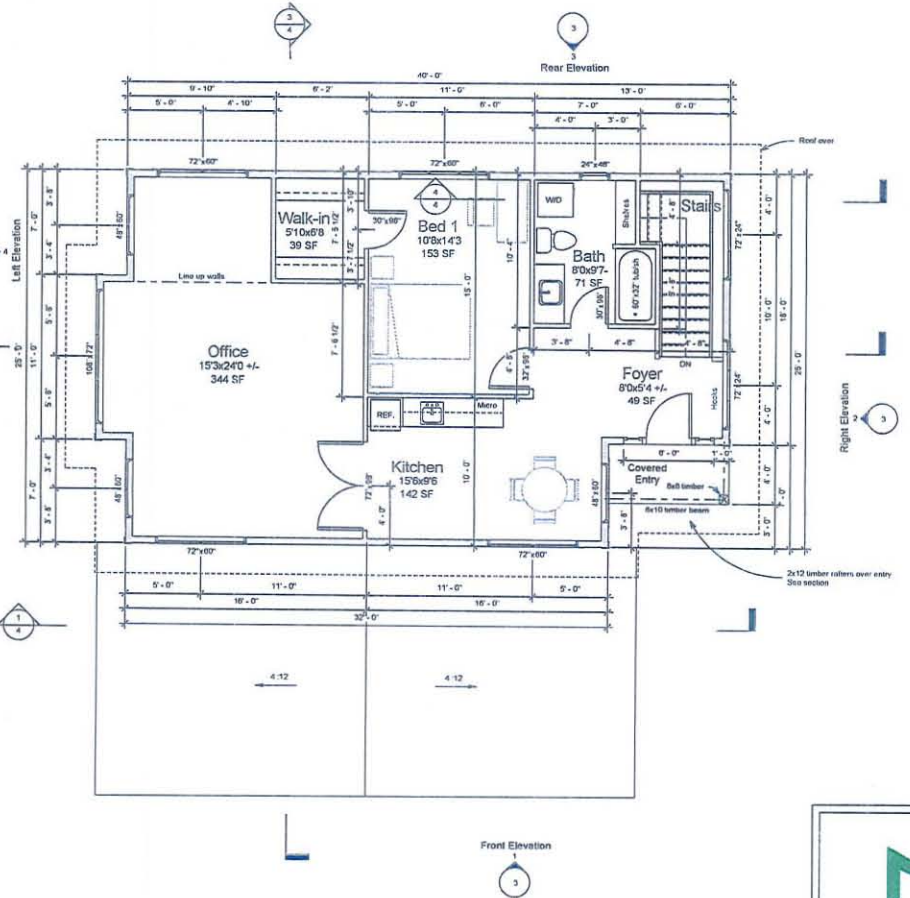
For Permit and Construction v1.1

Dimensions are to stud on exterior walls and to center or side of stud for interior walls.
Interior doors, if not dimensioned, are 3" from the corner to RD or centered in the wall.



Door Schedule		
Room Name	Size	Comments
Main Floor		
Bay 1	144' x 120'	Overhead garage
Bay 1	144' x 120'	Overhead garage
Bay 1	36' x 80'	Exterior swing
Bay 2	144' x 120'	Overhead garage
Bay 2	36' x 80'	Exterior swing
Mech/Storage	32' x 80'	Exterior swing
Stairs	32' x 80'	Exterior swing
Upper Floor		
Bath	130' x 80'	Single swing exterior
Bed 1	132' x 80'	Single swing interior
Bed 1	30' x 80'	Single swing interior
Front	30' x 80'	Front door unit
Office	72' x 80'	Double swing interior (backing)

Window Schedule			
Room	Size	Head Height	Comments
Main Floor			
Bay 1	48' x 80'	8' - 0"	2x1 slider
Bay 1	48' x 80'	8' - 0"	2x1 slider
Upper Floor			
Bath	24' x 60'	8' - 0"	Operable
Bed 1	72' x 80'	8' - 0"	2x1 slider (progress)
Bed 1	72' x 80'	8' - 0"	2x1 slider
Kitchen	48' x 80'	8' - 0"	2x1 slider
Kitchen	72' x 80'	8' - 0"	2x1 slider
Office	48' x 80'	8' - 0"	2x1 slider
Office	48' x 80'	8' - 0"	2x1 slider
Office	72' x 80'	8' - 0"	2x1 slider
Office	72' x 80'	8' - 0"	2x1 slider
Office	100' x 120'	8' - 0"	2x1 slider
Office	72' x 80'	8' - 0"	2x1 slider
Grand total	13		



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Floor Plans

Project number	2017-043-A
Date	Dec 5, 2017
Drawn by	Kelly Meyer

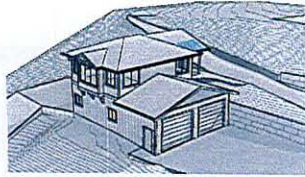
Unruh Residence
4431, 17 street NE
Salmon Arm, BC

2

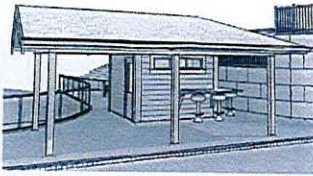
For Permit and Construction v1.1

Drawing Index

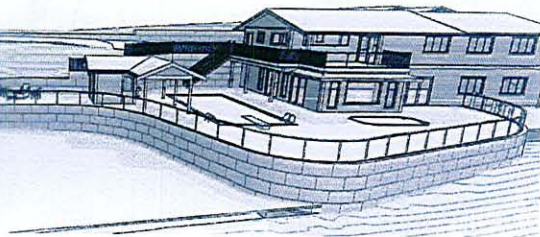
Drawing Number	Drawing Name
1	Cover Page and Site Plan
2	Pool Area Retaining Plans
3	Carriage House and Garage Addition Retaining
4	3 Bay Garage Addition



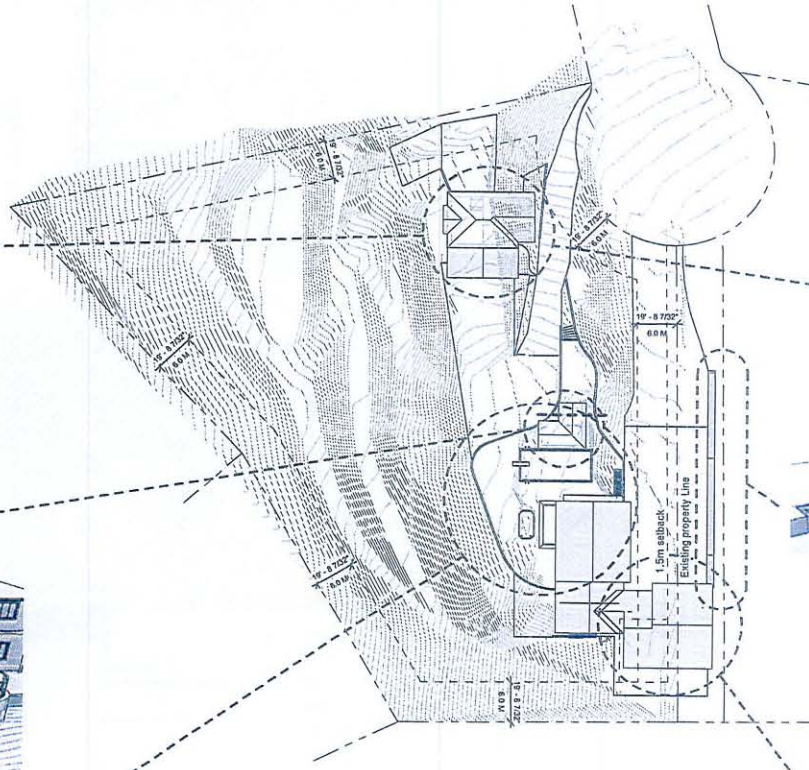
③ Carriage House - See Project 2017-043-A



⑤ Poolside Cabana - See Project 2017-043-B



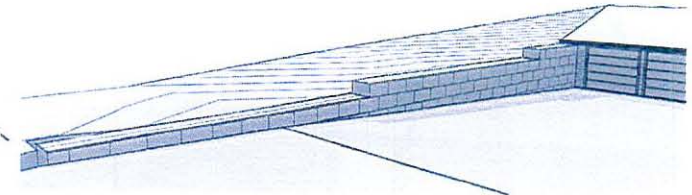
② Pool Deck Retaining - See sheet 2



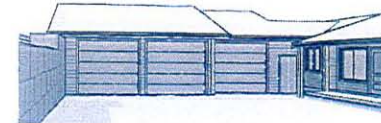
① Site Plan - Overall
1" = 30'-0"



⑧ Carriage House (North) - See 2017-043-A



④ Garage Addition Retaining - See sheet 3



⑦ 3 Bay Garage Addition - See sheet 3

General Notes

1. All construction shall be in compliance with the current residential standards of the Building Code of Canada, current electrical and plumbing codes and all applicable codes and bylaws which may take precedence.

2. All work shall be performed in all respects to good building practice and standards to be followed. Do not scale from the drawings.

3. Location to be verified by surveyor prior to construction. Owners to be provided on undisturbed engineered building pad. Dimensions, grades and levels to be verified on site before commencing construction.

4. **Foundations**
Foundations to face of stud unless otherwise noted. Foundations, beams, columns and supporting foundations to be confirmed by truss and floor system supplier. Foundations and floor joist layout will be provided by the manufacturer. Foundations and floor joist layout must be designed and approved by a professional engineer, and foundations to conform with engineering, soil conditions and all applicable codes. Foundations to have a minimum compressive strength of 20mpa at 28 days. Foundations to be installed at all penetrations in roof system and changes in roof pitch.

5. To be installed at all changes in horizontal exterior finishes and unprotected openings. Caulking to be installed around all unfinished openings.

Thermal Performance

- All new construction must conform to BCBC 9.36 thermal performance codes.

Plumbing, Electrical and Mechanical Systems

- All plumbing to be designed and installed per current plumbing codes and by a qualified plumber.
- Confirm layouts and dimensions with suppliers of all kitchens, bars, washrooms, laundry rooms, utility rooms, in-floor heating, etc.
- All fixtures to be approved by the owner.
- Heating and venting calculations and system design by engineer, supplier or qualified installer.
- Electrical system to be designed and installed by qualified electrician.

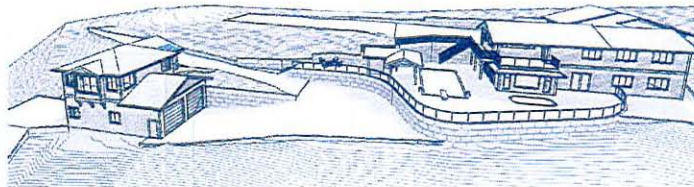
Local Bylaws and Development Regulations

- All construction will be within local bylaw requirements. These include design restrictions, height restrictions, frost coverage, water run off containment, water consumption, landscaping, etc.
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Meyer Designs shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner and contractor.

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Proposed Development for Dale and Renee Unruh



⑥ Site Perspective

Legal Address
Lot 3
Plan 40035

Civic Address
4431 17th Street NE
Salmon Arm, BC

Currently zoned R7

Note
Application to move East property line and change to zone R8 is in progress



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Cover Page and Site Plan

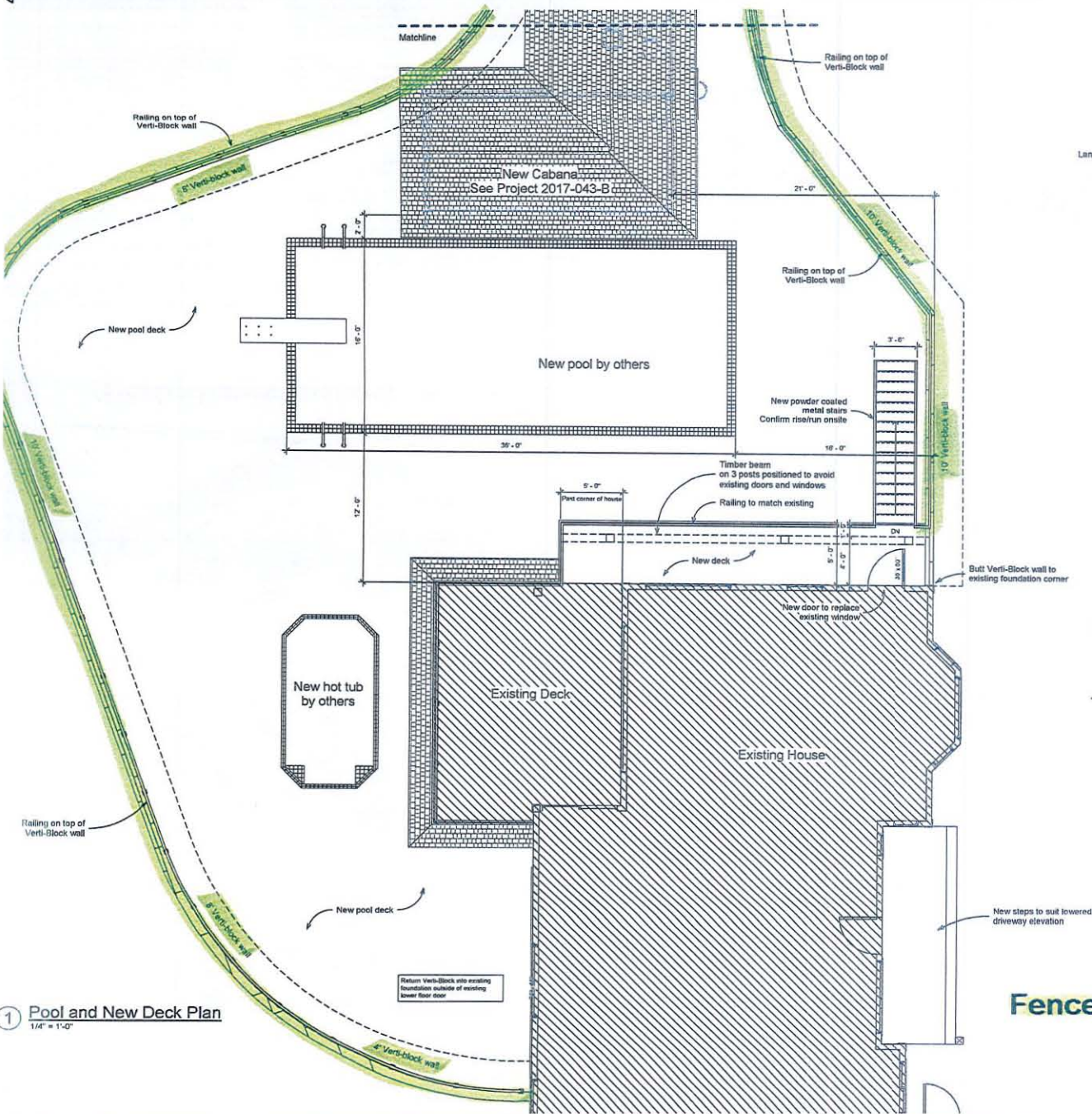
Project number	2017-043
Date	Jan 30, 2018
Drawn by	Kelly Meyer

Unruh Residence
4431 17th St NE
Salmon Arm BC

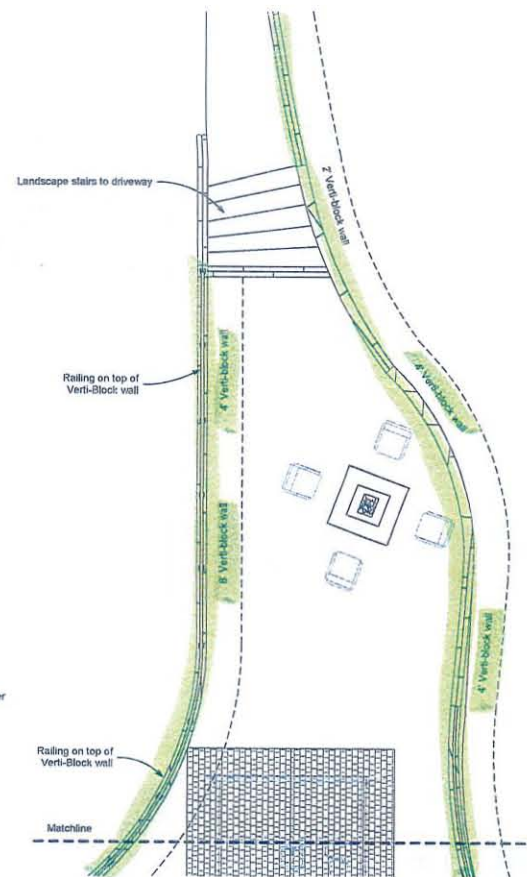
1

For Permit and Estimate v1.2

① Pool and New Deck Plan
1/4" = 1'-0"



② Fire Pit Area
1/4" = 1'-0"



Fences and Retaining Walls

For Permit and Estimate v1.2



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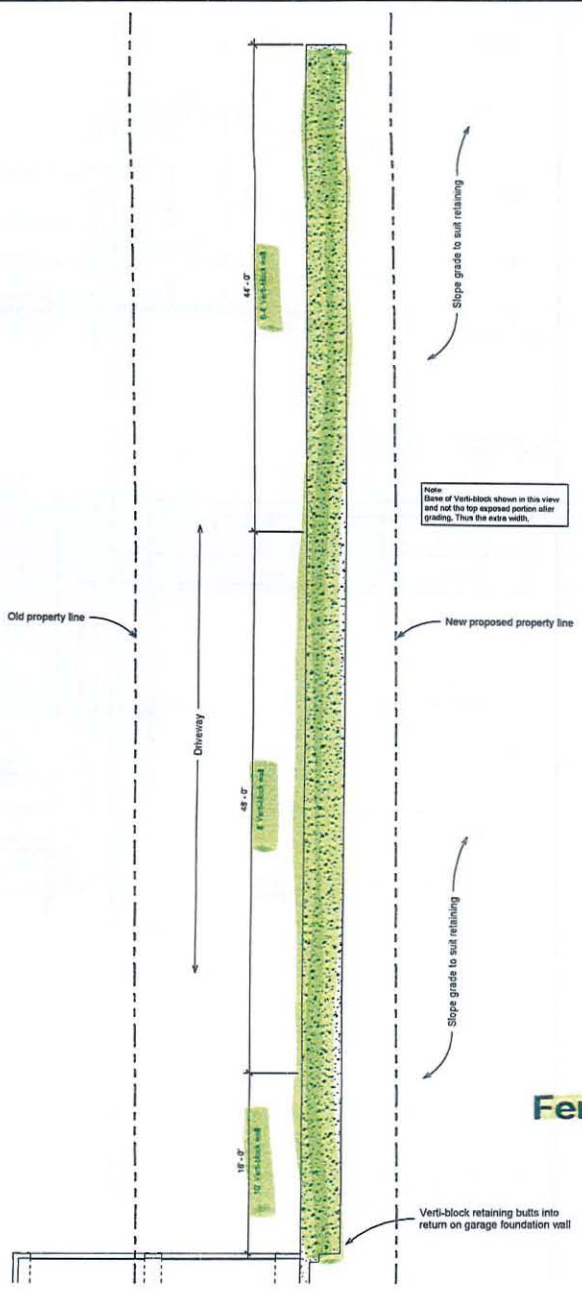
250-503-4579
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Pool Area Retaining Plans

Project number	2017-043
Date	Jan 30, 2018
Drawn by	Kelly Meyer

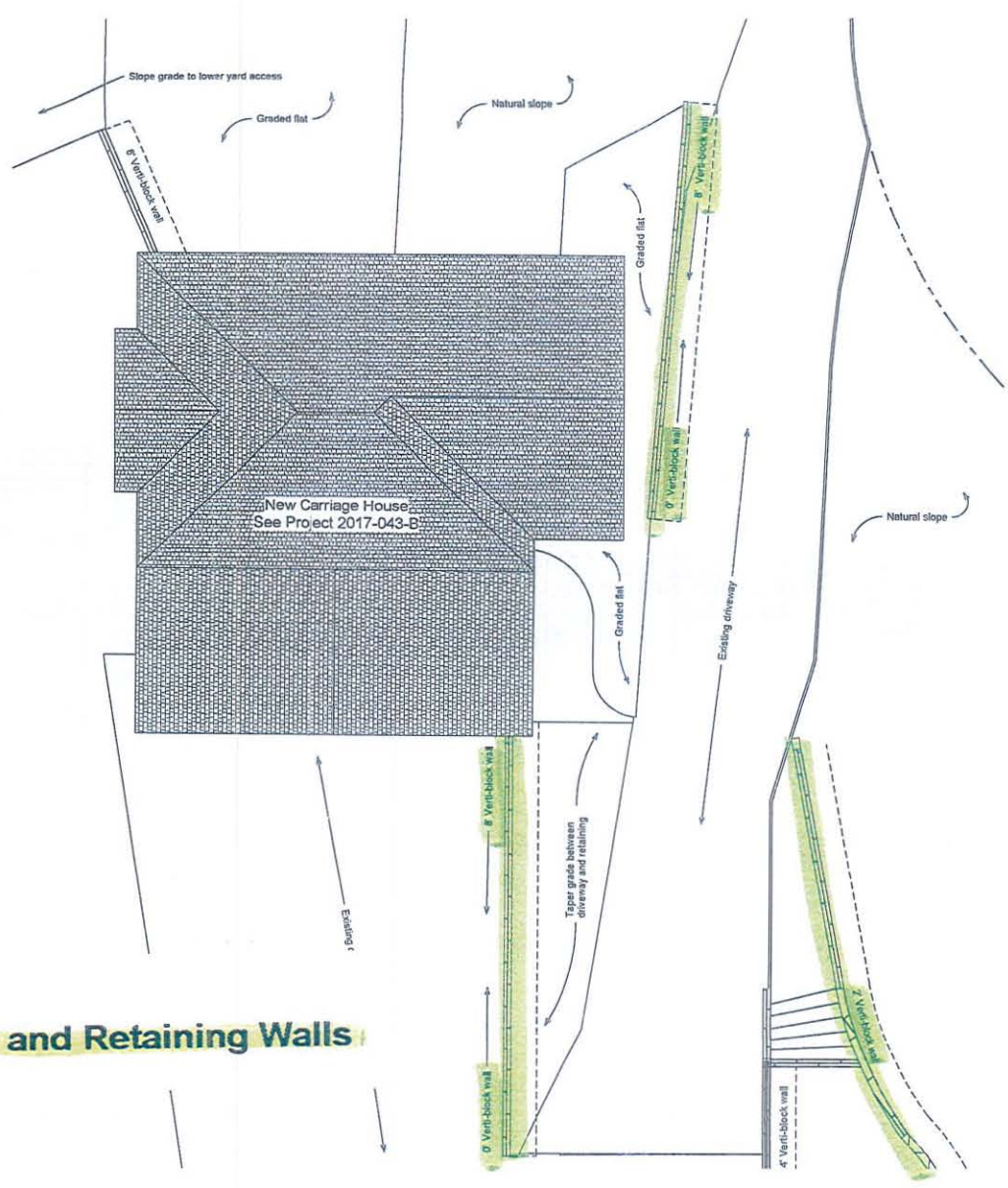
Unruh Residence
4431 17th St NE
Salmon Arm BC

2



② Garage Addition Retain
3/16" = 1'-0"

Fences and Retaining Walls



① Carriage House Retaining Plan
3/16" = 1'-0"

For Permit and Estimate v1.2



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Carriage House and Garage Addition Retaining	
Project number	2017-043
Date	Jan 30, 2018
Drawn by	Kelly Meyer
Unruh Residence 4431 17th St NE Salmon Arm BC	

3

Wes Miles

Subject: RE: Variance Application VP-468

From: Don Hindbo [<mailto:don@hindboconstruction.com>]

Sent: November-28-17 1:14 PM

To: Denise Ackerman

Subject: RE: Variance Application VP-468

Denise

The reason for this Height variance , is that the owners Dale & Renee Unruh , have applied to build a cairrage home on the property , & they way the ground slopes , the building has a height of 28 ft 6.5 inches & the maximum allowed under R-8 is 24.6 ft , so we need a variance for roughly 4 feet

Thanks

Don Hindbo

Hindbo Construction Group Inc.

2691 13 ave sw

Salmon Arm B C

Office-250 832 1017

Cell- 250-804-3038

don@hindboconstruction.com



APPENDIX 7



Photo 1: Photo looking west from 17 Street NE at the accessory building / future detached suite.



Photo 2: Photo looking south at the existing dwelling and driveway access.

CITY OF SALMON ARM

BYLAW NO. 4250

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm at the Council Chambers at City Hall, 500 – 2 Avenue NE, Salmon Arm, British Columbia, on March 26, 2018 at the hour of 7:00 p.m. was published in the _____, 2018 and _____, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 3, Section 25, Township 20, Range 10, W6M, KDYD, Plan 40035 from R-9 Estate Residential Zone to R-8 Residential Suite Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "**City of Salmon Arm Zoning Amendment Bylaw No. 4250**"

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

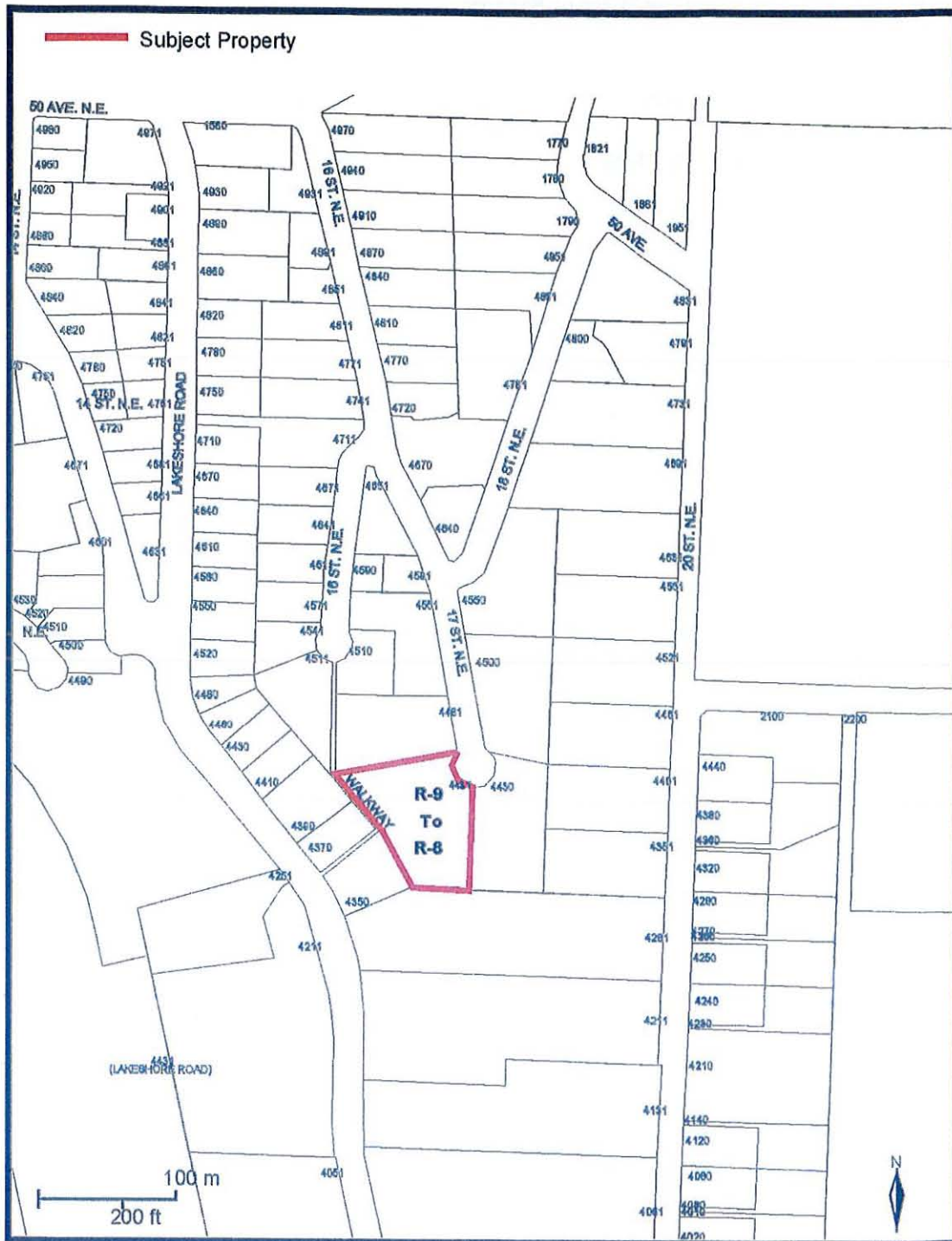
READ A THIRD TIME THIS DAY OF 2018

ADOPTED BY COUNCIL THIS DAY OF , 2018

MAYOR

CORPORATE OFFICER

SCHEDULE "A"



Item 8.2

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Jamieson

Seconded: Councillor Harrison

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4251 be read a first and second time;

AND THAT: final reading of the Bylaw be withheld subject to approved of the Bylaw by the Ministry of Transportation and Infrastructure.

[ZON-1117; Reimer, R. & R.; 791 – 5 Street SE; R-1 to R-4]

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



City of Salmon Arm

Development Services Department Memorandum

To: Her Worship Mayor Cooper and Members of Council

Date: February 26, 2018

Subject: Zoning Bylaw Amendment Application No. 1117

Legal: Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725

Civic: 791 – 5 Street SE

Owner/Applicant: Reimer, R. & R.

MOTION FOR CONSIDERATION

THAT: A bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725 from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone).

AND THAT: Final reading of the Bylaw be withheld subject to approval of the Bylaw by the Ministry of Transportation and Infrastructure.

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

BACKGROUND

The 0.28 hectare subject parcel is located at 791 – 5 Street SE, just north of 10 Ave SE/Auto Road (Appendix 3 and 4), and has frontage on both 5 Street and 9 Avenue SE. The proposal is to rezone the parcel from R-1 (Single Family Residential Zone) to R-4 (Medium Density Residential Zone) to facilitate an 8-unit multi-family development.

This proposal was previously before Council in a staff report dated May 7, 2017, with a 9-unit development proposed. That proposal has been revised, with the current intent to develop 8-units. The applicant has submitted a letter and new site plans detailing their revised approach (Appendix 1), as well as a traffic analysis (Appendix 2).

The subject parcel is designated High Density Residential in the City's Official Community Plan (OCP) and zoned R-1 (Single Family Residential) in the Zoning Bylaw (Appendix 5 and 6). This area is largely comprised of R-1 zoned parcels containing single family dwellings, with R-4 and R-5 multi-family development further west and north. The parcel currently contains a single-family home.

The Zoning Map attached shows the mix of zones in the immediate area, predominantly Residential (R-1, R-4, R-5, and R-8), with Institutional zones to the west and undeveloped A-2 land further to the south. Land uses adjacent to the subject parcel include the following:

North: Single-Family Residential (R-1) parcel,
 South: Road (9 Ave SE), with Single-Family Residential (R-1) parcels beyond,
 East: Single-Family Residential (R-1) and Residential Suite (R-8) parcels, with R-1 beyond, and
 West: Rural Holding (A-2) parcel, with R-4 and R-5 parcels beyond.

A conceptual site plan illustrating a total of 8 units in the form of 4 duplex buildings has been provided (Appendix 1), which would be subject to a future Development Permit application. Site photos are attached as Appendix 7.

OCP POLICY

The subject parcel is designated High Density Residential in the OCP, and is within Residential Development Area A, the highest priority area for development. While the proposed R-4 Medium Density zone is of slightly higher density (40 dwelling units per hectare) than current R-1 zoning, it is considerably less dense than envisioned by the High Density land use designation (100 dwelling units per hectare). In terms of managing growth, the long-term consequence of developing High Density designated lands at a Medium Density would be future pressure to expand the Urban Containment Boundary.

However, the proposed density aligns with OCP Policy 4.4.3, which encourages all growth to be sensitively integrated with neighbouring land uses. Furthermore, the proposed zoning aligns with the Urban Residential Objectives of Section 8.2 and Urban Residential Policies listed in Section 8.3, including providing a variety of housing types, providing housing options, and supporting compact communities. In terms of siting, the proposal appears to match with OCP Siting Policies under Section 8.3.19, including good access to transportation routes, recreation, community services, and utility servicing.

As per OCP residential policy, the multi-family development proposed would be subject to a future Development Permit application

OCP Map 11.2 designates a proposed greenway crossing over the south-west corner of the subject property (Appendix 8). As per OCP policy 11.3.18, the requirement of land dedication for a trail may be made at the discretion of Council.

COMMENTS

Ministry of Transportation and Infrastructure

Pursuant to the *Transportation Act*, approval of the zoning amendment bylaw by the Ministry is required, as the parcel is within 800 m of a Controlled Access Highway (Trans Canada Highway). The Ministry has granted Preliminary Approval for this rezoning.

Engineering Department

While not conditions of rezoning, full municipal services are required, including service upgrades, improvements to 5 Street SE, and a reciprocal access agreement to protect the neighbour's access from 851 5 Street SE.

The Engineering Department concurs with the conclusions of the Franklin Engineering Traffic and Access Assessment that the proposed access meets all safety requirements and that additional traffic flows are negligible. The Engineering Department also agrees with the report's recommendation to include a suitable onsite turn around to prevent vehicles exiting the driveway in reverse.

The attached comments have been provided to the applicant (Appendix 9).

Building Department

Setback variance may be required from access route at unit 7.

Internal access route length appears to trigger Fire Department concerns regarding turnaround.

No additional concerns with rezoning. Demolition permit required for existing building. Further review of limiting distance between units required at time of development.

Fire Department

Dead end roadways in excess of 90 metres require a turnaround as per BCBC 9.10.20.3(1) reference A 3.2.5.6.(1).

The attached comments have been provided to the applicant (Appendix 10).

Planning Department

Keeping in mind the High Density Residential OCP designation, the subject parcels are located in an area well-suited for higher density residential development with either R-4 or R-5 zoning, within walking distance to the City Centre. The maximum residential density permitted under R-4 (Medium Density) zoning is 40 dwelling units per hectare of land. As the subject property is 0.28 hectares in area, the maximum permitted density under R-4 would be 11 dwelling units assuming: 1) some form of strata development; 2) the present gross areas of the subject parcel; and 3) no density bonus. The minimum parcel area for a single family dwelling is 300 square metres.

While from a growth management perspective, the best use and density would be some form of multi-family development, staff note that a single family dwelling is a permitted use in the proposed R-4 zone. It is the opinion of Staff that the proposal represents a reasonable balance between growth management principles while respecting existing land uses: the proposed density (currently 8 units are proposed, reduced from 9 units previously considered) appears sensitive to established neighbouring land uses, while representing an increase in density.

In terms of a future development scenario, the shape of the parcel presents some challenges. The site presents challenges relative to snow clearance, emergency access and turn-around traffic. Opportunity for on-street parking at this site is very limited, thus it is important that the proposed development meet or exceed parking requirements (the preliminary site plan provided indicates 16 parking spaces, above the required 12). Additionally, a screened refuse/recycling area would also be required. Planning staff concur with the Franklin report and the City's Engineering Department, recommending the requirement of an onsite turn-around.

Site plans, landscape details, and elevation drawings submitted at the development permit stage are required to illustrate how the applicant's proposed development would address such requirements relative to the subject parcel.

OCP attributes (Appendix 8) include a greenway trail along the west and east perimeters. While small relative to the larger greenway network, a potential greenway connection through the south-west corner of the parcel could be a significant component enabling a feasible connection in an area of steep slopes, upon such time that lands to the west are redeveloped. OCP Map 11.2 designates the proposed greenway over the subject property, and as such, OCP Policy 11.3.18 provides for the requirement of land dedication for a trail at the discretion of Council as a condition for rezoning. In effect, doing so would be a community Amenity Contribution, which ideally results from a negotiated agreement between a local government and owner/applicant.

OCP Policy 11.3.19 allows for the Approving Officer to require land dedication for a trail as a condition for subdivision (stratification). Given the need for field work associated with determining an appropriate trail alignment and in the absence of any development proposed for the parcel to the west, staff would suggest a right-of-way for a future trail be deferred at this rezoning stage, to be established as a condition at time of subdivision.

As previously noted, if rezoned to R-4, a form and character development permit application would be required prior to development to demonstrate how the proposed buildings, site and landscape designs will address the various requirements. A lot grading plan would be required at the development permit stage to confirm finished grades. Review of such an application would proceed through City staff, the Design Review Panel, and Council for consideration of approval.

CONCLUSION

The applicant has altered the initial proposal in a manner which improves practical functionality and should decrease associated impacts. The proposed R-4 zoning of the subject property is supported by OCP policy and is therefore supported by staff.

A handwritten signature in black ink, appearing to be 'CL' followed by a horizontal line.

Prepared by: Chris Larson, MCP
Planning and Development Officer

A handwritten signature in black ink, appearing to be 'Kevin Pearson'.

Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services

Roderick Reimer

929 Musgrave Rd
Enderby, BC V0E 1V3
250-833-8204
roderickreimer@gmail.com

Randal Reimer

875 Grandview Bench Rd
Salmon Arm, BC V1E 2X7
250-804-6205
randygreimer@hotmail.com

January 16, 2018

Mayor and Council
City of Salmon Arm
500 2 Avenue NE
Salmon Arm, BC V1E 4N2

RE: Rezoning application for property located at 791-5th ST SE

Dear Mayor and Council:

The purpose of this letter is to summarize our approach for the proposed development at the above-noted property, and to outline how feedback from Council, City staff, and concerned citizens has helped us to improve our plan since our initial application. This application was ultimately turned down on June 12, 2017, as you know.

Our intention is to create a positive, safe environment and a quality residential development which will be an asset to the neighborhood. Our current plan proposes density well below what is envisioned in the OCP, has more parking than is required by the Zoning Bylaw, provides viable access, and meets all Zoning setback requirements. We also plan to construct a fence around the development to ensure the privacy and security of the neighbors.

Improvements since our last application:

- Our previous plan proposed nine residential units. In our current plan we have reduced it to eight units. This allows for more parking, more green space, more space between buildings, and slightly less pressure on access and the street.
- We have included a traffic & access assessment completed by Franklin Engineering.
- We have a verbal agreement with the immediate neighbor regarding driveway access and hope to have a formal agreement in place shortly. (We have the support of at least one other nearby neighbor as well).

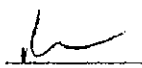
We feel these changes have resulted in an overall improved development plan and we look forward to working with you on this project.

Thank-you for your time and consideration.

Sincerely,



Roderick Reimer



Randal Reimer



875 Grand View Bench Road
Salmon Arm, BC, V1E 2X7

January 25th, 2017

791 5th St SE Access Suitability Assessment

Dear Rodrick and Randal,

Franklin Engineering has undertaken a formal review of the access to the proposed 8 unit development at 791 5th St SE to determine its suitability to provide access to the proposed 8 unit development.

This has included a review of the road network, cycling and pedestrian requirements, minimum design requirements from the relevant bylaws and design guides, and an assessment of the site parameters.

Conclusions and recommendations have been provided at the end of the report.

Road Network Review

The City of Salmon Arm Official Community Plan (Map 12.1) identifies 5th Street SE as a designated Urban Collector Road. It is also noted that this map shows the proposed future east-west extension of Auto Road which is identified as an Urban Arterial Road. Until such time when this extension is constructed, during winter months the lower section of 10th St SE is closed and west bound traffic on Auto road is currently routed along 5th St SE.

The City of Salmon Arm Engineering Department has advised that no traffic volume data is available relevant to this access location.

The proposed development would be expected to generate an additional 64 trips/day (assuming traffic volumes of 8 trips/household /day typical of an urban environment).

Cycling and Pedestrian Review

5th St SE is not identified as a bike route in the OCP Cycle Network Plan (Map 12.2). The CoSA Subdivision and Development Servicing Bylaw provides a 1.5m wide bike lane in the typical cross section for an urban collector road (RD-3). A 1.2m Paved shoulder is provided on both side of the adjacent 5th St SE which is in general accordance with the bylaw requirements.

The CoSA Subdivision and Development Servicing Bylaw requires a 1.85m wide pedestrian sidewalk lane on both sides of the road in the typical cross section for an urban collector road (RD-3). A concrete pedestrian sidewalk is located on the adjacent (eastern) side of the 5th Ave NE. No sidewalk is currently on the western side, likely due to steep grades making it difficult and expensive to construct.

It is noted that the City's greenway/trail network crosses over the south-west corner of the parcel providing access to 9th Ave SE. OCP policy 11.3.18 may require this land to be dedicated for the extension of this trail network at the discretion of Council. This would provide an alternative access route for Pedestrians rather than crossing 5th St SE to the sidewalk on the adjacent side of the road.

Access Design Requirements

A review of the relevant COSA bylaws and Transport Association of Canada Design Guidelines (TAC) has been undertaken, to understand the minimum design requirements for the access.

A summary of the minimum design requirements from the CoSA Subdivision and Development Services Bylaw No. 4163 and the TAC is shown in table 1 below.

Table 1: Minimum Design Requirements

Design Parameter	Minimum design specification	Reference
Design Speed (km/hr) (HS Collector)	50	CoSA (Section 4.5)
Design Speed for vehicles approaching from south ¹ (km/hr)	30	TAC 2017 (Ch3, Eqn 3.2.3)
Maximum Centreline Grade (%)	12.0	CoSA (Section 4.9)
Maximum Driveway Grade (%) (Access length greater than 25m)	12.0	CoSA (Section 4.13.5)
Maximum Driveway Throat Grade (%) (First 3.5m of Driveway)	7.0	CoSA (Section 4.13.5)
Minimum Driveway Throat Width ² (Allowing 2 way traffic)(m)	4.5 (7.2)	TAC 2017 (Table 8.9.1)
Intersection Site Distance ³ from the north approach adjusted for 12% uphill grade (m)	80	TAC 2017 (Ch9, Eqn 9.9.1)

Intersection Site Distance ³ from the south approach adjusted for 12% downhill grade using 30km/hr design speed (50km/hr design speed shown in brackets) (m)	80 (130)	TAC 2017 (Ch9, Eqn 9.9.1)
Stopping Site Distance ⁴⁵ (m)	74	TAC 2017 (Ch2, Tb 2.5.3)

1. Design speed calculated using the travel path curve radius for a vehicle turning from 10th Ave SE onto 5th St SE. Design speed also field verified.
2. Recommended for driveways serving >4 units that a two way driveway is provided.
3. Noted that design values provided are based on the site triangle requirements for a formal intersection with a stop control on the minor road. TAC comments that for low use driveways, reduced sight distances are generally tolerable due to the low operating speeds and caution exercised by drivers.
4. Adjusted for downgrade.
5. It is noted that the 2017 Tac does not provide a specific stopping site distance for trucks, however comments that separate stopping site distance is not generally used in highway design as it is balanced through the truck driver having an eye height advantage and hence greater sight line. It is noted that Table 1.2.5.4 of TAC 2007 includes a stopping site distance for trucks with conventional braking of 85-110m.

Assessment of Site Access Parameters

Onsite parameters have been calculated with measurements taken from 3d software using a surface constructed from topographic survey and LIDAR survey information. These measurements have then been field verified. A summary of the parameters observed onsite is provided in table 2. A drawing showing grades and site lines and photographs taken from site are attached with this report.

Table 2: Proposed Access Site Parameters

Design Parameter	Value	Min/Max Design Requirement
5 th ST SE Centreline Grade ¹ (%)	12.1	<12
10 th Ave SE Centreline Grade (Approach) (%)	13.6	<12
9 th Ave SE Centerline Grade (%)	19.2	<12
Existing Driveway Grade (%)	2.4	<12
Existing Driveway Throat Grade (%)	7.2	<7
Site Distance North ² (m)	110	>80
Site Distance South ² (m)	120	>80

1. Average Grade Measured across 70m frontage.
2. Site distance calculated assuming driveway throat grade will be raised to provide platform at 2%.

Discussion

Generally it is observed that the proposed development access meets the minimum specified design requirements.

Intersection sightlines are defined as the sight distance available from the decision point, where vehicles are required to stop on the intersecting road while drivers are looking left and right along the major roadway, before entering the intersection. The intersection sight distance is adequate when it allows the design vehicles to safely make all the maneuvers to enter the live road (e.g. left turns, right turns), and accelerate to 85% of the design speed without significantly affecting vehicles travelling on the main roadway.

A driver's eye setback of 3.0m from the road fog line has been used to define the decision point for intersection site distance calculation.

Looking north down 5th St SE, sightlines are clear and in excess of 120m. Minor trimming of the adjacent hedges (to the south) should be undertaken regularly to ensure the sightline remains clear and unobstructed.

Looking south towards the 10th Ave SE intersection, sightlines allow view of cars entering 5th St SE from 10th Ave SE. A revised design speed of 30km/hr has been calculated for northbound vehicles based on a reduced travel speed for vehicles that have just navigated the 5th St/10th Ave intersection corner (calculated using a 23m curve radius and field verified). Using this travel speed, the available sightline (110m) exceeds the minimum requirements (80m) including an adjustment for the road gradient.

It is noted that the gradient of the 5th St centerline varies, however the measured value represents the average gradient across a 70m frontage. The gradient (12.1%) slightly exceeds the maximum design gradient included in design guides; however is within reasonable tolerance levels, particularly given some inaccuracy in the survey model.

The driveway entrance should be upgraded to a width suitable to for two way access (>7.2m) and to provide a flat throat grade ($\pm 2\%$) to ensure a safe storage platform is provided for vehicles waiting to enter and exit the driveway.

The existing gradient of the driveway throat (first 5.0m) exceeds the recommended maximum grade. The provision of appropriate clear throat length or storage space is particularly important as it provides a flat storage platform for vehicles waiting to enter the live lane and for receiving vehicles leaving the live road. The driveway should be upgraded to provide a flat ($\pm 2\%$) platform at the entrance/exit.

The CoSA bylaw encourages developing shared driveways on adjacent properties to reduce the number of accesses on collector roads.

The additional vehicles generated by the proposed development would be expected to be negligible on a designated collector road.

In the long term, the future upgrade of Auto Road should result in a significant decrease in traffic volume on 5th St SE.

Recommendations/Conclusions

From a review of the minimum design requirements and an assessment of the site parameters the following recommendations are made:

1. The proposed access is in general accordance with the minimum design requirements. The gradient of 5th St SE (12.1%) is at the maximum recommended grade, however when adjusting for this grade, the sightlines and safe stopping distance available are in accordance with the requirements of a highways intersection and thus are considered suitable for a low volume residential access ;
2. The driveway entrance should be upgraded to a width suitable for two way access (>7.2m) and to provide a flat throat grade ($\pm 2\%$) to ensure a safe storage platform is provided for vehicles waiting to enter and exit the driveway;
3. The internal driveway access should be of a suitable width, or provide a suitable turning area to allow passenger vehicles to exit the driveway in a forwards direction. ie prevent vehicles from exiting driveway in reverse.
4. Consultation with adjacent property is being undertaken to develop a shared access, reducing the number of access points onto a collector road in accordance with the CoSA bylaw design requirements;
5. Minor trimming or removal of the adjacent trees (to the south) should be undertaken regularly to ensure the sightlines remains clear and unobstructed.
6. The additional traffic generation expected from the development is negligible in comparison to the traffic volumes expected on a collector road;
7. It is noted that an access off 9th Ave is not considered suitable due to its steep grade (max 19%) and reduced sightlines in both directions;

Please contact Franklin Engineering if you have any further questions regarding this access assessment.

Prepared by,



Sean Husband, EIT

Reviewed by,



Jayme Franklin, P.Eng

Attached:

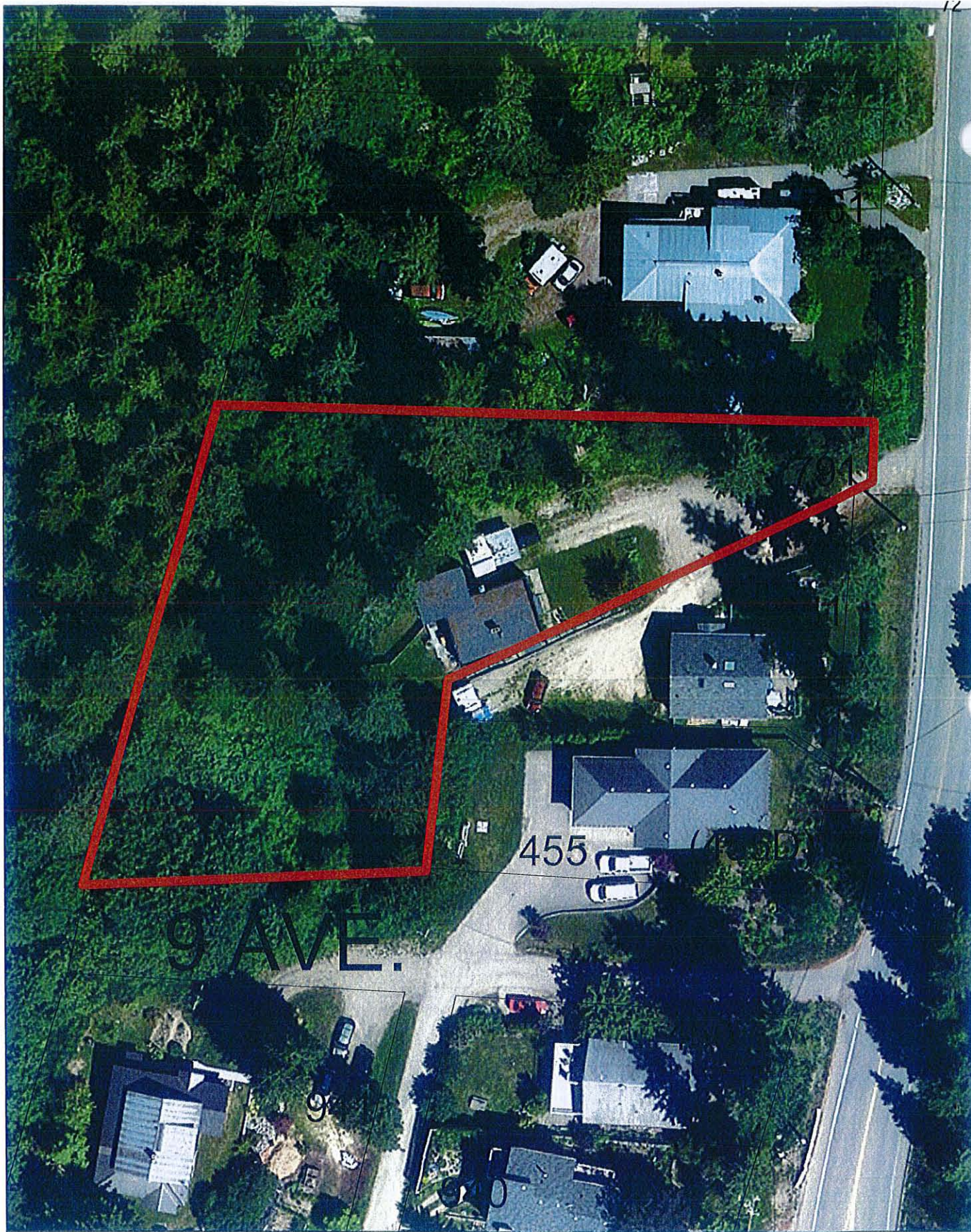
- Franklin Engineering Drawing 17-018 SK-01 Access Assessment Site Plan (Rev2)
- Sightline Photos



Figure 1: Sightline from Decision Point Looking North



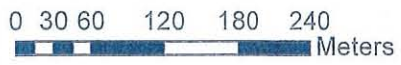
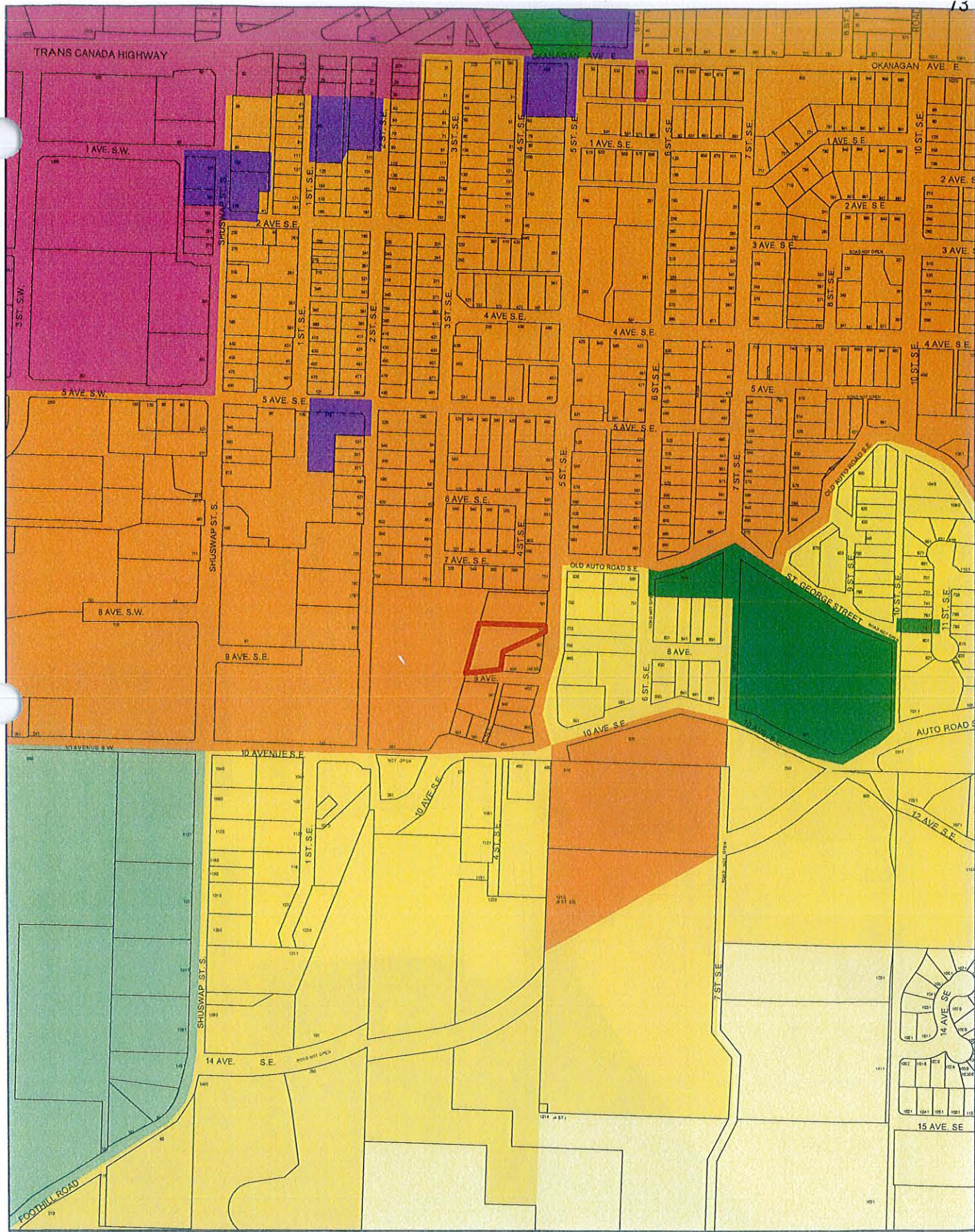
Figure 2: Sightline from Decision Point Looking South












0 5 10 20 30 40 Meters

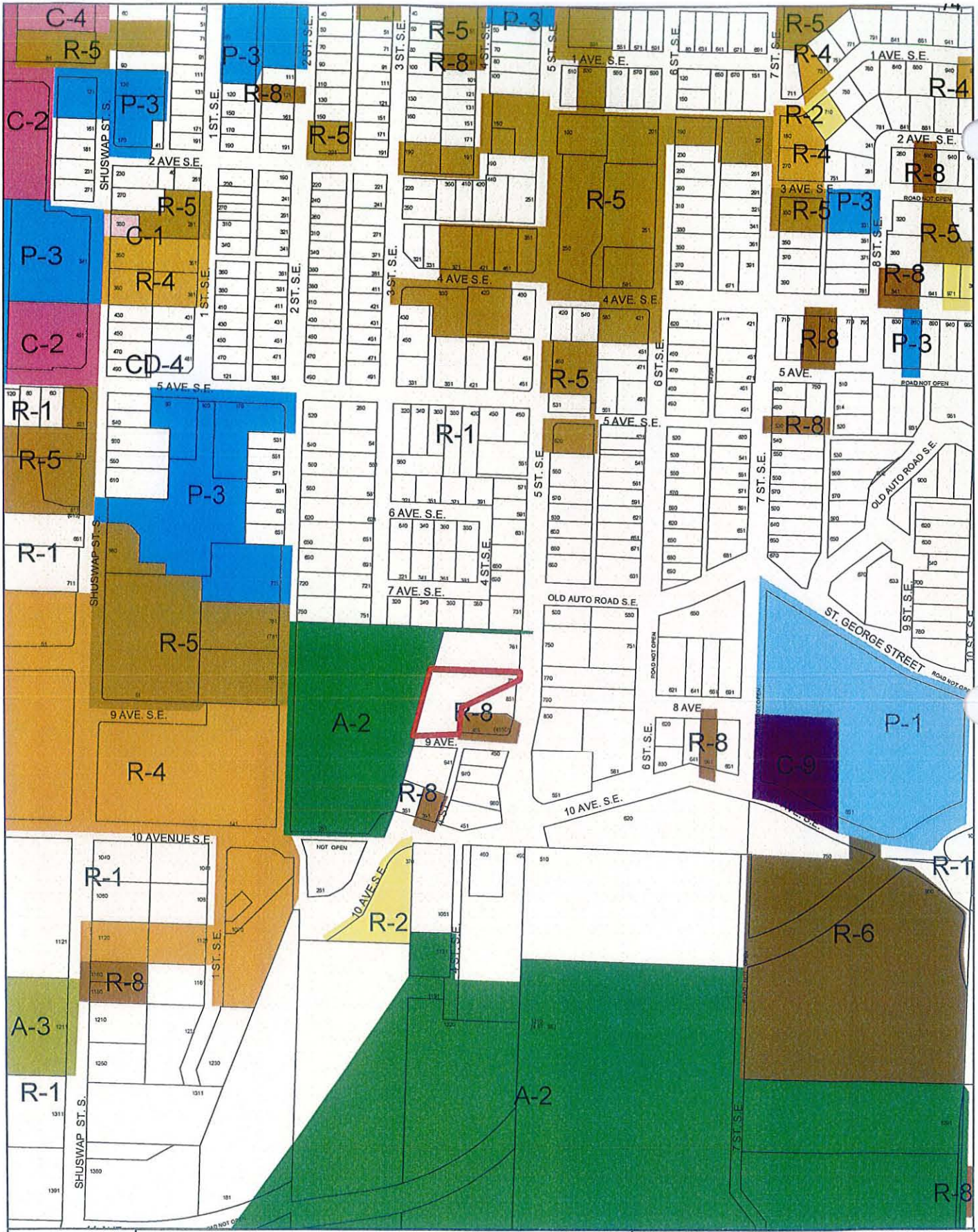


Subject Parcels



-  N
-  Subject Parcel
-  Institutional

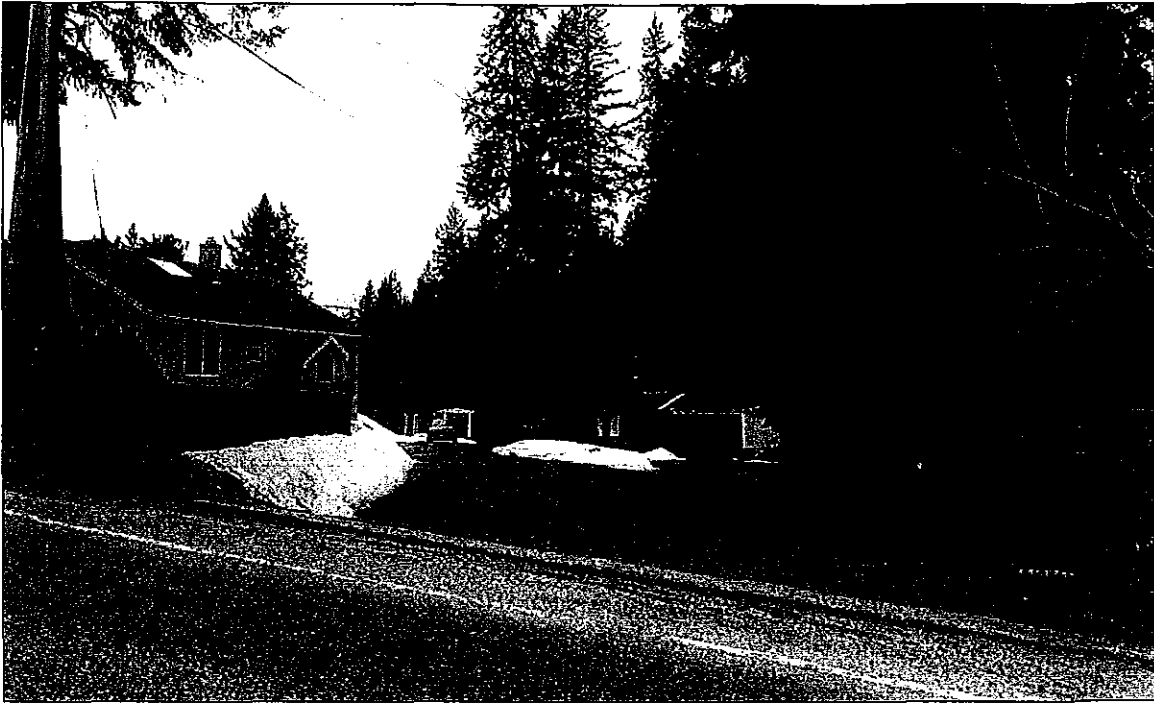
- | | |
|--|--|
|  Commercial - City Centre |  High Density Residential |
|  Park |  Medium Density Residential |
|  Acreage Reserve |  Low Density Residential |



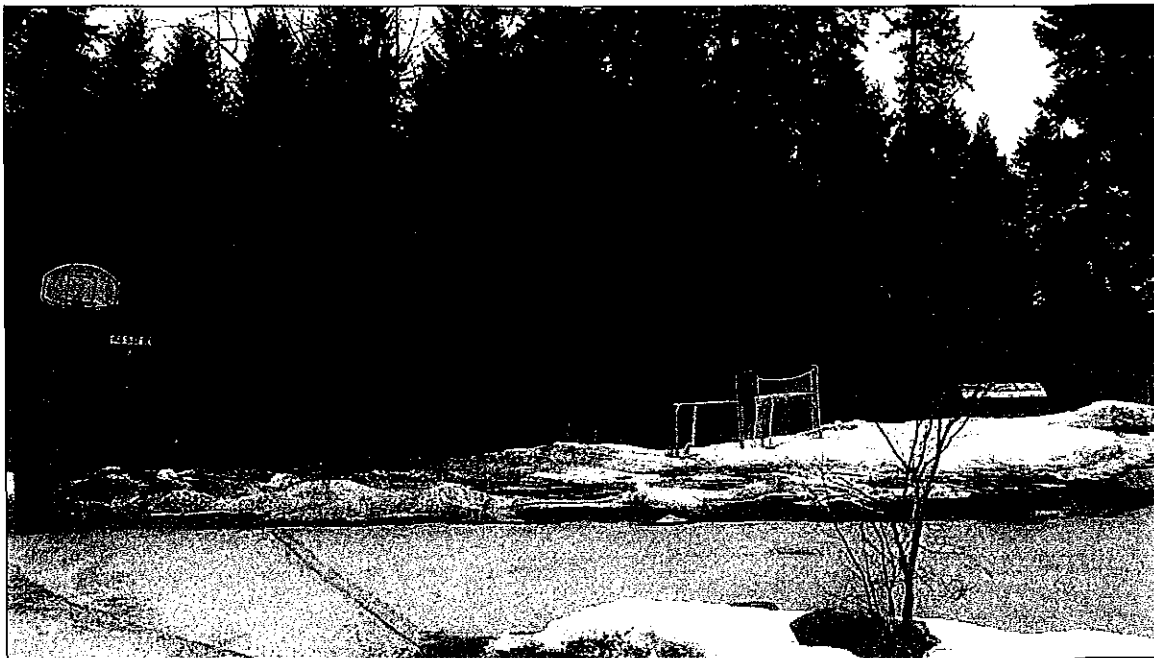
0 40 80 160 240 320 Meters



Subject Parcels



View of subject parcel looking south-west from 5 Street SE, with neighbour's home at left.



View of rear portion of subject parcel looking north-west from 9 Avenue SE, with existing house visible..



0 15 30 60 90 120
Meters



Subject Parcels



City of Salmon Arm
Memorandum from the Engineering
and Public Works Department

TO: Kevin Pearson, Director of Development Services
DATE: 21 February 2018
PREPARED BY: Chris Moore, Engineering Assistant
OWNER: Reimer, Roderick, 929 Musgrave Road, Enderby, BC V0E 1V3
 Reimer, Randal, 875 Grandview Bench Road, Salmon Arm, BC V1E 2X7
APPLICANT: Owners
SUBJECT: ZONING AMENDMENT APPLICATION FILE NO. ZON-1117
LEGAL: Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725
CIVIC: 791 – 5 Street SE

Further to the request for Zoning Amendment dated 30 January 2018; the Engineering Department has thoroughly reviewed the site. The following comments and servicing requirements are not conditions for rezoning; however, these comments are provided as a courtesy in advance of any development proceeding to the next stages:

General:

1. Full municipal services are required as noted herein. Owner / Developer to comply fully with the requirements of the Subdivision and Development Services Bylaw No 4163. Notwithstanding the comments contained in this referral, it is the applicant's responsibility to ensure these standards are met.
2. Comments provided below reflect the best available information. Detailed engineering data, or other information not available at this time, may change the contents of these comments.
3. Properties to be serviced completely by underground electrical and telecommunications wiring.
4. Properties under the control and jurisdiction of the municipality shall be reinstated to City satisfaction.
5. Owner / Developer will be responsible for all costs incurred by the City of Salmon Arm during construction and inspections. This amount may be required prior to construction. Contact City Engineering Department for further clarification.
6. Erosion and Sediment Control measures will be required at time of construction. ESC plans to be approved by the City of Salmon Arm.
7. Any existing services (water, sewer, hydro, telus, gas, etc) traversing the proposed lot must be protected by easement or relocated outside of the proposed building envelope. Owner/Developer will be required to prove the location of these services. Owner / Developer is responsible for all associated costs.
8. At the time of development the applicant will be required to submit for City review and approval a detailed site servicing / lot grading plan for all on-site (private) work. This plan will show such items as parking lot design, underground utility locations, pipe sizes, pipe

ZONING AMENDMENT APPLICATION FILE NO. ZON-1117
21 February 2018
Page 2

elevations, pipe grades, catchbasin(s), control/containment of surface water, contours (as required), lot/corner elevations, impact on adjacent properties, etc.

9. For the off-site improvements at the time of development/building permit the applicant will be required to submit for City review and approval detailed engineered plans for all off-site construction work. These plans must be prepared by a qualified engineer. As a condition of building permit approval, the applicant will be required to deposit with the City funds equaling 125% of the estimated cost for all off-site construction work.

Roads / Access:

1. 5 Street SE, on the subject properties eastern boundary, is designated as an Urban Collector Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that no additional road dedication is required (to be confirmed by a BCLS).
2. 5 Street SE is currently constructed to an Interim Collector Road standard. Upgrading to an Urban Collector Road Standard is required, in accordance with Specification Drawing No. RD-3. Upgrading may include, but is not limited to, road widening and construction, curb & gutter, sidewalk, boulevard construction, street lighting, fire hydrants, street drainage and hydro and telecommunications. Owner / Developer is responsible for all associated costs. In consideration of the narrow frontage onto 5 Street NE, this upgrade is premature at this time. A 100% cash in lieu payment towards future upgrading will be accepted. Owner / Developer is responsible for all associated costs.
3. 9 Avenue SE, on the subject properties southern boundary, is designated as a Local Road standard, requiring 20.0m road dedication (10.0m on either side of road centerline). Available records indicate that 9 Avenue is only 9.2m wide at the west end, however no additional dedication will be required since the existing grade is too steep to construct a road to City standards. For this reason, the full upgrade of 9 Avenue SE will not be required, however existing road drainage issues will need to be addressed.
4. 851 5 Street SE currently shares an access with the subject property. A reciprocal access easement will be required to protect the access of 851 5 Street SE.
5. Owner / Developer is responsible in ensuring all boulevards and driveways are graded at 2.0% towards the existing roadway.
6. The conclusions of the Franklin Engineering Traffic and Access Assessment are that the proposed access meets all safety requirements and that additional traffic flows on 5 Street SE will be negligible. The Engineering Department agrees with these conclusions. However, the report does also recommend that vehicles should be able to turn onsite to prevent exiting the driveway in reverse. A suitable turn-around should therefore be provided onsite to allow all vehicles to turn and exit in a forward direction. This would also permit the strata to opt in to the City's Garbage and Recycling Program.

ZONING AMENDMENT APPLICATION FILE NO. ZON-1117
21 February 2018
Page 3

Water:

1. The subject property fronts a 150mm diameter Zone 1 watermain on 5 Street SE. No upgrades will be required at this time.
2. The subject property fronts on 9 Avenue SE where no watermain is currently constructed. Since extending a watermain along 9 Avenue SE is premature at this time, a 100% cash contribution for the future construction of a watermain across the frontage on 9 Avenue SE will be required.
3. The property is to be serviced by a single water service connection, adequately sized to satisfy the proposed use. Strata lots shall have individual water meters that will be supplied by the City at the time of Building Permits. Owner / Developer is responsible for all associated costs.
4. Records indicate that the existing property is serviced by a 12.5mm service from the 150mm diameter watermain on 5 Street SE. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.
5. The subject property is in an area with sufficient fire flows and pressures according to the 2011 Water Study (OD&K 2012).
6. Fire protection requirements to be confirmed with the Building Department and Fire Department.

Sanitary:

1. The subject property fronts a 200mm diameter sanitary sewer located on 5 Street SE and a 150mm diameter sanitary sewer located on 9 Avenue SE. Upgrading to a minimum 200mm diameter will be required across the frontage of the property on 9 Avenue SE.
2. The property is to be serviced by a single sanitary service connection adequately sized (minimum 100mm diameter) to satisfy the servicing requirements of the development. Owner / Developer is responsible for all associated costs.
3. Records indicate that the existing property is serviced by a 100mm service from the sanitary sewer on 5 Street SE. All existing inadequate/unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Drainage:

1. The subject property fronts a 600mm diameter storm sewer located on 5 Street SE and a 300mm diameter storm sewer located on 5 Street SE. There is no storm sewer located on 9 Avenue SE. Since 9 Avenue SE is not required to be upgraded, the provision of a storm sewer across the frontage of the property is not required. The owner / developer is however

ZONING AMENDMENT APPLICATION FILE NO. ZON-1117

21 February 2018


Page 4

required to provide a storm water system to address existing flows on 9 Avenue, to prevent these discharging onto private property. Owner / Developer is responsible for all associated costs.

2. An Integrated Stormwater Management Plan (ISMP) conforming to the requirements of the Subdivision and Development Servicing Bylaw No. 4163, Schedule B, Part 1, Section 7 shall be provided. Where onsite disposal of stormwater is recommended, a Stormwater Management System shall be provided in accordance with Section 7.2.
3. Should discharge into the City Storm Sewer be part of the ISMP, the proposed lot(s) shall be serviced (each) by a single storm service connection adequately sized (minimum 150mm) to satisfy the servicing requirements of the development. Owner / Developer's engineer may be required to prove that there is sufficient downstream capacity within the existing City Storm System to receive the proposed discharge from the development. All existing inadequate / unused services must be abandoned at the main. Owner / Developer is responsible for all associated costs.

Geotechnical:

1. A geotechnical report in accordance with the Engineering Departments Geotechnical Study Terms of Reference for: Category A (Building Foundation Design), Category B (Pavement Structural Design), Category C (Landslide Assessment).


Chris Moore
Engineering Assistant
Jenn Wilson P.Eng., LEED ® AP
City Engineer



Print

Submit Form

CITY OF SALMON ARM - DEVELOPMENT SERVICES DEPARTMENT
Box 40, 500 - 2nd Avenue NE, Salmon Arm, BC, V1E 4N2
Phone: 250-803-4021 FAX: 250-803-4041

TO: DIRECTOR OF DEVELOPMENT SERVICES (Kevin)
 PLANNING AND DEVELOPMENT OFFICER (Jon)
 PLANNING AND DEVELOPMENT OFFICER (Wes)
 PLANNING AND DEVELOPMENT OFFICER (Chris)
 MANAGER OF PERMITS & LICENSING (Maurice)
 FIRE DEPARTMENT (Brad)
 ENGINEERING & PUBLIC WORKS DEPARTMENT (Rob, Jenn & Jennifer)
 MINISTRY OF TRANSPORTATION & INFRASTRUCTURE, P.O. Box 100, Salmon Arm, BC, V1E 4S4
 BC HYDRO, via email utilities group
 FORTISBC, via email utilities group
 TELUS, via email utilities group
 SHAW CABLESYSTEMS, via email utilities group

REFERRAL

OWNER: Reimer, Roderick, [REDACTED]
 Reimer, Randal, [REDACTED]
 APPLICANT: Owner
 AGENT: Reimer, Roderick, [REDACTED]
 DATE: January 30, 2018
 SUBJECT: ZONING AMENDMENT APPLICATION FILE NO. ZON-1117
 LEGAL: Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725
 CIVIC: 791 - 5 Street SE

Please provide comments on the attached Zoning Amendment Application at your earliest opportunity.

OCP Designation:	HR (High Density Residential Zone)
OCP Designation Requested:	n/a
Development Permit Area:	Environmentally Sensitive Riparian Area & Potential Hazardous Area
Current Zoning:	R-1 (Single Family Residential Zone)
Requested Zoning:	R-4 (Medium Density Residential Zone)
ALR:	No
Other:	The applicant wishes to build 4 duplexes
Previous Files:	ZON-1090
Associated File:	n/a

Thank you.

Kevin Pearson, MCIP, RPP
 Director of Development Services

COMMENTS for ZON-1117:

It appears the roadway of this development is in excess of 90 Meters.
 BCBC 9.10.20.3(1) references A 3.2.5.6.(1) and a requirement for a turnaround for
 dead end roadways in excess of 90 M.
 Being consistent with our past practice of such developments we would ask for a
 turnaround or T-turn at the end of the roadway.
 Thank you

SIGNATURE: Jim Nickles

DATE: Feb. 7/18

CITY OF SALMON ARM

BYLAW NO. 4251

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm at the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on March 26, 2018 at the hour of 7:00 p.m. was published in the _____, 2018 and _____, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 5, Section 14, Township 20, Range 10, W6M, KDYD, Plan 5725 from R-1 Single Family Residential Zone to R-4 Medium Density Residential Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as "**City of Salmon Arm Zoning Amendment Bylaw No. 4251**"

READ A FIRST TIME THIS DAY OF 2018

READ A SECOND TIME THIS DAY OF 2018

READ A THIRD TIME THIS DAY OF 2018

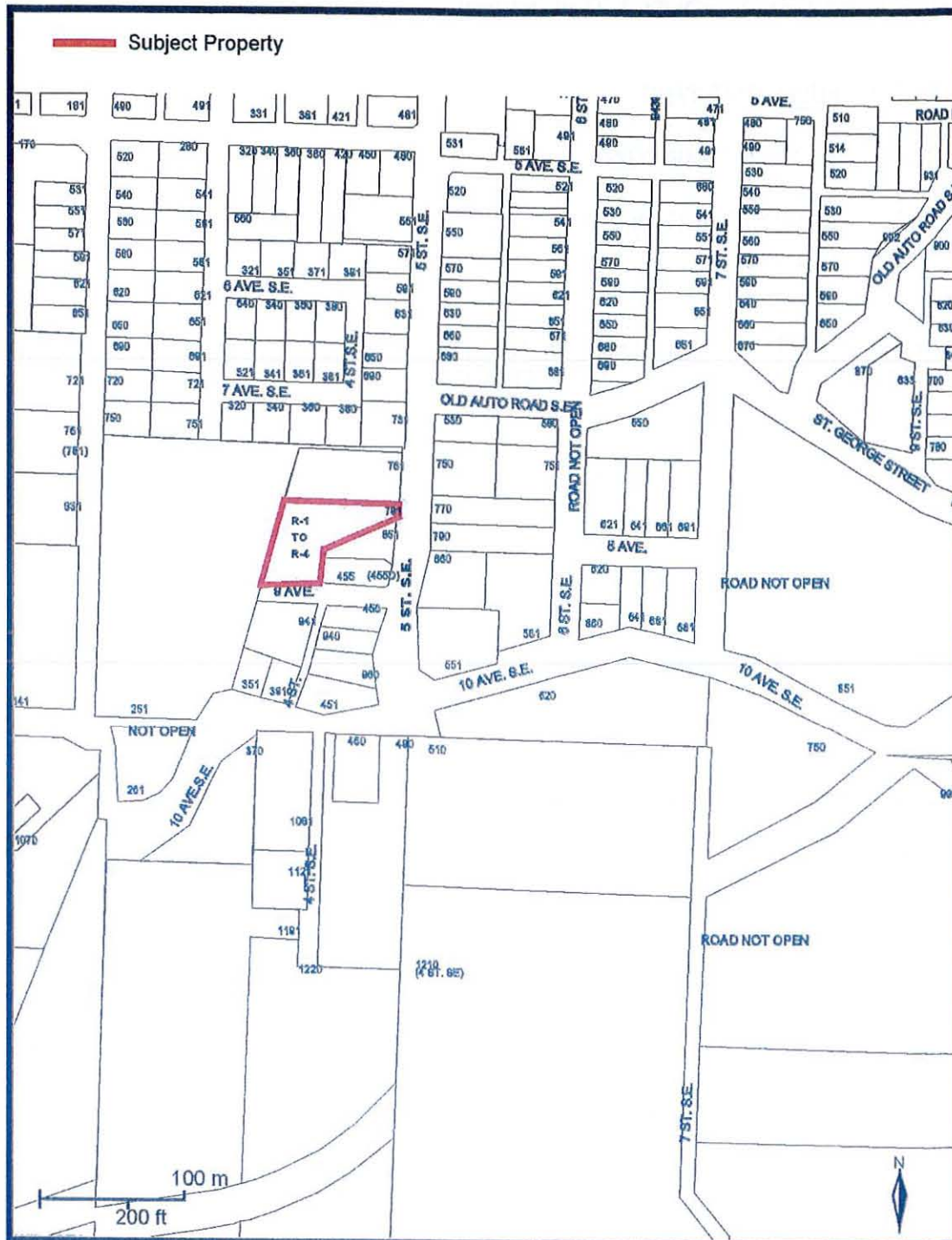
APPROVED PURSUANT TO SECTION 52 (3) (a) OF THE TRANSPORTATION ACT
ON THE DAY OF , 2018

For Minister of Transportation & Infrastructure

ADOPTED BY COUNCIL THIS DAY OF , 2018

MAYOR

CORPORATE OFFICER



Item 9.1

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Jamieson

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled City of Salmon Arm Fee for Service Amendent Bylaw No. 4249
be read a final time.

[Airport Terminal Building Rental]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4249**A bylaw to amend "District of Salmon Arm Fee for Service Bylaw No. 2498"**

WHEREAS it is deemed desirable and expedient to alter the fees imposed by "District of Salmon Arm Fee for Service Bylaw No. 2498";

NOW THEREFORE the Council of the City of Salmon Arm, in open meeting assembled, enacts as follows:

1. Appendix 1 Schedule "B" - Airport User Fees of "District of Salmon Arm Fee for Service Bylaw No. 2498" is hereby deleted in its entirety and replaced with Appendix 1 Schedule "B" - Airport User Fees, attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force effective upon adoption.

5. CITATION

This bylaw may be cited as "City of Salmon Arm Fee for Service Amendment Bylaw No. 4249".

READ A FIRST TIME THIS	26th	DAY OF	February	2018
READ A SECOND TIME THIS	26th	DAY OF	February	2018
READ A THIRD TIME THIS	26th	DAY OF	February	2018
ADOPTED BY COUNCIL THIS		DAY OF		2018

MAYOR

CORPORATE OFFICER

MISCELLANEOUS FEE SCHEDULE - PUBLIC WORKS

All fees on this appendix, except Outside and Overnight Ground Rental Fees, are GST exempt

1.	Airport User Fees		
	Ground Rental Fees (Parking) All Aircraft 0 - 5,700 kg		
	· per day	\$10.00	plus GST
	· per month	\$100.00	plus GST
	· per year (less 10% discount if paid prior to Feb 15)	\$625.00	plus GST
	Ground Rental Fees (Parking) All Aircraft > 5,700 kg		
	· per day	\$20.00	plus GST
	· per month	\$150.00	plus GST
	· per year (less 10% discount if paid prior to Feb 15)	\$1,500.00	plus GST
	Landing Fee Each		
	· 2,000 - 5,700 kg per year	\$35.00	plus GST
	· 5,701 - 8,000 kg per year	\$75.00	plus GST
	· > 8,000 kg per year	\$125.00	plus GST
	Hangar Fees		
	Regular, Non-Commercial		
	· per square metre, per year	\$4.55/sq. m	
	· per square foot, per year	\$0.424/sq. ft	
	· Minimum, per year	\$575.00	
	· (less 10% discount if paid in full prior to Feb 15)		
	NOTE: if rental is for less than one month GST applies		
	Commercial/Industrial/Non-Airport		
	· per square metre, per year	\$7.70/sq. m	
	· per square foot, per year	\$0.714/sq. ft	
	· Minimum, per year	\$1,437.50	
	· (less 10% discount if paid in full prior to Feb 15)		
	NOTE: if rental is for less than one month GST applies		
	City of Salmon Arm Hangar		
	· per month	\$168.75	
	· per year (less 10% discount if paid prior to Feb 15)		
	· NOTE: if rental is for less than one month GST applies		
	Terminal Building (Bylaw No. 4249)		
	· per month (1 office space) Triple Net (utilities/taxes/maintenance)	\$600.00	plus GST
	· per month Basement Storage Area Triple Net (utilities/taxes/maintenance)	\$600.00	plus GST
	Equipment/Maintenance Building		
	· per day	\$112.50	plus GST
	Seat Tax		
	· per passenger (less 10% collection fee)	\$7.50	
	Gas Price Markup (per litre)		
	(\$0.02 increase is for marketing and promotion)	Avgas / Mogas Jet A	\$0.22 \$0.37
	Gate Activation Card (one time fee)	\$31.25	plus GST
	Gate Activation Replacement Card	\$62.50	plus GST
	Trailer Pad (per month)	\$300.00	plus BC CPI (calculated as at January 1 each year)

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INFORMATIONAL CORRESPONDENCE – MARCH 12, 2018

1. Building Department – Building Statistics – February 2018
2. Building Department – Building Permits – Yearly Statistics
3. W. Trethewey – email dated February 27, 2018 – Road Maintenance
4. G. Spooner – letter dated February 19, 2018 – Canoe Beach Campsite #1
5. J. Jacobson – email dated January 27, 2018 – Wildland Fire protection plan
6. D. MacQuarrie, Facilitator, MacQuarrie Institute – e-mail dated March 5, 2018 – Adopting the United Nations Declaration of rights of Indigenous People
7. Salmon Arm Junior Bonspiel – Thank You
8. R. Walters, Chairperson & P. McIntyre-Paul, Executive Director – letter dated February 16, 2018 – Thank You
9. School District 83 – North Okanagan-Shuswap – Newslane
10. Salmon Arm Chamber of Commerce – email dated March 1, 2018 – BC Budget – New Payroll Tax & Other Details
11. A. Slater, Executive Director, SILGA – email dated February 20, 2018 – 2018 SILGA Constitutional Resolutions
12. K. Chen, Minister of State for Child Care – email dated February 27, 2018 – Letter from the Honourable Katrine Conroy and the Honourable Katrina Chen
13. M. Simpson, Senior Regional Manager, Thompson Fraser Basin Council – email dated February 21, 2018 – Thompson Watershed Disaster Mitigation Forum – summary and presentation links from February 14, 2018
14. L. Kellosalmi, Tour Paramedic Ride BC – email dated March 2, 2018 – Tour Paramedic Ride BC
15. M. LoVecchio, Director Government Affairs, CP – letter dated February 19, 2018 – Rocky Mountain Railroad – Discovery Channel
16. R. Hovanes, Mayor, Town of Oliver – letter dated February 16, 2018 – Alberta – British Columbia Trade War
17. R. Berrigah, Mayor, Village of Chase – letter dated January 18, 2018 – Prevention of Quagga and Zebra Mussels
18. T. Rysz, Mayor, District of Sicamous – letter dated February 14, 2018 – Cannabis Sales Revenue Sharing
19. A. Finall, Mayor, District of North Saanich – letter dated February 21, 2018 – Marihuana Addiction Treatment, Prevention and Education
20. G. McCune, Mayor, City of Enderby – letter dated February 20, 2018 – Revenue from Cannabis Sales – Equitable Share between Province and Local Government
21. J. Townsend, Mayor, Village of Valemount – letter dated February 20, 2018 – Cannabis Tax Revenue Sharing
22. J. Allen, Mayor, Village of Port Alice – letter dated March 1, 2018 – Revenue from Cannabis Sales – Equitable Share between Province and Local Government
23. C. Graves, Corporate Officer, Township of Spallumcheen – letter dated February 22, 2018 – 2018 Resolution – Asset Management
24. C. Peters – email dated February 26, 2018 – Child sex trafficking in BC Municipalities and how to stop it

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Item 11.1

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Eliason

Seconded: Councillor Jamieson

THAT: Council award the purchase of the Sport Utility Vehicle, a 2018 4x4 Chevrolet Tahoe, to Salmon Arm GM in the amount of \$45,295.00 (plus applicable taxes and less trade-in value).

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



City of Salmon Arm Fire Department

Date: February 21, 2018
To: Mayor Cooper and Members of Council
Subject: Sport Utility Vehicle

Recommendation

That: Council award the purchase of the Sport Utility Vehicle, a 2018 4x4 Chevrolet Tahoe, to Salmon Arm GM in the amount of \$45,295.00 (plus applicable taxes and less trade-in value).

Background

Pursuant to the 2018 Budget, a Request for Proposal was prepared to replace the Fire Chief's vehicle.

Following an analysis of the proposals listed below, it is recommended that the quotation received from Salmon Arm GM for a 2018 4x4 Chevrolet Tahoe for a total net trade in amount of \$45,830.00 be accepted. Four (4) quotations were received and although the quotation from Braby Motors was slightly lower, it did not meet all the required specifications and is of a smaller size.

Analysis:

	Jacobson Ford	Braby Motors	Salmon Arm GM	Hilltop Toyota
Cost	\$52,894.00	\$40,242.00	\$45,295.00	\$44,560.00
Less: Trade-in	2,500.00	1,800.00	4,500.00	500.00
Environmental Fees & Taxes	25.00	124.96	125.00	0.00
GST	2,520.95	1,928.35	2,046.00	2,203.00
PST	3,529.33	2,699.69	2,864.00	3,084.20
Less: Additional Discount	0.00	0.00	0.00	2,000.00
Total Cost	\$56,469.28	\$43,195.00	\$45,830.00	\$47,347.20

Total cost is within the approved budget allocation of \$55,000.00 however, an additional \$5,000.00 is required for the procurement and installation of emergency lighting, consul and graphics.

Respectfully Submitted,


Brad Shirley, Fire Chief

Item 11.2

CITY OF SALMON ARM

Date: March 12, 2018

Shuswap Lakes Vacations Inc.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



34

City of Salmon Arm
Memorandum from the Chief Administrative Officer

Date: March 7, 2018
To: Mayor Cooper and Members of Council
Subject: Penalties and Interest - \$1,608.94
Shuswap Lakes Vacations Inc. (SLVI)
Roll No. 06868.002 – 814 Marine Park Drive NE - \$996.68
Roll No. 06800.541 – 750 Marine Park Drive NE - \$612.26

Motion for Consideration:

THAT: Council request the Inspector of Municipalities to authorize the City of Salmon Arm to reverse \$1,608.94 of outstanding penalties and interest associated with SLVI's former Lease and Sub-Lease of the Wharf and Foreshore:

- Roll No. 06868.002 – 814 Marine Park Drive NE - \$996.68 - Portion of the foreshore; and
- Roll No. 06800.541 – 750 Marine Park Drive NE - \$612.26 - Marina, access ramps and specified portions of the wharf and parking lot.

Background:

SLVI formerly leased property and subleased foreshore from the City of Salmon Arm (City) for approximately twenty (20) years at Marine Peace Park as part of their houseboat operations on Shuswap Lake. In the last year of their agreement with the City (2015), the BC Assessment Authority assessed the Leased and Sub-Leased areas as taxable property for SLVI. This new assessment was created as a result of a combination of a Province wide review of Marinas undertaken by the BC Assessment Authority and the referral of an RFP query from the City.

The following property tax amounts (penalties and interest) under the name of SLVI are outstanding:

- Roll No. 06868.002 – 814 Marine Park Drive NE - \$996.68 - Portion of the foreshore*; and
- Roll No. 06800.541 – 750 Marine Park Drive NE - \$612.26 - Marina, access ramps and specified portions of the wharf and parking lot*.

* Rolls / Properties assessed by the BC Assessment Authority in 2015 and beyond.

Mayor Cooper and Members of Council
 Memorandum - Penalties and Interest - \$1,608.94
 Shuswap Lakes Vacations Inc.

The City has been actively pursuing the collection of the property taxes attributed to the two Rolls / properties for some time. SLVI recently paid the original property tax levy (\$7,167.23) and, as part of a negotiated settlement, this report concerning the interest and penalties component is coming forward for Council's consideration.

While the Lease and Sub-Lease Agreements clearly set out that SLVI was responsible to pay any applicable property taxes, there are certainly some extenuating circumstances involved which merit Council's consideration of this matter, namely:

- SLVI had never paid property taxes as BC Assessment had never assigned any Assessed Value to the Rolls / properties; and
- The penalties and interest have accrued while the legitimacy of the original levy has been determined by the parties. Reversal of these amounts should be considered the settlement of a disputed claim.

It is recommended that Council adopt the Motion for Consideration.

A summary of the property taxes, including penalties and interest, is as follows:

Shuswap Lakes Vacations Inc. Civic Address: 814 Marine Park Drive NE Roll No.: 06868.002		Shuswap Lakes Vacations Inc. Civic Address: 750 Marine Park Drive NE Roll No.: 06800.541	
2015 Original Levy	\$ -	2015 Original Levy	\$ -
2015 Supplemental #6	4,389.68	2015 Supplemental #6	4,718.69
2015 Supplemental #10	50.17	2015 Supplemental #10	(1,991.31)
Total 2015 Levy	4,439.85	Total 2015 Levy	2,727.38
2015 Penalty	443.99	2015 Penalty	272.74
	4,883.84		3,000.12
2016 Interest (Feb 7 - Dec 31)	250.16	2016 Interest (Feb 7 - Dec 31)	153.67
	5,134.00		3,153.79
2017 Interest (Jan 1 - Sept 30)	218.88	2017 Interest (Jan 1 - Sept 30)	134.46
	5,352.88		3,288.25
2017 Interest (Oct 1 - Dec 31)	83.65	2017 Interest (Oct 1 - Dec 31)	51.39
	5,436.53		3,339.64
Payment	(4,439.85)	Payment	(2,727.38)
	\$ 996.68		\$ 612.26

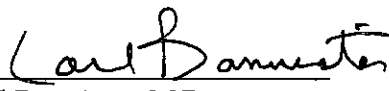
Pursuant to Section 781 of the *Local Government Act*, the City must obtain the approval of the Inspector of Municipalities to dispose of assets, which includes the recording of uncollectable accounts and the reversal of penalties and interest.

Mayor Cooper and Members of Council
Memorandum - Penalties and Interest - \$1,608.94
Shuswap Lakes Vacations Inc.

Council may consider passing a motion to request the Inspector of Municipalities to authorize the City of Salmon Arm to reverse the above referenced property tax receivables (i.e. penalties and interest) pursuant to Section 781 of the *Local Government Act* (though such a request may or may not be approved).

Council does not have the authority to reduce or remove property taxes unless permitted to do so pursuant to Section 781 of the *Local Government Act*, as authorized by the Inspector of Municipalities.

The current tenant, Sea Dog Rentals Inc., paid property taxes for the Lease and Sub-Lease of the Rolls / properties in 2017 and is responsible to pay them going forward.



Carl Bannister, MCIP, RPP
Chief Administrative Officer

Item 11.3

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Eliason

Seconded: Councillor Wallace Richmond

THAT: Council appoint the following three (3) Downtown Salmon Arm representatives "Jacquie Gaudreau, Heather Finn and Gerald Foreman" to serve on the Downtown Parking Commission for the two (2) year term from February 27, 2018 to February 28, 2020.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm
Memorandum from the Engineering
and Public Works Department*

TO: Her Worship the Mayor and Members of Council File: 0360.30.02
FROM: Robert Niewenhuizen, Director of Engineering and Public Works
DATE: March 6, 2018
SUBJECT: Downtown Parking Commission Downtown Salmon Arm Member Appointments

RECOMMENDATION:

THAT: Council appoint the following three (3) Downtown Salmon Arm representatives "Jacquie Gaudreau, Heather Finn and Gerald Foreman" to serve on the commission for the two (2) year term from February 27, 2018 to February 28, 2020.


Background:

Pursuant to Downtown Parking Commission Bylaw No. 1844, the four (4) positions nominated by the Downtown Improvement Association, Downtown Salmon Arm (DSA) expired on February 27, 2018.

The Downtown Salmon Arm has put forward the following three (3) representatives: Jacquie Gaudreau, Heather Finn and Gerald Foreman for the two (2) year term from February 27, 2018 to February 28, 2020

Matt Koivisto who was a commission member since 2014 has stepped down and at this time DSA does not have a replacement, they will notify the City when the board has another recommendation.

This request has been reviewed by the Parking Commission and they in support this recommendation.


Robert Niewenhuizen,
Director of Engineering and Public Works

cc Erin Jackson, Corporate Officer

Item 11.4

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: Council award crushing of approximately 2500 m³ of Reclaimed Asphalt Pavement (RAP) at the quoted unit price of \$9.75 / m³ plus applicable taxes to Okanagan Aggregates Ltd., Armstrong, BC. Total extended cost is \$24,375.00 + taxes.

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of these works and services to authorize the sole sourcing to Okanagan Aggregates Ltd.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



*City of Salmon Arm
Memorandum from the Engineering and
Public Works Department*

File:Eng 2018-31

TO: Her Worship Mayor Nancy Cooper and Members of Council

FROM: Rob Niewenhuizen, Director of Engineering and Public Works

PREPARED BY: Rob Hein, Manager of Roads & Parks

DATE: March 6, 2018

SUBJECT: **Sole Sourcing Crushing of Reclaimed Asphalt Pavement (RAP)**

RECOMMENDATION:

THAT: Council award crushing of Approximately 2500 m³ of Reclaimed Asphalt Pavement (RAP) at the quoted unit price of \$9.75 / m³ plus applicable taxes to Okanagan Aggregates Ltd, Armstrong BC. Total extended cost is \$24,375.00 + taxes.

AND THAT: The City's Purchasing Policy No.7.13 be waived in procurement of these works and services to authorize the sole sourcing to Okanagan Aggregates Ltd.

BACKGROUND:

The City has a reclaimed asphalt pile of approximately 2500 m³ in the City pit. It has been a long term plan to at some point recycle this material by crushing it, processing it through a PUG mill where we add some asphalt binder and then relaying it with an asphalt spreader on a gravel road.

The need to move forward with this plan got a push last fall when the Ministry of Mines informed us that the asphalt storage in the pit is not a permitted use under our license. As a step towards bring this infraction into compliance we proposed a RAP paving project on 70 Street SE for the 2018 budget which council subsequently approved. Planning this project included using OK Aggregates Ltd. to crush the asphalt while they were onsite. The size of our asphalt pile is so small that it would not attract a contractor to bring in a crusher just for that item.

Cost for RAP ready to be placed is approximately \$30/m³ versus \$275/m³ (2017 paving contract price) for hot asphalt. It is an economic way to provide a hard surface and reduce maintenance costs on our gravel roads. The only opportunity to crush the asphalt is when we have a contractor onsite for our regular gravel production. Normally

Sole Sourcing Crushing of Reclaimed Asphalt Pavement (RAP)

Page 2

it would have been included as an item in the tender request. As it was not planned for at the time of the tender we are requesting that it is sole sourced to OK Aggregates Ltd. while they are available and located at the City Pit producing crushed rock and sand to replenish the City's material inventory.

Funding for the crushing operation is included in 70 Street SE – Roadway Upgrade capital account 10-2940-053x (\$80,000.00).

Respectfully submitted,



Robert Niewenhuizen
Director of Engineering and Public Works

cc Monica Dalziel, Chief Financial Officer

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Item 11.5

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Jamieson

THAT: Council approve the purchase of a new 20 Hp Flygt Submersible Sewage pump for Oxidic Aeration from Electric Motor & Pump Service Ltd., for the quoted amount of \$24,390.00 plus applicable taxes;

AND THAT: The City's Purchasing Policy No. 7.13 be waived in procurement of these works and services to authorize the sole sourcing to Electric Motor & Pump Service Ltd.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



City of Salmon Arm
Memorandum from the Engineering and
Public Works Department

File: ENG2018.

TO: Her Worship the Mayor and Members of Council
 FROM: Robert Niewenhuizen, Director of Engineering and Public Works
 PREPARED BY: Hart Frese, Chief Operator Water Pollution Control Center
 DATE: March 7, 2018
 SUBJECT: **Oxic Aerator Pump – New Pump Purchase**

RECOMMENDATION:

THAT: Council approve the purchase of a new 20 Hp Flygt Submersible Sewage pump for Oxidic Aeration from Electric Motor & Pump Service Ltd., for the quoted amount of \$24,390.00 plus applicable taxes.


AND THAT: The City's Purchasing Policy No.7.13 be waived in procurement of these works and services to authorize the sole sourcing to Electric Motor & Pump Service Ltd.

BACKGROUND:

The City of Salmon Arm's Wastewater Treatment Plant utilizes 2 aeration pumps to mix and aerate the Oxidic Suspended Growth Reactors 24 hours per day. The existing pumps are reaching the end of their serviceable life and are showing significant wear on the discharge volute and connection. Subsequently staff has budgeted for a new 20 Hp Flygt pump complete with the "N" style anti-clogging impeller and discharge connector to replace one of the existing 20 hp pumps which were installed in 2004.

EMPS is located in Kelowna and is the only distributor for Flygt pumps in the Okanagan/Shuswap. They are instrumental in providing pump maintenance as required by the City and have been directly involved in reviewing the specifications required for the replacement pump to meet our needs. As such staff views this as a sole source project under Policy No. 7.13 Section 3 whereby it is a non-competitive situation due to the proprietary nature of Flygt pumps.

Respectfully submitted,


 Robert Niewenhuizen, A.Sc.T.
 Director of Engineering and Public Works

cc Monica Dalziel, Chief Financial Officer

16.1

CITY OF SALMON ARM

Date: March 12, 2018

NOTICE OF MOTION Solar Photo Voltaic Pilot Project

Moved: Councillor Lavery
Seconded:

WHEREAS: the City of Salmon Arm, as a signatory to the BC Climate Action Charter, acknowledges that climate change is a reality and has the goal to move towards carbon neutrality with respect to the City's operations;

AND WHEREAS: cities can take a leadership role in demonstrating alternative energy options,

THEREFORE BE IT RESOLVED THAT: the City consider initiating a grid-tied net metering Solar Photo Voltaic Pilot Project on a City property with all data and live metrics of the project to be readily shared with the public;

AND THAT: staff report back regarding:

- (a) potential viable sites;
- (b) the cost estimates including site audits, installation, grid connections and estimated annual maintenance of the recommended panel sizing and configuration;
- (c) estimates of energy generation and payback length; and
- (d) recommendations of how best to structure usage agreements where tenants of leased city properties currently pay for the electricity they use if that city building is a potentially viable site.

AND FURTHER THAT: the costs associated with this pilot project, including auditing of potential sites, installation, connections and three (3) years of annual maintenance be funded from the Climate Action Reserve.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

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Item 21.1

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Eliason

Seconded: Councillor Jamieson

THAT: Development Variance Permit Application No. VP-469 be authorized for issuance for proposed Lot 1, resulting from the subdivision of Lot B, Section 19, Township 20, Range 9, W6M, KDYD, Plan 26672, which will vary the provisions of Zoning Bylaw No. 2303 as follows:

1. Section 4.9.1.1 - decrease the minimum setback requirement from the centre line of an Arterial Street (30 Street NE) for a principal building on proposed Lot 1 resulting from the subdivision of Lot B, Section 19, Township 20, Range 9, W6M, KDYD, Plan 26672 as shown in the staff report dated February 21, 2018, from 18.5 metres to 17.0 metres.

[Development Variance Permit Application No. VP-469; McKinnon, B. / Walters, R.; 2820 - 30 Street NE; Setback Variance]

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond



City of Salmon Arm
Development Services Department Memorandum

TO: Her Worship Mayor Cooper and Council

FROM: Development Services Department

DATE: February 21, 2018

SUBJECT: Development Variance Permit Application No. VP-469
Lot B, Plan 26672 Sec. 19, Tp. 20, R. 9, W6M, KDYD
2820 - 30 Street NE
Owner: B. McKinnon
Agent: R. Walters

Motion for Consideration

THAT: Development Variance Permit No. VP-469 be issued for Lot B, Plan 26672, Sec. 19, Tp. 20, R. 9, W6M, KDYD to vary the provisions of Zoning Bylaw No. 2303 as follows:

1. **Section 4.9.1.1** - decrease the minimum setback requirement from the centre line of an Arterial Street (30 Street NE) for a principal building on proposed Lot 1, as shown on Appendix 3, from 18.5 metres to 17.0 metres.

Staff Recommendation

THAT: The Motion for Consideration be adopted.

Proposal

The subject property is located at the intersection of 30 Street NE and 28 Avenue NE. The owner has received preliminary approval to subdivide the property into three parcels and wishes to construct a residence on one of the new parcels (proposed Lot 1) that will extend into the minimum setback requirement along 30 Street NE. A location map, ortho photo, site plan and an outline of the proposal from the owner's agent are attached as Appendices 1 through 4.

Background

The property is designated Low Density Residential in the Official Community Plan and is zoned R-1 (Single Family Residential).

The property has frontage on both 28 Avenue NE, which is designated as a Local Street, and 30 Street NE, which is designated as an Arterial Street. Local Streets have an ultimate right of way of 20.0 metres (10.0 metres from centreline) and Arterial Streets have an ultimate right of way width of 25.0 metres (12.5 metres from centreline).

In the R-1 Zone, the minimum setback requirement along an Exterior Side Parcel Line is 6.0 metres. However, if the adjacent roadway is a designated Arterial Street, an additional setback of 18.5 metres from the centreline of the roadway is also applied. This additional setback allows for widening of the Arterial Street to its ultimate 12.5 metre width from centreline and ensures that new buildings will still be setback 6.0 metres from the External Side Parcel Line following the road dedication.

As shown on the site plan in Appendix 3, proposed Lot 1 has an External Side Parcel line adjacent to 30 Street NE. This lot will be approximately 453 square metres in size and is currently vacant. With the required setback of 18.5 metre setback from centreline, the building envelope on this parcel will be limited to a width of 7.7 metres. The owner would like to increase this width by 1.5 metres to allow more flexibility in preparing a building floor plan. The additional width to the building envelope will reduce the setback from centreline from 18.5 metres to 17.0 metres.

Site Context

Adjacent land uses include the following:

North: Residential lot zoned R-1(Single Family Residential)
 South: 28 Avenue NE, then residential lot zoned R-1 (Single Family Residential)
 East: Residential lot zoned R-8 (Residential Suite)
 West: 30 Street NE; then residential lot zoned R-1(Single Family Residential)

Staff have reviewed the proposal and provide the following:

Fire Department

No concerns.

Building Department

No concerns.

Engineering Department

See Appendix 5.

Planning Department

Setback requirements prevent owners from crowding neighbouring properties, ensure fire separation distances are maintained and traffic site lines are not impeded. With this application, all other setback requirements will be adhered to and the proposed building will still have a 7.0 metre setback from the existing Exterior Side Parcel Line.

The requested variance is relatively minor and will not impact traffic site lines. The variance will have little, if any impact on neighbouring properties and the proposed residence will not exceed the maximum permitted lot coverage provisions in the R-1 Zone (45%).

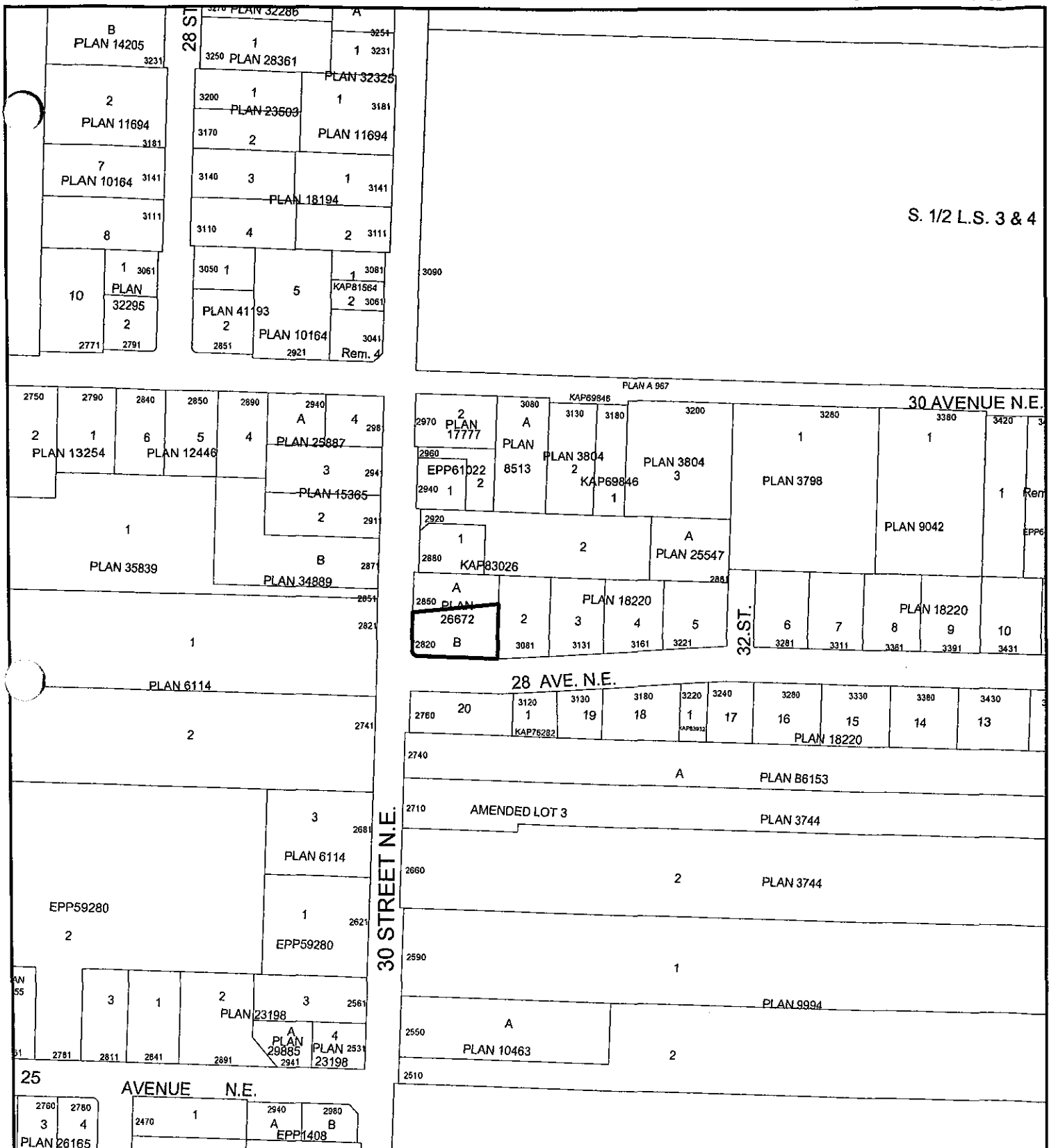
As 30 Street NE is currently dedicated 10 metres from centreline at this location, the applicants are not required to provide any additional dedication in conjunction with their proposed subdivision. However, the applicants have agreed to provide a 2.5 metre wide Road Reserve along the External Side Parcel Line which would allow the City to widen the roadway, at no additional cost, should it be needed in the future.


 Prepared by: Jon Turlock
 Planning & Development Officer


 Reviewed by: Kevin Pearson, MCIP
 Director of Development Services

Appendices

1. Location map
2. Ortho photo
3. Site plan
4. Owner's letter
5. Engineering Dept. comments

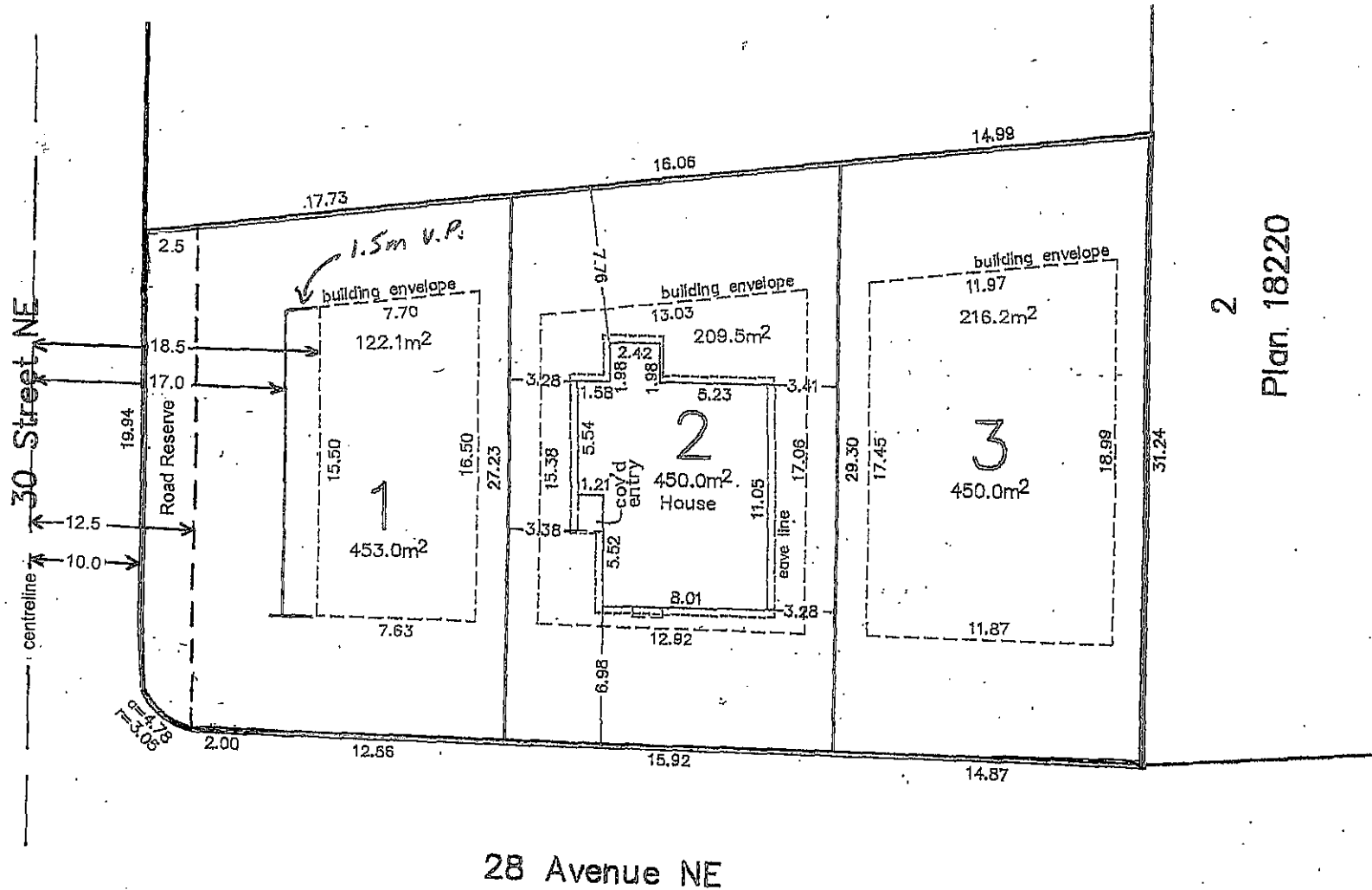


Subject Property

Location Map



Ortho



28 Avenue NE

December 6, 2016

BROWNE JOHNSON LAND SURVEYORS
B.C. AND CANADA LANDS
SALMON ARM, B.C. Ph.250-832-9701
File: 620-16 . . . 620-16.raw

City of Salmon Arm Planning dept.

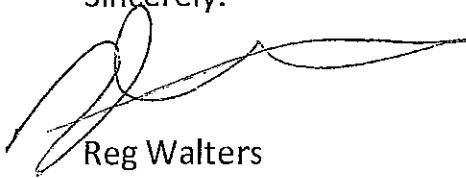
Feb. 08/ 2018

Explanatory letter regarding the request for a Variance to the City of Salmon Arm Zoning Bylaw.

This letter is to further clarify our request for a Variance Permit on the lot at NE corner of the intersection of 30 St and 28 Ave. NE. (address pending subdivision approval) We are wanting a Variance from 18.5m to 17.0m for the setback from centerline of an Arterial Collector which 30th St NE is classified as. This will allow us to construct a 30 ft. wide Single Family Dwelling as opposed to a 25 foot wide (7.63m) home which is difficult to create desirable floor plan and to sell.

We thank you for your time and consideration of our request.

Sincerely.

A handwritten signature in dark ink, appearing to read 'Reg Walters', with a long, sweeping horizontal stroke extending to the right.

Reg Walters



City of Salmon Arm
Memorandum from the Engineering
and Public Works Department

To: Kevin Pearson, Director of Development Services
 Date: February 9, 2018
 Prepared by: Darin Gerow, Engineering Assistant
 SUBJECT: **DEVELOPMENT VARIANCE NO. VP- 469E**
 LEGAL: Lot B, Section 19, Township 20, Range 9, W6M, KDYD, Plan 26672
 CIVIC: 2820 – 30 Street NE
 Owner: McKinnon, B./Walters, R., - 1381 – 16 Street NE, Salmon Arm, V1E 2T8
 Agent: Owner

Further to your referral dated January 19, 2018, the Engineering Department has thoroughly reviewed the site and offers the following comments and recommendations, relative to the variances requested:

The applicant is requesting to vary City of Salmon Arm Zoning Bylaw No. 2303 Section 4.9.1.1 as follows:

Reduce the building setback from centre line on an Arterial street from 18.5 meters to 17.0 meters.

Engineering Department does not have any concerns with the proposed setback reduction, and therefore recommends this variance be granted.

Darin Gerow, ASCT
 Engineering Assistant

Jenn Wilson, P. Eng.
 City Engineer

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CITY OF SALMON ARM
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Council of the City of Salmon Arm will hold a Public Hearing in the Council Chambers of the City Hall, 500 - 2 Avenue NE, Salmon Arm, BC, on Monday, March 12, 2018 at 7:00 p.m.

1) Proposed Amendment to Zoning Bylaw No 2303:

Proposed Rezoning of Lot 12, Section 25, Township 20, Range 10, W6M, KDYD, Plan 29590, Except Plan KAP62642 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

Civic Address: 1370 - 47 Avenue NE

Location: Raven Subdivision

Present Use: Single family dwelling

Proposed Use: Single family dwelling with a residential suite

Owner / Applicant: P. & J. Chang

Reference: ZON-1119/ Bylaw No. 4245



The file for the proposed bylaw is available for inspection between the hours of 8:30 a.m. and 4:00 p.m., Monday through Friday, excluding holidays from February 27, 2018 to March 12, 2018, both inclusive, in the office of the Corporate Officer at the City of Salmon Arm, 500 - 2 Avenue NE.

Those who deem their interest affected by the proposed bylaw are urged to review the file available in the Development Services Department (or telephone 250-803-4021) to obtain the facts of the proposal prior to the Public Hearing.

Erin Jackson, Corporate Officer

Salmon Arm Observer: February 28 and March 7



Development Services Department Memorandum

To: Her Worship Mayor Cooper and Members of Council

Date: February 7, 2018

Subject: Zoning Bylaw Amendment Application No. 1119

Legal: Lot 12, Section 25, Township 20, Range 10, W6M, KDYD, Plan 29590
Except Plan KAP62642

Civic: 1370 47 Avenue NE

Owner: Chang, J. & P.

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 12, Section 25, Township 20, Range 10, W6M, KDYD, Plan 29590 Except Plan KAP62642 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

The subject parcel is located at 1370 47 Avenue NE and currently contains a single-family dwelling (Appendix 1 and 2). The proposal is to rezone the parcel from R-1 (Single Family Residential Zone) to R-8 (Residential Suite) in order to develop a *detached suite* in the form of a garage (contractor space) with suite above. Additionally, an application to subdivide has been submitted (SUB17-33) which would create the potential for a new residential lot to be developed including one single family dwelling with a *secondary suite*.

BACKGROUND

The subject parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R-1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 and 4). The subject parcel is located in the Raven subdivision, a residential area largely comprised of R-1, R-4, and R-8 zoned parcels. There are currently 8 R-8 zoned parcels within close proximity of the subject parcel.

The large subject parcel is just under 0.5 acres in area and meets the conditions of minimum parcel area and minimum parcel width as specified by the proposed R-8 zone. Site photos are attached as Appendix 5. The intent of the applicant is to subdivide the parcel (concept attached as Appendix 6), which would allow for the creation of one new parcel of approximately 650 square metres and the future construction of a new single family dwelling potentially containing a *secondary suite* (in the proposed subdivision configuration, the lots proposed would both meet the R-8 Zoning Bylaw requirements, however while the parcel with the existing home would be large enough to permit a *detached suite*, the new lot proposed would not permit a *detached suite* based on area).

Any development of a single family dwelling, *secondary suite* or *detached suite* would require a building permit and will be subject to Zoning Bylaw regulations, BC Building Code requirements, and applicable Development Cost Charges.

Secondary Suites

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in Low Density Residential designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code. Based on the parcel area, the lot as it presently exists has potential for the development of either a *secondary suite* or a *detached suite*, including sufficient parking to serve the suite.

COMMENTSEngineering Department

No objections. Onsite parking to be provided. Owner required to install water metre at time of building permit.

Building Department

No Concerns. Recommendation to consider any future setbacks related to proposed new lot. A secondary suite is subject to BC Building Code requirements.

Fire Department

No concerns.

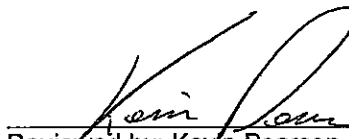
Planning Department

The proposed R-8 zoning of the subject parcel is consistent with the OCP and is therefore supported by staff. Any development of a single family dwelling, a *secondary suite* or *detached suite* will require a building permit and will be subject to meeting Zoning Bylaw regulations, BC Building Code requirements, and applicable Development Cost Charges.

The proposed subdivision which would result in one new lot should the applicant proceed, substantially aligns with existing development patterns in the area.



Prepared by: Chris Larson
Planning and Development Officer



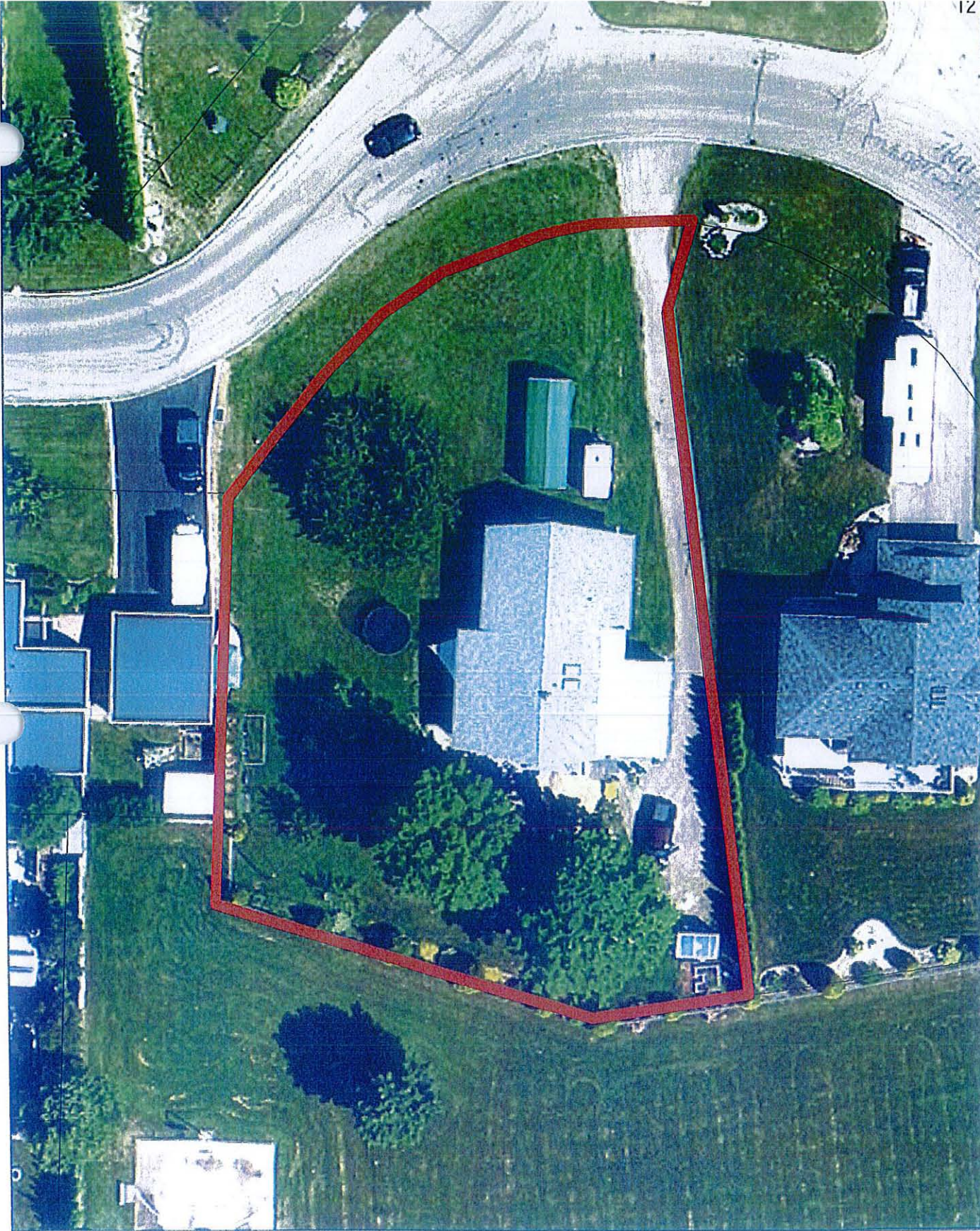
Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



0 20 40 80 120 160 Meters



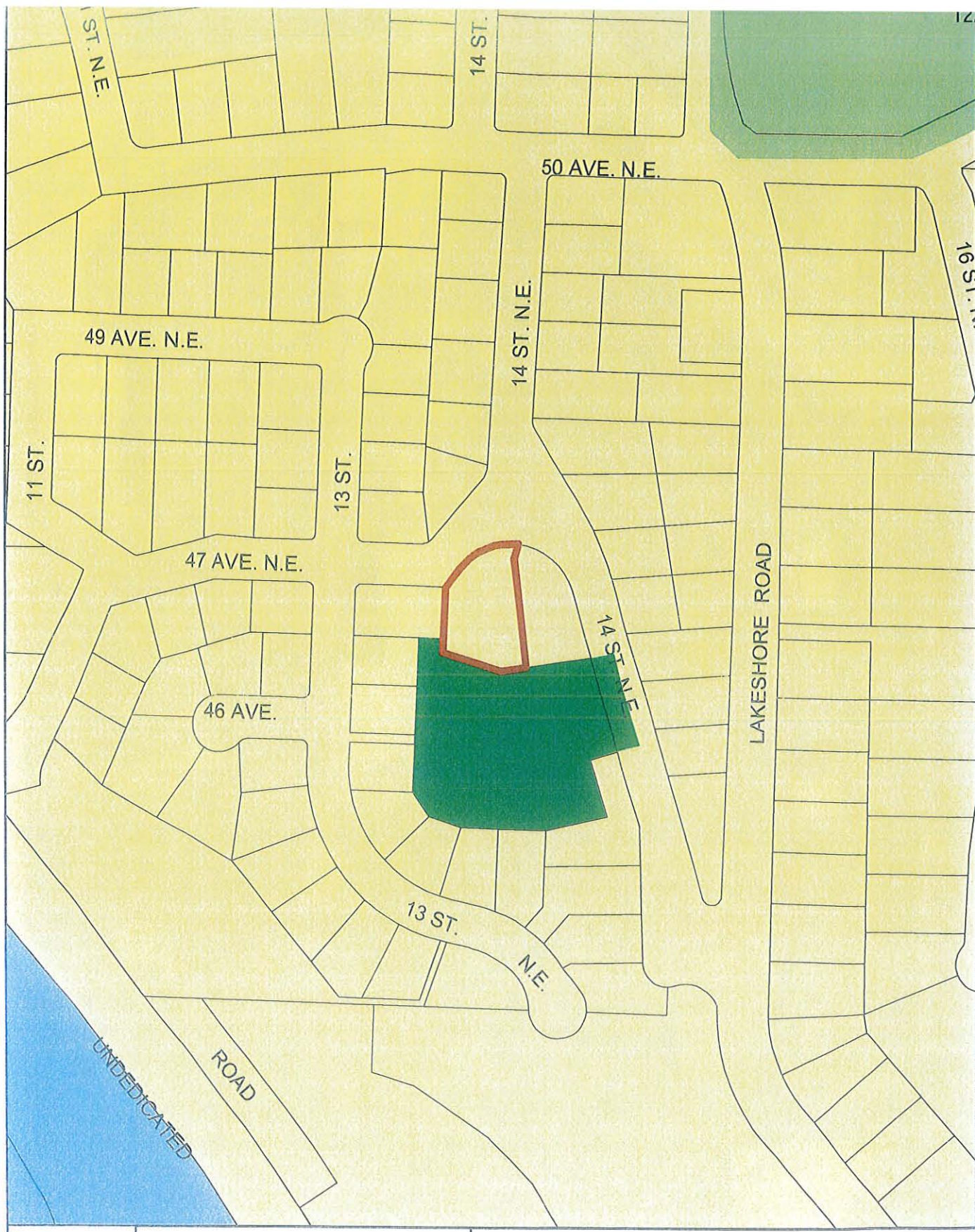
Subject Parcel:



0 3.75 7.5 15 22.5 30 Meters



Subject Parcel



0 15 30 60 90 120 Meters



Subject Parcel



Low Density Residential

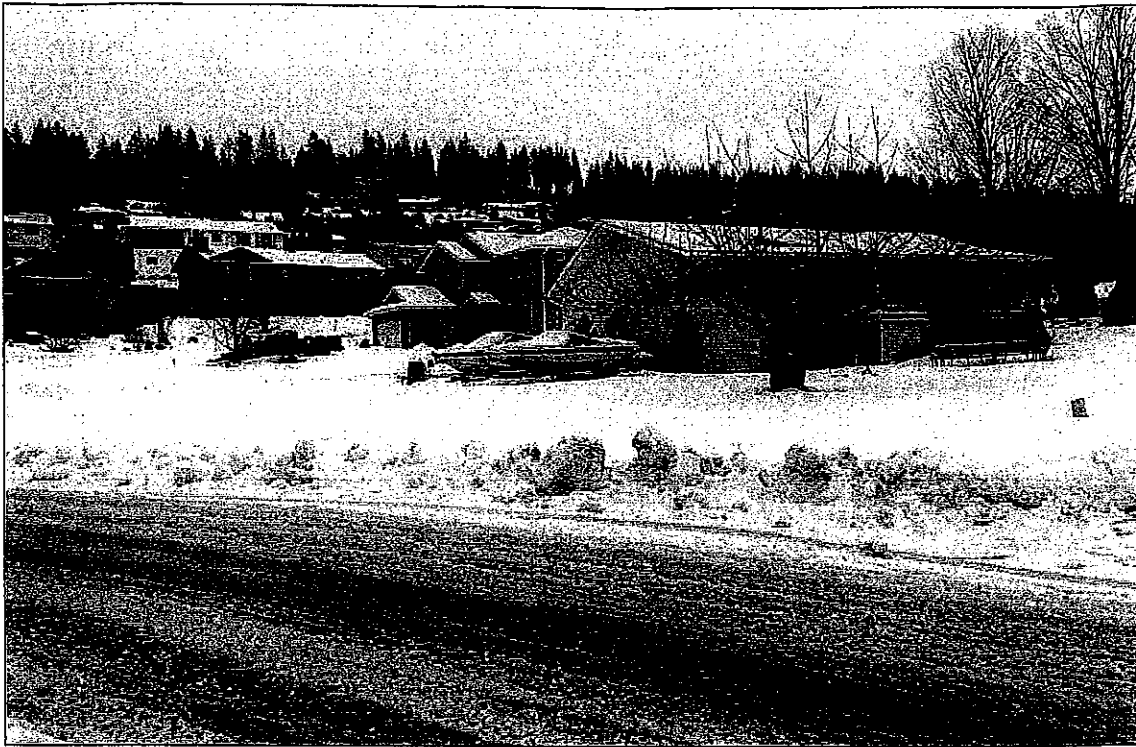


Park



Acreage Reserve

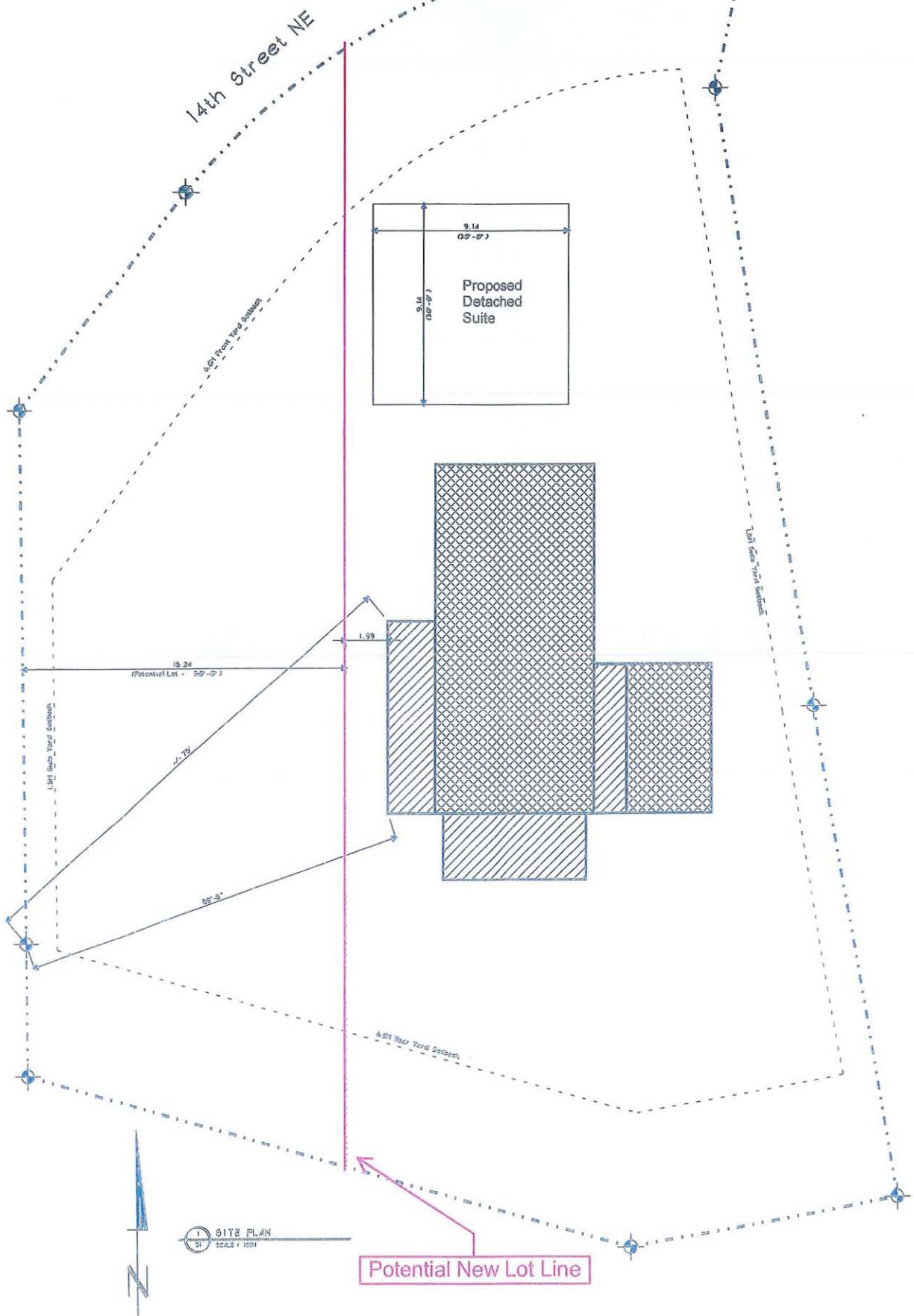




View east of subject parcel from 47 Avenue NE.



View south-west of subject parcel from 14 Street NE.



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Development Services Department Memorandum

To: Her Worship Mayor Cooper and Members of Council

Date: February 9, 2018

Subject: Zoning Bylaw Amendment Application No. 1120

Legal: Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Plan 42698
Civic: 1370 Auto Road SE
Owner: Butler, L

MOTION FOR CONSIDERATION

THAT: a bylaw be prepared for Council's consideration, adoption of which would amend Zoning Bylaw No. 2303 by rezoning Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Plan 42698 from R-1 (Single Family Residential Zone) to R-8 (Residential Suite Zone).

STAFF RECOMMENDATION

THAT: The motion for consideration be adopted.

PROPOSAL

The subject parcel is located at 1370 Auto Road SE and currently contains a single-family dwelling (Appendix 1 and 2). The proposal is to rezone the parcel from R-1 (Single Family Residential Zone) to R-8 (Residential Suite) in order to permit development of a *detached suite* (form to be determined). Additionally, an application to subdivide has been submitted (SUB18-01). The applicant intends to potentially build a *detached suite*, and to create the potential for a new residential lot to be developed including one single family dwelling with either a *secondary suite* or *detached suite*.

BACKGROUND

The subject parcel is designated Low Density Residential in the City's Official Community Plan (OCP) and zoned R-1 (Single Family Residential) in the Zoning Bylaw (Appendix 3 and 4). The subject parcel is located in the Hillcrest area which is largely comprised of a mix of residential (R-1, R-4, R-7 and R-8) zoned parcels. There are currently 12 R-8 zoned parcels within close proximity of the subject parcel.

The large subject parcel is just under 0.7 acres in area and meets the conditions of minimum parcel area and minimum parcel width as specified by the proposed R-8 zone. Site photos are attached as Appendix 5. The intent of the applicant is to subdivide the parcel (concept attached as Appendix 6), which would allow for the creation of one new parcel of approximately 950 square metres and the future construction of a new single family dwelling potentially containing a *secondary suite* or a *detached suite*.

As shown in the conceptual site plan, the subject parcel is affected by a road reserve covenant for a future road to provide access to a portion of the subject parcel, as well as to lands beyond. This remains in place to support future development.

Any development of a single family dwelling, *secondary suite* or *detached suite* would require a building permit and will be subject to Zoning Bylaw regulations, BC Building Code requirements, and applicable Development Cost Charges.

Secondary Suites

Policy 8.3.25 of the OCP provides for the consideration of secondary suites in Low Density Residential designated areas via a rezoning application, subject to compliance with the Zoning Bylaw and the BC Building Code. Based on the parcel area, the lot as it presently exists has potential for the development of either a *secondary suite* or a *detached suite*, including sufficient parking to serve the suite.

COMMENTSEngineering Department

No concerns. Full comments provided with associated subdivision application. Owner required to install water metre(s) at time of building permit

Building Department

No Concerns with rezoning. With no site plan provided to illustrate proposal, unable to determine setbacks or limiting distance.

Recommendation to consider any future setbacks related to proposed new lot. A secondary suite is subject to BC Building Code requirements.

Fire Department

No concerns.

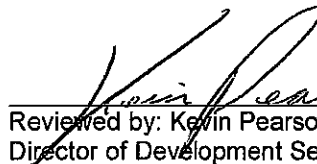
Planning Department

The proposed R-8 zoning of the subject parcel is consistent with the OCP and is therefore supported by staff. Any development of a single family dwelling, a *secondary suite* or *detached suite* will require a building permit and will be subject to meeting Zoning Bylaw regulations, BC Building Code requirements, and applicable Development Cost Charges.

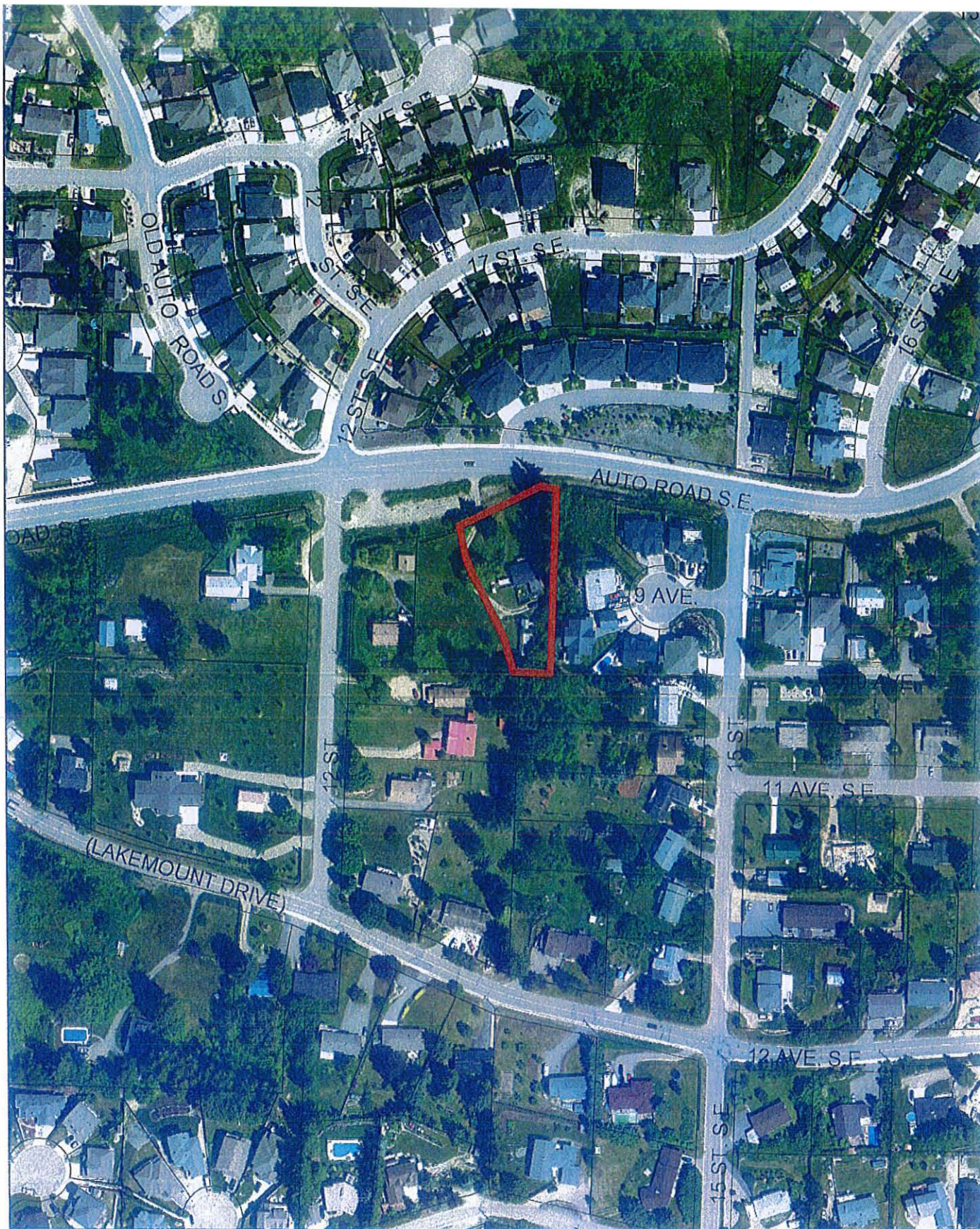
The large parcel is well-suited to R-8 development from the perspective of staff. The proposed subdivision which would result in a new lot should the applicant proceed, substantially aligns with existing development patterns in the area.



Prepared by: Chris Larson
Planning and Development Officer



Reviewed by: Kevin Pearson, MCIP, RPP
Director of Development Services



0 25 50 100 150 200 Meters



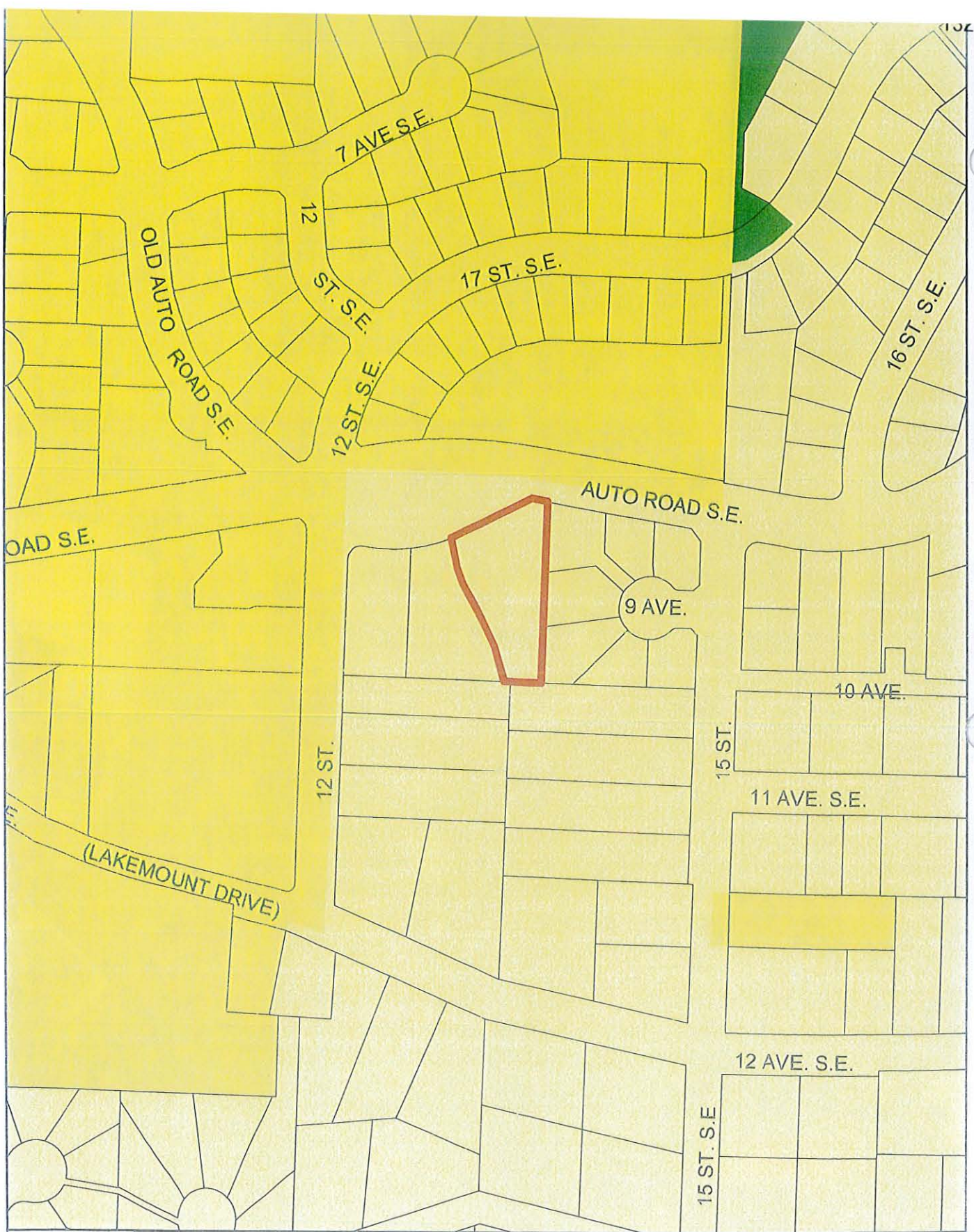
Subject Parcel



0 5 10 20 30 40 Meters



Subject Parcel



0 15 30 60 90 120
Meters



Subject Parcel



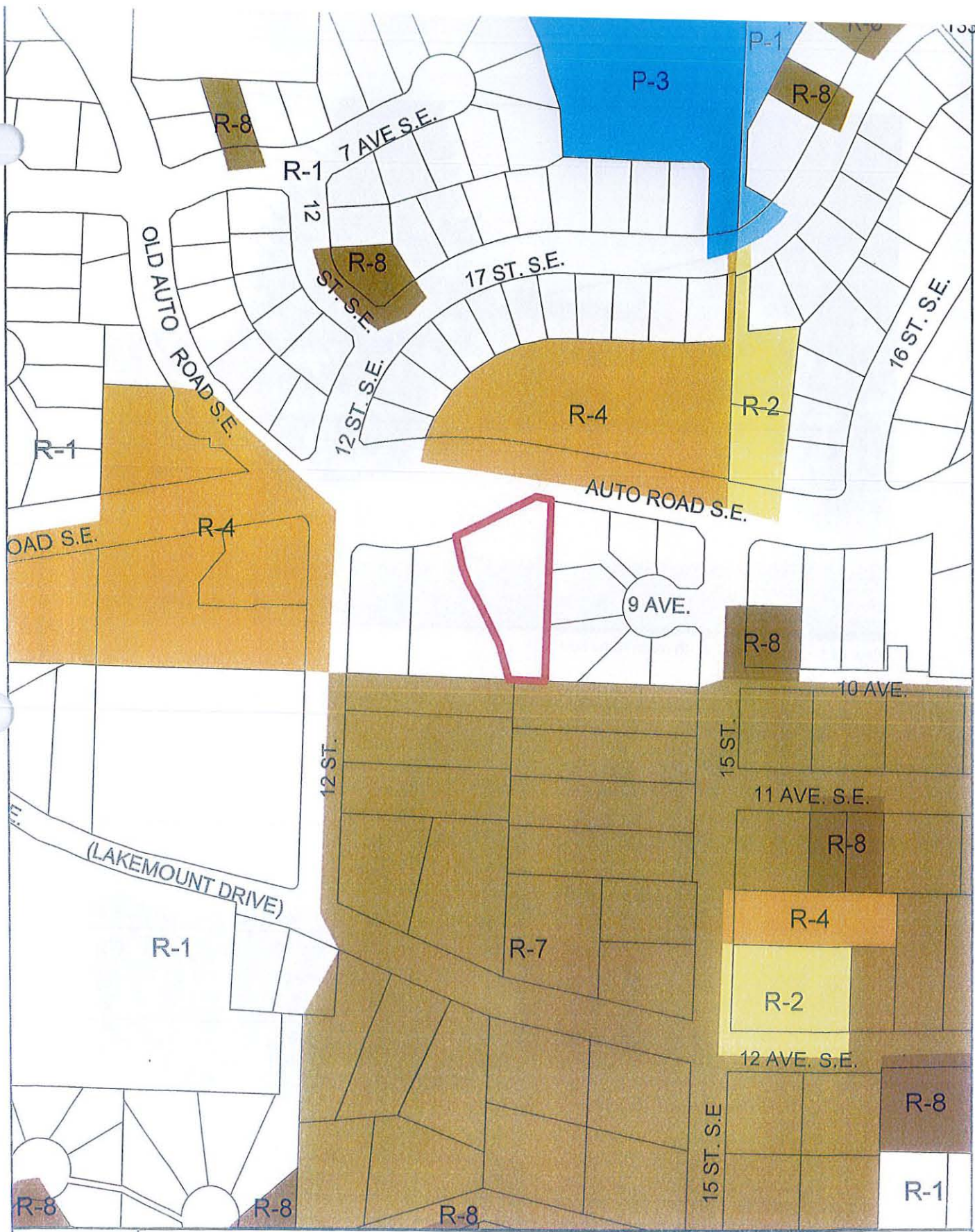
Park



Low Density
Residential



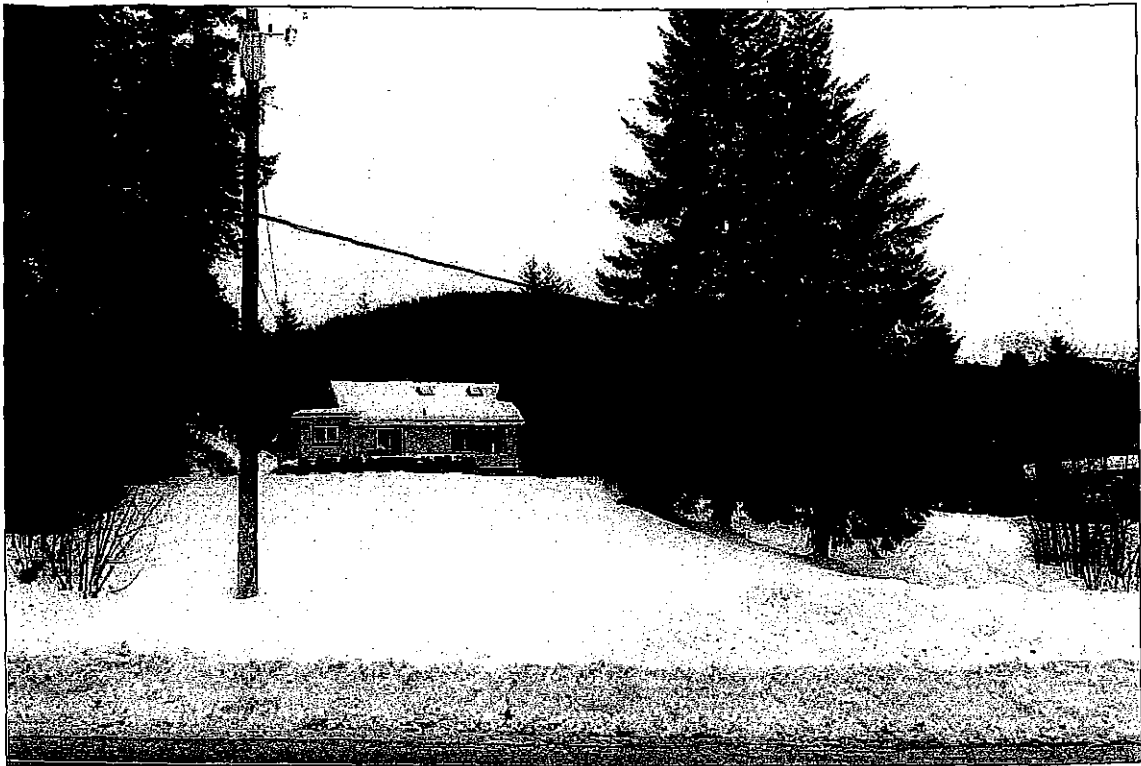
Medium Density
Residential



0 25 50 100 150 200 Meters



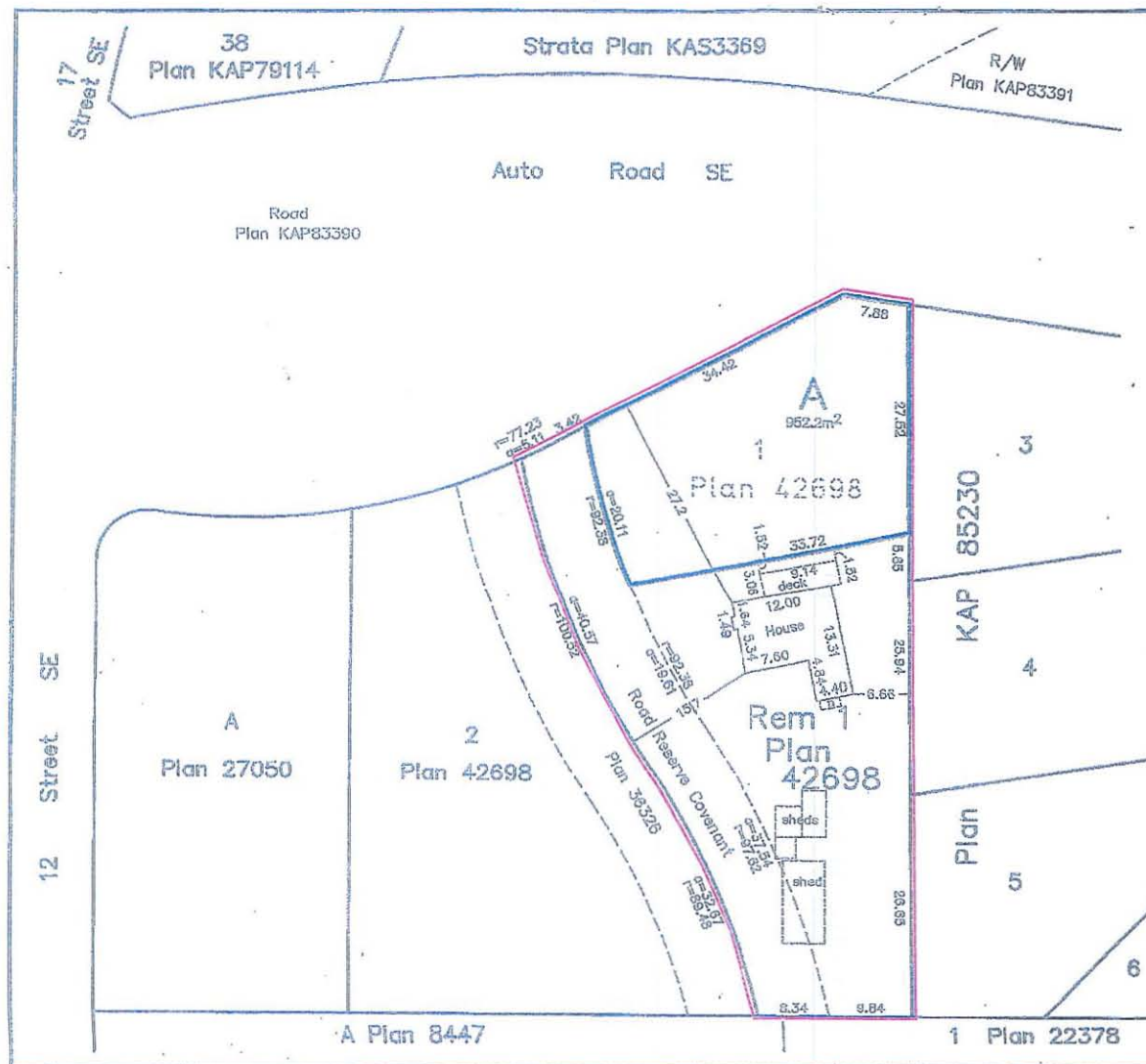
Subject Parcel



View of subject parcel south from Auto Road.



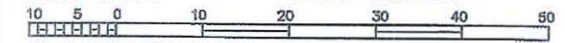
View of subject parcel south-east from Auto Road.



Sketch Plan of Proposed Subdivision of Part of Lot 1, Sec 13, Tp 20, R 10, W6M, KDYD, Plan 42698

Scale 1:500

BCGS 82L.064



All distances are in metres.

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:500



December 13, 2017

BROWNE JOHNSON LAND SURVEYORS
B.C. AND CANADA LANDS
SALMON ARM, B.C. Ph. 832-9701
File: 687-17

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Item 23.1

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Harrison

Seconded: Councillor Wallace Richmond

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4245 be read a third and final time.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4245

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm at the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on March 12, 2018 at the hour of 7:00 p.m. was published in the February 28, 2018 and March 7, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 12, Section 25, Township 20, Range 10, W6M, KDYD, Plan 29590, Except Plan KAP62642 from R-1 Single Family Residential Zone to R-8 Residential Suite Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

5. CITATION

This bylaw may be cited as **"City of Salmon Arm Zoning Amendment Bylaw No. 4245"**

READ A FIRST TIME THIS 26th DAY OF February 2018

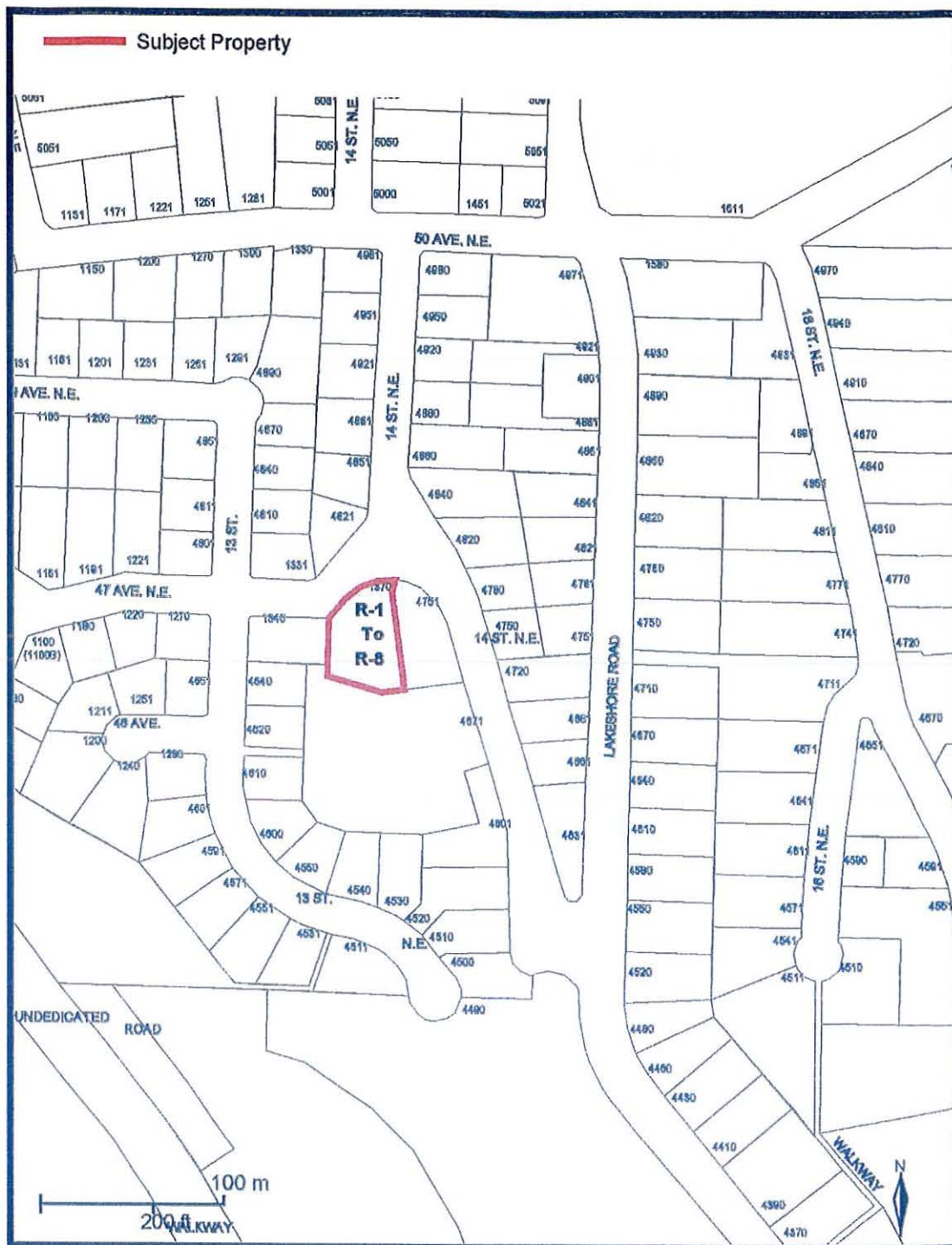
READ A SECOND TIME THIS 26th DAY OF February 2018

READ A THIRD TIME THIS DAY OF 2018

ADOPTED BY COUNCIL THIS DAY OF , 2018

MAYOR

CORPORATE OFFICER



Item 23.2

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Jamieson

Seconded: Councillor Eliason

THAT: the bylaw entitled Zoning Amendment Bylaw No. 4246 be read a third and final time.

Vote Record

- ☐ Carried Unanimously
- ☐ Carried
- ☐ Defeated
- ☐ Defeated Unanimously

Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

CITY OF SALMON ARM

BYLAW NO. 4246

A bylaw to amend "District of Salmon Arm Zoning Bylaw No. 2303"

WHEREAS notice of a Public Hearing to be held by the Council of the City of Salmon Arm at the Council Chambers at City Hall, 500 - 2 Avenue NE, Salmon Arm, British Columbia, on March 12, 2018 at the hour of 7:00 p.m. was published in the February 28, 2018 and March 7, 2018 issues of the Salmon Arm Observer;

AND WHEREAS the said Public Hearing was duly held at the time and place above mentioned;

NOW THEREFORE the Council of the City of Salmon Arm in open meeting assembled enacts as follows:

1. "District of Salmon Arm Zoning Bylaw No. 2303" is hereby amended as follows:

Rezone Lot 1, Section 13, Township 20, Range 10, W6M, KDYD, Plan 42698 from R-1 Single Family Residential Zone to R-8 Residential Suite Zone as shown on Schedule "A" attached hereto and forming part of this bylaw.

2. SEVERABILITY

If any part, section, sub-section, clause of this bylaw for any reason is held to be invalid by the decisions of a Court of competent jurisdiction, the invalid portion shall be severed and the decisions that it is invalid shall not affect the validity of the remaining portions of this bylaw.

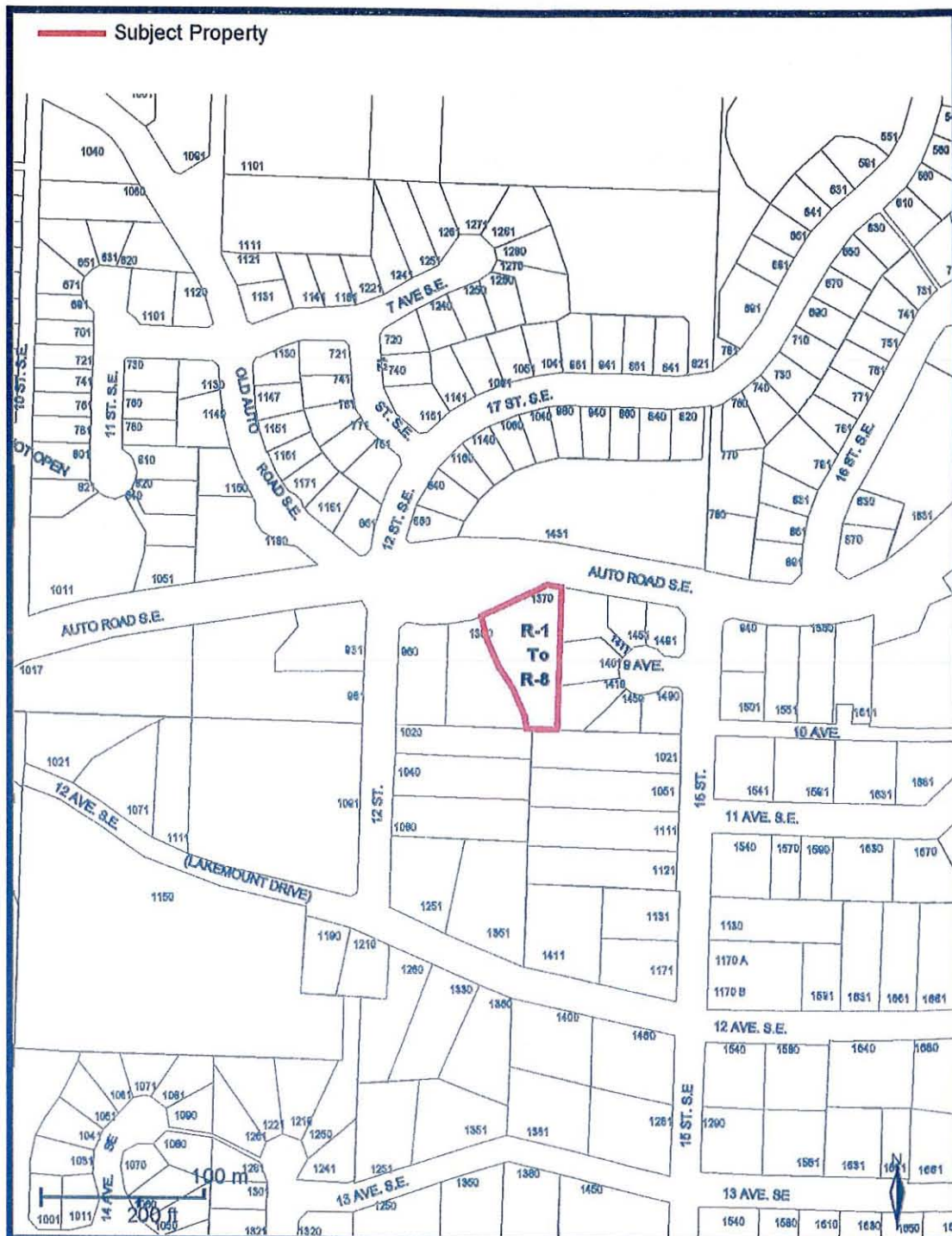
3. ENACTMENT

Any enactment referred to herein is a reference to an enactment of British Columbia and regulations thereto as amended, revised, consolidated or replaced from time to time.

4. EFFECTIVE DATE

This bylaw shall come into full force and effect upon adoption of same.

CORPORATE OFFICER



Item 25.

CITY OF SALMON ARM

Date: March 12, 2018

Moved: Councillor Wallace Richmond

Seconded: Councillor Harrison

THAT: the Regular Council Meeting of March 12, 2018, be adjourned.

Vote Record

- ☐ Carried Unanimously
 - ☐ Carried
 - ☐ Defeated
 - ☐ Defeated Unanimously
- Opposed:

- ☐ Cooper
- ☐ Flynn
- ☐ Eliason
- ☐ Harrison
- ☐ Jamieson
- ☐ Lavery
- ☐ Wallace Richmond

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